

AMENDED AGENDA
CASCADE CHARTER TOWNSHIP
REGULAR BOARD MEETING

Wednesday, December 15, 2021

7:00 P.M.

Wisner Center

2870 Jacksmith Drive SE, Grand Rapids 49546

Public may access the meeting via video conference software Zoom

<https://us02web.zoom.us/j/84839251944>

Meeting ID: 848 3925 1944

By Phone: 1 312 626 6799

Expected Meeting Procedures

1. During public comments you may speak on any item not noted on the agenda for a public hearing.
2. Please limit comments to 3 minutes per person and the Board may or may not choose to respond.
3. Please limit your comments to a specific issue.
4. Please turn OFF cellular phones.

Article 1. Call to Order, Roll Call

Article 2. Pledge of Allegiance to the Flag

Article 3. Approval of Agenda

Article 4. Presentations

a. Life Saving Recognition Ceremony

b. Round Hill Subcommittee of Planning Commission

Article 5. Public Comments - Anything on the Agenda not scheduled for a public hearing. (limit comments to 3 minutes)

Article 6. Approval of Consent Agenda

a. Receive and File Minutes

1. Township Board – 11/17/21

2. Township Board Work Session – 12/6/21

3. Citizens PFAS Committee Meeting – 10/7/21

4. Personnel & Finance Committee Meeting – 10/15/21

5. Public Safety Advisory Committee Meeting – 10/20/21

6. Infrastructure Committee Meeting – 11/3/21

b. Receive and File Reports

1. Treasurer’s Department Report – October 2021

2. Cascade Inspection Services Report – November 2021

c. Receive and File Education Requests

1. Doug Poolman & Colin Forzley – 2022 Michigan Fire

Inspectors Conference – Mt. Pleasant, MI – February 8-10, 2022

d. Receive and File Communication

1. None

Township Board Agenda

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- Article 7. Financial Actions**
a. Consider Approval of FY 2021 3rd Quarter Budget Amendments
- Article 8. Unfinished Business**
115-2021 Consider resetting Storm Water Ordinance Public Hearing
- Article 9. New Business**
119-2021 a) **Public Hearing to Consider amendments to LeTourneau PUD Ordinance to permit a dental office**
b) **Consider Amendments to LeTourneau PUD Ordinance to permit a dental office** (*Roll Call*)
120-2021 **Consider Final Plan Approval for Bridle Trail Development**
121-2021 **Consider Award for the RFP for the Parks, Recreation and Open Space Plan**
122-2021 **Consider contract for Janitorial Service with Hope Network for Cascade Library**
123-2021 **Consider agreement for Public Relations/Communications Consultant with Sabo PR**
124-2021 **Consider Approval of Resolution to Provide General Fund Financial Support to the Fire Fund** (*Roll Call*)
125-2021 a) **Public Hearing: Proposed 2022 General/Special Fund Budgets**
b) **Consider Approval of a Resolution to Adopt the FY 2022 Cascade Charter Township General/Special Budgets** (*Roll Call*)
126-2021 **Consider Approval of Resolution of Intent to Levy the 2022 Millage Rates** (*Roll Call*)
127-2021 **Consider Approval of the 2022 Township Meeting Schedule**
128-2021 **Consider Appointments to Various Boards and Commissions** (*Roll Call*)
129-2021 **Planning Commission 12/6/21 Member Comment**
- Article 10. Public Comments – Any comments...whether it is on the agenda or not. (limit comments to 3 minutes)**

Article 12. Manager Comments

Article 13. Board Member Comments

Article 14. Adjournment



*Cascade Fire Department
Invites you to a
Life Saving Recognition Ceremony*

*Wednesday, Dec 15th, 2021
At 7:00 P.M.*

*Kent District Library - Wisner Center
2870 Jacksmith Ave SE
Grand Rapids, MI
(Friends Room)*

Those being recognized

*Our Daily Bread Ministries
First Response Team*

*Mike Hoatlin
Lisa Luckenbaugh
Karlene Schmid
Mark Vander Heide
Lori Van DerScheer
Alicia Collier*

**MINUTES OF THE
CASCADE CHARTER TOWNSHIP
REGULAR BOARD MEETING**

Wednesday, November 17, 2021

Wisner Center
2870 Jacksmith Dr SE
Grand Rapids, MI 49546

AND
Virtual Zoom Meeting
7:00 P.M.
HYBRID FORMAT

- Article 1.** Supervisor Lesperance called the meeting to order.
Present: Supervisor Lesperance, Clerk Slater, Treasurer Peirce, Trustees Koessel, McDonald, Shipley and Noordhoek
Absent: None
Also Present: Township Manager Swayze, Building Dept. Director Brian Wilson, Deputy Clerk Brott, and those listed on the Supplement
- Article 2.** Supervisor Lesperance led the Pledge of Allegiance.
- Article 3. Approval of Agenda**
Motion by Trustee Shipley, seconded by Trustee McDonald to approve the agenda.
Motion carried unanimously.
- Article 4. Presentations**
None
- Article 5. Public Comments-Anything on the Agenda not scheduled for a public hearing. (limit comments to 3 minutes)**
1. Craig Meurlin-6333 Thornhills Ct-In financial matters, what does “complex” mean-difficult or a location? The Township Manager should have his own department in the budget separate from the Supervisor. Asked that projects be listed on the website with the target finish date, costs expected, and updated each step so that citizens can see this information.
 2. Mary VanderVeen-7550 Alaska Ridge & Molly Miller-1490 Briarcliff-Re the Election Commission, how was Jack Lewis involved in the 2020 election if he was unwell? They are frustrated that Trustee McDonald was appointed after the State of Michigan sent a letter to him regarding his actions during the 2020 election. They would like to know the truth. Clerk Slater responded that the Election Commission’s work is done well before the election and Jack Lewis was well during that time.
 3. Suzanne Ward-2052 Tall Pines-Someone who is compromised should not serve on the Election Commission. Does not want her taxpayer money to go toward Manager Swayze’s trips to conferences touting the Great Reset. Frustrated because she asks questions but never receives answers. Supervisor Lesperance responded that the forensic financial audit will be ready by mid-December 2021.
 4. Kate Doezema-5625 Alaska SE-Asked for an update on the internet access. Supervisor Lesperance responded that the Township is still pushing Comcast because

Township Board Minutes
November 17, 2021

of a price hike, and the Township is waiting on County funds. Manager Swayze advised that the Township is working with an attorney.

5. Keely Shay-MI Resident/Former Alaska Ridge Resident-CARES Funds could have gone to Comcast, but the Board voted to use the funds for Dominion Voting Systems and other things. Asked Clerk Slater for a list of duties and rules for the Election Commission. Would like to know why the results from Precinct 9 were sent to the County later than other Precincts after the 2020 election. She would like an audit.

Article 6. Approval of Consent Agenda

- a. Receive and File Minutes
 1. Township Board – 11/3/21
- b. Receive and File Reports
 1. Treasurer’s Department Report – September 2021
 2. Cascade Inspection Services Report – October 2021
- c. Receive and File Education Requests
 1. Krissi Brott – 2022 International Institute of Municipal Clerks – Little Rock, AR – May 22 – 25, 2022
- d. Receive and File Communication
 - 1.

Motion by Trustee Koessel, seconded by Trustee McDonald to approve. Motion carried unanimously.

Article 7. Financial Actions

Considerable Discussion. Trustee Noordhoek asked questions about the police millage voted on by citizens and used partially for a Township staff member salary instead of the totality being used for 24-hour police patrol.

- a. Consider Approval of October 2021 Payroll, Payables and Transfers
- b. Consider Approval of October 2021 Financial Reports

Motion by Trustee Shipley, seconded by Trustee Koessel to approve. Motion carried unanimously.

Article 8. Unfinished Business

- a. None

Article 9. New Business

117-2021 Consider Amendment to Inspection Services Agreement with Vergennes Township to Include Building Permits

Director Wilson presented and answered questions.

Motion by Trustee Shipley, seconded by Trustee McDonald to approve.

Motion carried unanimously.

118-2021 Consider Special Assessment Warrant Resolution for the Year 2021 (Roll Call)

Manager Swayze presented and answered questions.

Motion by Trustee Shipley, seconded by Trustee McDonald to approve.

Motion carried unanimously by roll call vote.

Article 10. Discussion Topics

a. Organizational Staffing/Structure Study

Trustee Shipley explained the need for a staffing/structure/time study for the Township staff. Considerable discussion ensued about the need for an assistant for Manager Swayze in a support role. In addition, the discussion moved to filling two empty positions at the Township with candidates who will fit the needs of the residents and Township projects, while also supporting Manager Swayze. Trustee Noordhoek agrees support staff is needed for Manager Swayze, and that someone with an engineering background should replace Director Peterson. He does not believe the Township should hire another manager-type position. Supervisor Lesperance would like to see someone with project management background in Director Peterson's vacated position. Trustee Shipley suggested that promoting from within is the best option. Manager Swayze advised that he plans to bring a new organizational chart to the Board.

Article 11. Public Comments – Any comments...whether it is on the Agenda or not. (limit comments to 3 minutes)

1. Craig Meurlin-The Township does not have the staff right now to champion the residents and cross-manage projects. Even though the 2020 audit is finished, the money meant for the police millage can be put in the correct fund. Asking questions at Board meetings and not getting answers is frustrating to residents and does not lead to trust.
2. Keely Shay-How do we demand a re-vote for the Election Commission appointment? Supervisor Lesperance responded that it is up to Clerk Slater's discretion. Trustee Koessel advised that the vote was done and it would not be brought up again.
3. Suzanne Ward-If the Board's vote on the Election Commission is final, why isn't the vote on the police millage final?
4. Molly Miller-She doesn't think that taking money from the police millage is legal. The citizens voted on it. She would like Manager Swayze to speak to Township counsel about it.

Article 12. Manager Comments

1. Kent County Road Commission is hosting an open house at the Wisner Center on December 8, 2021, from 5:30–7:30 p.m., to discuss the Cascade Road expansion. A notice will be mailed to residents affected, and it will be on the website.
2. In August, the Board approved a petition to consolidate five (5) drains in Hidden Hills. The Board of Determination approved the consolidation.
3. Re PFAS, the City of Grand Rapids will obtain a physical survey for water main installation. The Road Commission is holding off on street repairs in this area due to this project. There will be community meetings to answer resident questions.

Article 13. Board Member Comments

1. Trustee Shipley-Thanked all in attendance, including those participating via Zoom. Where is Sabo, the Public Relations agency? Manager Swayze advised that Hunter Zuk, our Sabo representative, was at the last Strategic Planning meeting.
2. Trustee McDonald-Jack Lewis was a mentor to him. He was lucid and understood what was happening, including during his time on the Election Commission.

Article 14. Adjournment

Motion by Trustee Shipley, seconded by Trustee Noordhoek to adjourn. Motion carried

unanimously.
Meeting adjourned at 8:14 pm.

Krissi Brott
Deputy Clerk

Approved by:

Grace Lesperance, Supervisor

Susan B. Slater, Clerk

DRAFT

**MINUTES OF THE
CASCADE CHARTER TOWNSHIP BOARD
BUDGET WORK SESSION**

Monday, December 6, 2021
Cascade Township Hall – Large Conference Room
5920 Tahoe Dr. SE
Grand Rapids, MI 49546

AND
Virtual Zoom Meeting
4:30 PM
HYBRID FORMAT

- Article 1.** Supervisor Lesperance called the meeting to order.
Present: Supervisor Lesperance, Clerk Slater, Treasurer Peirce, Trustees Koessel, McDonald, Shipley and Noordhoek
Absent: None
Also Present: Township Manager Swayze, Deputy Clerk Brott, and those listed on the Supplement.
- Article 2.** Supervisor Lesperance led the Pledge of Allegiance.
- Article 3. Approval of Agenda**
Motion for approval by Trustee Shipley, seconded by Trustee Koessel to approve the agenda with an additional Public Comment before the Budget presentation. Motion carried unanimously.
- Article 4. Public Comments-Any comments...whether on Agenda or not. (limit comments to 3 minutes)**
Craig Meurlin via Zoom-6333 Thornhills Ct-It is difficult to make comments as no materials were available. If the Board wants to build trust in the community, this is not the way to do it.
- Article 5. FY 2022 Township Board Budget Workshop**
Manager Swayze presented the proposed budget and answered questions. Considerable discussion. Trustee Noordhoek requested that the \$112,223.00 transferred from the Police Fund that was used for a portion of the Assistant Township Manager's salary be returned to the Police Fund. Manager Swayze advised that this could be presented and voted on by the Board at the next regular meeting on December 15 during the Financial Actions portion. Supervisor Lesperance asked that position salaries be presented separately on the budget for transparency.
- Article 6. Adjournment**
Motion to adjourn by Trustee Shipley, seconded by Trustee McDonald. Motion carried unanimously.
Meeting adjourned at 7:38 p.m.

Krissi Brott
Deputy Clerk

Township Board Minutes
December 6, 2021

Approved by:

Grace Lesperance, Supervisor

Susan B. Slater, Clerk

DRAFT

CASCADE CHARTER TOWNSHIP
CITIZENS PFAS COMMITTEE MEETING
October 7, 2021 at 4:00pm
Cascade Township Hall – Large Conference Room
5920 Tahoe Dr. SE
Grand Rapids, MI 49546

Members Present: Supervisor Grace Lesperance, Ben Greemann, John Lipford, Kris White, Patti Baldwin

Others Present: Township Manager (TM) Ben Swayze, Prein & Newhof Engineer Brian Vilmont, Committee Guest Sandy Wynn-Stelt, Resident Penny Minhinick-Burns

ARTICLE 1. Call to Order: Meeting was called to order at 4:05 pm

ARTICLE 2. Approval of the Agenda: Motion by Supervisor Lesperance, Supported by Member Baldwin to approve the agenda. Motion carried.

ARTICLE 3. Acknowledge Visitors & Public Comment: Guests were introduced. No Comment

ARTICLE 4. Approval of Minutes from 9.2.21 meetings: Motion by Member Lesperance, supported by Member Baldwin to approve the minutes. Motion carried.

ARTICLE 5. Committee Guest Sandy Wynn-Stelt: Member Baldwin introduced Guest Sandy Wynn-Stelt. Sandy shared her experience as a resident effected, and possibly most effected, by the Wolverine World Wide PFAS issue. She shared her thoughts on the best ways to ensure the effected residents are being best served while this issue is being addressed. The committee asked various questions to Sandy and thanks her for her willingness to share.

ARTICLE 6. Update from Township on Public Water Extension Project from Brian Vilmont (Prein & Newhof): Engineer Vilmont explained his background and his and Prien & Newhof's experience on similar projects. Conversations ensued on the following topics:

- Stages of grief residents may experience during the project
- Successful strategies for resident meeting
- How the pressure district may affect the project
- The process for engineering, bidding and construction
- How connections will work
- Dedicated website and listserv for the project
- Other ways to ensure communication is good during the project

ARTICLE 7. Update from Township on Water Filters for Houses Above PFAS Action Level and Bottled Water Service: TM Swayze gave an update on Filter and Bottled Water Service Project.

ARTICLE 8. Public Comment: The committee thanked the guest for attending

ARTICLE 9. Adjournment: Meeting adjourned at 5:21pm

Approved by the Citizens PFAS Committee – 12.2.21

CASCADE CHARTER TOWNSHIP
PERSONNEL & FINANCE COMMITTEE MEETING
October 15, 2021 at 9:00am
Cascade Township Hall – Large Conference Room
5920 Tahoe Dr. SE
Grand Rapids, MI 49546

Members Present: Supervisor Grace Lesperance, Treasurer Ken Peirce, Trustee Koessel

Others Present: Township Manager (TM) Ben Swayze

Members of the Public: Trustee Timmy Noordhoek

ARTICLE 1. Call to Order: Meeting was called to order at 9:00am

ARTICLE 2. Approval of the Agenda: Motion by Treasurer Peirce, Supported by Supervisor Lesperance to approve the agenda. Motion carried.

ARTICLE 3. Approval of the Minutes of the September 8, 2021 Meeting: Motion by Treasurer Peirce, Supported by Supervisor Lesperance to approve the minutes. Motion carried.

ARTICLE 4. Review and Consideration Assessing Services Contract: TM Swayze reviewed the proposed Agreement for Professional Assessor Services. TM explained that our current Level 4 contracted Assessor has indicated she would prefer not to continue after October of this year, though would extend on a month-to-month basis if need. The proposed replacement would be Andy Johnson, current Assessor with Kentwood. Mr. Johnson comes highly qualified and recommended. Cost would remain the same, and contract would be severable when the Manager of Assessing Services received her Level 4 certification. Discussion ensued.

Motion by Supervisor Lesperance, Supported by Treasurer Peirce to recommend the Township Board approve the Agreement for Assessing Services with Andy Johnson. Motion Carried.

ARTICLE 5. Review & Consideration of Legal Services Policy: TM Swayze reviewed the proposed policy, which was developed at the request of the committee. The proposed policy outlines how elected and appointed officials and staff can access legal services. Discussion ensued.

Motion by Treasurer Peirce, supported by Supervisor Lesperance to recommend the Township Board approve the Legal Services policy. Motion carried.

ARTICLE 6. Discussion on Guidelines for Cancellation and/or Rescheduling of Personnel/Finance Committee Meetings – Supervisor Lesperance reviewed the memo that was provided. Topics discussed ensued ensuring all members are available for a rescheduled meeting and if the Vice Chair can preside at a meeting

that the Chair is unavailable for. Discussion ensued. It was agreed that in the event a meeting needs to be rescheduled, all members should be asked and be available for the rescheduled meeting

ARTICLE 6. Public Comment: Trustee Noordhoek indicated he believed the Vice-Chair should be able to preside at committee meetings in the Chair's absence.

ARTICLE 7. Adjournment: Motion by Treasurer Peirce, Supported by Supervisor Lesperance to adjourn the meeting. Meeting adjourned at 9:39am.

Approved by the Personnel & Finance Committee – 12.8.21

CASCADE CHARTER TOWNSHIP
PUBLIC SAFETY ADVISORY COMMITTEE MEETING
October 20, 2021 at 9:00 am
Cascade Township Hall – Large Conference Room
5920 Tahoe Dr. SE
Grand Rapids, MI 49546

Members Present: Treasurer Ken Peirce, Trustee John Shipley, Trustee Timmy Noordhoek

Others Present: Township Manager (TM) Ben Swayze, Fire Chief Adam Magers, Prein & Newhof Engineer John VerPlank, Williams Architect Mark Bushouse (Zoom), Triangle Project Manager Brianna Pitchford (Zoom)

Members of the Public: None

ARTICLE 1. Call to Order: Meeting was called to order at 9:00am

ARTICLE 2. Approval of the Agenda

Motion by Trustee Shipley, supported by Trustee Noordhoek to approve the agenda. Motion carried.

ARTICLE 3. Approval of the Minutes of the 9/15/21 & 9/21/21 Meetings

Motion by Trustee Shipley, Supported by Trustee Noordhoek to approve the minutes. Motion carried.

ARTICLE 4. Fire Station #1 Construction – Progress Update: Chief Magers explained work that has been done in the past month through the committee and reviewed the included memo. Architect Bushouse explained that the interior layout is nearly finished. Also reviewed the line drawings for the elevations. Construction Manager Pitchford reviewed CM involvement up until this point. CM will be responsible for generating project estimates based on architect’s work. Engineer VerPlank reviewed sitework done up until this point. There are issues with the Consumers easements on the site related to grading. TM Swayze indicated he would put Prein & Newhof in contact with Consumer’s rep to resolve. Geotech revealed a sandy site, which will help control costs when looking at new stormwater requirements.

No action, discussion only

ARTICLE 5. PSAC Meeting Schedule During Construction: Chief Magers and the project team reviewed the schedule, and the possibility for PSAC to need to meet more often during key decision-making points. Committee discussed pros and cons of scheduling more meetings versus being able to schedule as they come up. TM Swayze explained that the Committee can call a meeting at any time with 18 hour posting notice. Committee indicated a desire to not pre-schedule and additional

meetings, but to “remain flexible” should the need for additional meetings come up.

No action, discussion only

ARTICLE 6. Fire Chaplin Volunteer Position: Chief Magers reviewed the memo outlining the Fire Chaplain position. This would be a volunteer position filled by an ordained, certified minister with special training on counseling, grief management and critical incident stress management among other things. Would provide a compliment service to the Employee Assistance Program, some do not feel comfortable using EAP. Position would go to Tim Dieffenbach from Thornapple Community Church. Only investment needed would be email/badge and some minor uniform items. Discussion ensued. The Committee agreed that it sounded like a valuable position for the department/Firefighters with minimal financial investment from the Township.

Motion by Trustee Shipley, supported by Trustee Noordhoek to approve the Volunteer Fire Department Chaplain position. Motion Carried.

ARTICLE 6. Public Comment: None.

ARTICLE 7. Adjournment: Motion by Trustee Shipley, supported by Trustee Noordhoek to adjourn the meeting. Meeting adjourned at 9:37am.

Approved by the Public Safety Advisory Committee – 11.17.21

CASCADE CHARTER TOWNSHIP
INFRASTRUCTURE COMMITTEE MEETING
November 3, 2021 at 9:00am
Cascade Township Hall – Large Conference Room
5920 Tahoe Dr. SE
Grand Rapids, MI 49546

Members Present: Supervisor Grace Lesperance, Trustee McDonald, Trustee Shipley

Others Present: Township Manager (TM) Ben Swayze

Members of the Public: Kris Taylor, Resident

ARTICLE 1. Call to Order: Meeting was called to order at 9:00am

ARTICLE 2. Approval of the Agenda: Motion by Trustee McDonald, Supported by Supervisor Lesperance to approve the agenda. Motion carried.

ARTICLE 3. Approval of the Minutes of the September 1, 2021 Meeting: Motion by Supervisor Lesperance, Supported by Trustee McDonald to approve the minutes. Motion carried.

ARTICLE 4. Discussion of Pathway Projects: TM Swayze reviewed that there are currently 3 pathway projects that are in various stages of planning:

Laraway Lake – Trustee McDonald gave an update on the status of discussions with the DeCamps, whose property is key to developing a feasible pathway connection on Laraway Lake from where the pathway currently ends to Cascade Road. There are three options at varying price levels and varying degrees of impact to the DeCamp property. The plans have been shared with the Kent County Road Commission and they would be supportive of any of them. Next step would be to meet with the DeCamps and discuss the options to see what they may support. Trustee McDonald volunteered to continue those discussions with them as he has been the committee member most in contact with them.

Cascade Road Pedestrian Bridge (over Thornapple River) – Trustee Shipley indicated that he has heard about this need from several residents as the sidewalk on the bridge is not safe due to the proximity to high-speed traffic. Discussion ensued about what side of the bridge a potential pedestrian bridge could be on. Discussion should be had with the KCRC on what they would allow. Supervisor Lesperance indicated she would like to be involved in those discussions. Manager Swayze indicated he would set it up for later this year or early next.

Burton Street Bridge – Manager Swayze reviewed the current project, which was stopped by the Township Board earlier this year due to cost concerns. Manager Swayze indicated that there may be an opportunity to get the Township cost of this project more in line with what was previously budgeted. The grant

program coordinator has indicated there may be an opportunity to split the additional cost at 65/35 (the same breakdown as the original grant) which could add an additional \$650,000 in grant funds. The State of Michigan has also indicated they could partner the project with their 2023 deck replacement project, which could help cover the significant traffic control costs. Discussion ensued. The Committee indicated more details should be brought forward regarding the potential costs savings and additional grant dollars and what the resulting cost of the project to the Township would be.

No Action, Discussion Only

ARTICLE 8. Public Comment:

Kris Taylor – Resident: Mr. Taylor indicated he felt the Township should be investing more money in the repair of the existing pathway system. He and his wife use multiple area pathway systems and feel that the Cascade system is in poor condition. Identified several areas he thought needed the most attention. Discussion among the committee members and Mr. Taylor ensued. TM Swayze indicated he could begin to review areas and provide high-level estimates to the Committee on what some repairs may cost.

ARTICLE 9. Adjournment: *Motion by Trustee McDonald, Supported by Supervisor Lesperance to adjourn the meeting. Meeting adjourned at 10:13 am.*

Approved by the Infrastructure Committee – Approved by the Infrastructure Committee
12.1.21

TREASURER'S DEPARTMENT

CASCADE CHARTER TOWNSHIP

TAX ACCOUNTS

OCTOBER 2021

BANK BALANCES

BANK AMOUNT

FLAGSTAR BANK

TAX CHECKING \$110,887.98

FLAGSTAR BANK

DELINQUENT TAX \$589.77

FLAGSTAR BANK

TAX WIRE ACCT \$1,727.10

GRAND TOTAL \$113,204.85

TOWNSHIP BALANCES

REGISTER AMOUNT

FLAGSTAR BANK

TAX CHECKING \$110,887.98

FLAGSTAR BANK

DELINQUENT TAX \$589.77

FLAGSTAR BANK

TAX WIRE ACCT \$1,727.10

GRAND TOTAL \$113,204.85

Sourine 11/12/21

Submitted by
OXANA SOURINE
DEPUTY TREASURER

Date

Kenneth B. Peirce 11/17/21

Reviewed by
KENNETH B. PEIRCE
TREASURER

Date

CASCADE CHARTER TOWNSHIP
TREASURER'S OFFICE REPORT

OCTOBER 2021

FUND	INSTITUTION	DEMAND DEPOSIT		CDs			SECURITIES			TOTALS		
		\$	%	\$	%	DATE	\$	%	DATE	\$	%	
101 GENERAL FUND	FLAGSTAR	122,086.94	0.15									
	FLAGSTAR MMA	388,388.42	0.25									
	KENT CTY POOL	1,179,997.03	0.68									
	MI CLASS	757,356.81	0.02									
	MERCANTILE			535,196.94	2.45	7/26/2022						
	ADVENTURE CU			561,348.57	1.05	9/24/2025						
	HORIZON BANK	527,800.23	0.15									
	GRAND RIVER			537,137.26	0.50	12/19/2021						
	CONSUMERS CU			269,648.86	0.75	1/8/2023						
	LMCU			1,044,648.34	0.90	6/2/2024						
MSUFCU			500,015.00	0.80	8/24/2022							
COMERICA SECUR./WF												
TOTAL GENERAL FUND		2,975,629.43	0.31	3,447,994.97	1.08				-		6,423,624.40	0.72
151 CEMETERY	LMCU	123,958.37	0.35								123,958.37	0.35
206 FIRE FUND	FLAGSTAR	466,408.21	0.25									
	MI CLASS	806,795.61	0.02									
	COM CHOICE CU			278,486.90	0.45	4/20/2022						
	LEVEL ONE			277,038.78	0.15	12/24/2021						
ADVENTURE CU			517,061.41	1.95	2/27/2023							
TOTAL FIRE FUND		1,275,203.82	0.10	1,072,587.09	1.10				-		2,347,790.91	0.56
207 POLICE FUND	FLAGSTAR	416,386.64	0.25									
	NORTHPOINTE BANK			273,694.20	1.00	11/11/2021						
	CIBC/ fna PRIVATE			788,499.63	1.95	3/25/2022						
	LMCU			412,762.10	1.00	3/18/2024						
TOTAL POLICE FUND		416,386.64	0.25	1,474,955.93	1.51				-		1,891,342.57	1.23
208 HAZMAT FUND	LMCU	41,946.39	0.35								41,946.39	0.35
209 OPEN SPACE	CHEMICAL	445,065.27	0.01									
	MI CLASS	380,283.67	0.02									
TOTAL OPEN SPACE		825,348.94	0.01	-					-		825,348.94	0.01
DAM REPAIR	MI CLASS	204,931.87	0.02									
	LMCU			348,202.46	1.00	3/10/2024						
TOTAL DAM REPAIR		204,931.87	0.02	348,202.46	1.00				-		553,134.33	0.64
216 PATHWAY FUND	MACATAWA	149,711.14	0.01									
	MI CLASS	108,693.94	0.02									
	GRAND RIVER			518,170.99	2.05	10/4/2022						
TOTAL PATHWAY FUND		258,405.08	0.01	518,170.99	2.05				-		776,576.07	1.37
246 PUBLIC UTILITY	FLAGSTAR	1,376,147.27	0.25									
	IRF	851,613.22	0.02									
TOTAL PUBLIC UTILITY		2,227,760.49	0.16	-					-		2,227,760.49	0.16
248 DDA FUND	FLAGSTAR	882,484.02	0.25									
	MI CLASS	829,610.83	0.02									
	UNION BANK			261,997.60	0.45	8/26/2022						
	ADVENTURE CU			220,914.55	1.05	10/27/2025						
TOTAL DDA FUND		1,712,094.85	0.14	482,912.15	0.72				-		2,195,007.00	0.27
249 BLDG. INSPECTION	FLAGSTAR BANK	263,066.41	0.25									
	FLAGSTARL BANK R.	89,213.11	0.25									
	MI CLASS	7,179.94	0.02									
	CONSUMERS CU	319,089.66	0.30									
	CHEMICAL BANK			569,753.35	1.93	10/28/2022						
	FNB OF AMERICA			320,815.75	0.90	10/19/2024						
	FNB OF AMERICA			111,514.75	0.70	12/18/2022						
	FNB OF AMERICA			226,536.98	1.05	9/18/2026						
FNB OF MI			556,467.53	0.30	6/11/2022							
INDEPENDENT BANK			336,175.42	0.20	3/16/2022							
TOTAL BLDG. INSPECT.	CHEMICAL BANK	678,549.12	0.13	2,121,263.78	0.91				-		2,799,812.90	0.72
270 LIBRARY FUND	UNITED BANK	581,888.26	0.15									
	MI CLASS	466,512.91	0.02									
	LMCU			453,604.26	1.00	3/27/2024						
	WMCB			273,177.90	0.10	12/1/2021						
NORTHPOINTE BANK			575,731.39	0.25	4/8/2022							
TOTAL LIBRARY FUND		1,048,401.17	0.09	1,302,513.55	0.48				-		2,350,914.72	0.31
282 CARES ACT FUND	LMCU	1,015,909.75	0.35								1,015,909.75	0.35
701 T & A	CHEMICAL BANK	179,230.00	0.01								179,230.00	0.01
701 JAMES TIMMONS	CHEMICAL BANK										12,400.00	2.00
701 JACK SMITH INV.	CHEMICAL BANK	23,119.95	0.01								23,119.95	0.01
701 HENRY KRAMER	CHEMICAL BANK	15,370.91	0.01								15,370.91	0.01
TOTAL		12,006,337.03	0.17	10,781,000.92	1.06				-		23,803,247.70	0.57

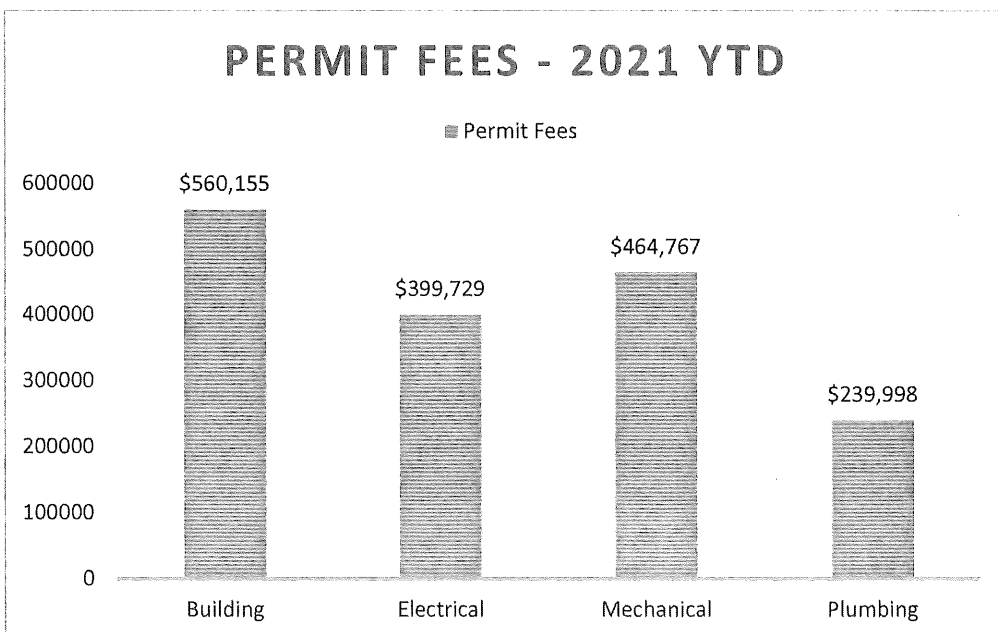
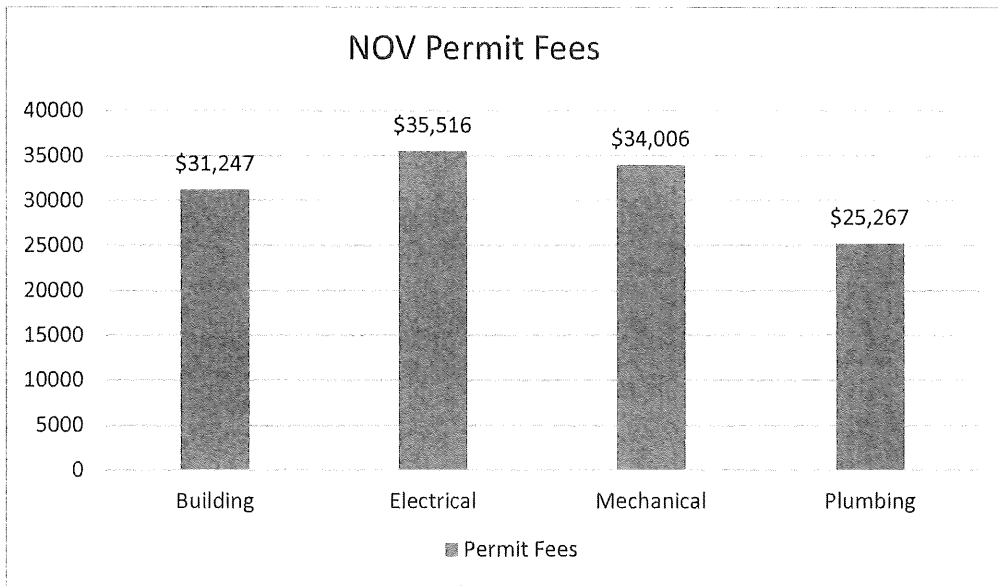
Oxana Sourine 11/16/21
Submitted by Oxana Sourine Deputy Treasurer Date

Ken Peirce 11/17/21
Reviewed by Ken Peirce Treasurer Date

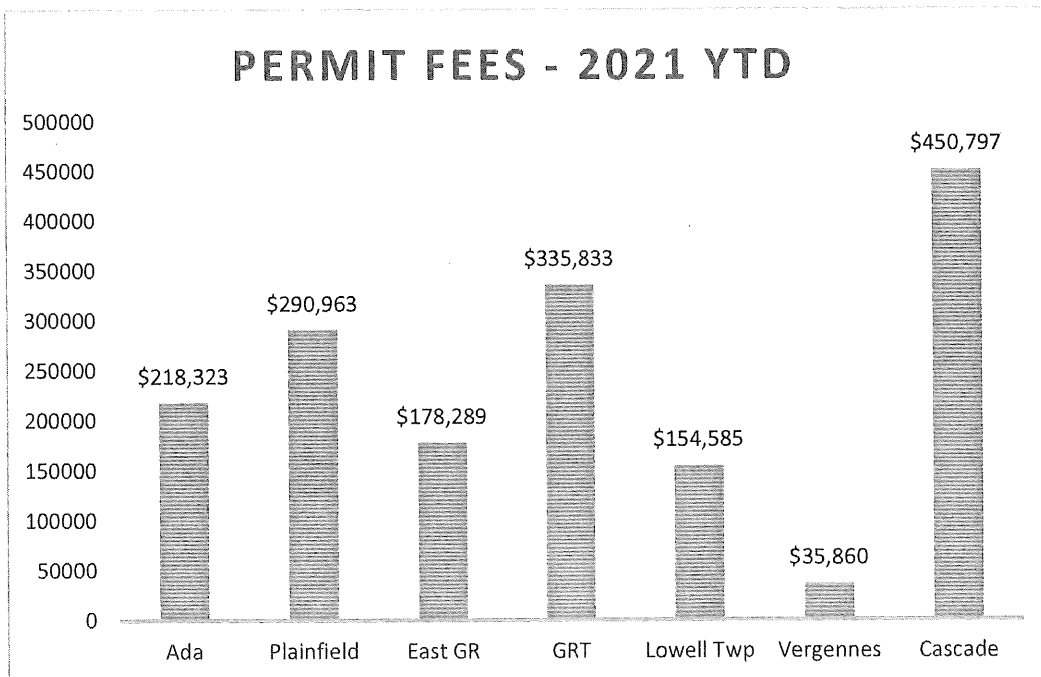
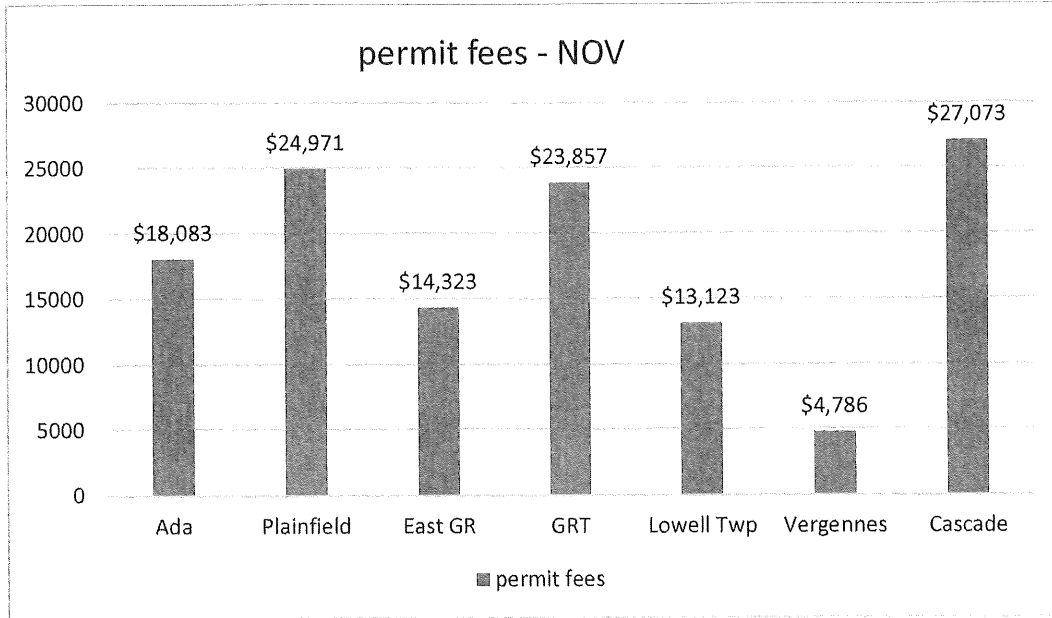
Cascade Inspection Services

NOVEMBER 2021

Permit Fees by Type



Permit Fees by Municipality



Township	#of Per Building	#of Per Electrical	# of Per Mechanical	# of Per Plumbing	Total Permits	Total Fees				
PREV YTD TOTAL	1703	\$528,908.00	2032	\$364,213.00	3348	\$430,760.75	1514	\$214,731.00	8597	\$1,538,612.75
NOV										
Cascade	36	\$6,064.00	57	\$8,509.00	72	\$8,101.00	24	\$4,399.00	189	\$27,073.00
Lowell Twp	11	\$4,635.00	17	\$3,557.00	18	\$2,440.00	12	\$2,491.00	58	\$13,123.00
Ada	32	\$6,160.00	26	\$4,232.00	45	\$4,625.00	19	\$3,066.00	122	\$18,083.00
Vergennes			11	\$2,002.00	11	\$1,525.00	6	\$1,259.00	28	\$4,786.00
GR Twp	26	\$8,789.00	33	\$7,050.00	47	\$4,500.00	18	\$3,518.00	124	\$23,857.00
EGR	32	\$5,599.00	22	\$3,090.00	35	\$3,940.00	21	\$1,694.00	110	\$14,323.00
Plainfield			40	\$7,076.20	88	\$8,875.00	66	\$8,840.00	194	\$24,791.20
MONTH TOTAL	137	\$ 31,247.00	206	\$ 35,516.20	316	\$ 34,006.00	166	\$ 25,267.00	825	\$126,036.20

YTD	1840	\$ 560,155.00	2238	\$ 399,729.20	3664	\$ 464,766.75	1680	\$ 239,998.00	9422	\$ 1,664,648.95
TOTAL -2020	1628	\$ 803,244.00	2017	\$ 307,137.85	3410	\$ 403,536.80	1616	\$ 212,701.00	8671	\$ 1,726,619.65
TOTAL -2019	1675	\$ 631,143.50	2288	\$ 347,205.00	3478	\$ 406,781.95	1469	\$ 206,608.00	8910	\$ 1,591,688.45
TOTAL -2018	1705	\$ 920,876.00	2116	\$ 380,754.00	3585	\$ 456,603.00	1654	\$ 238,664.00	9060	\$ 1,996,897.00
TOTAL-2017	1758	\$ 753,389.00	2210	\$ 376,979.00	3273	\$ 412,867.25	1485	\$ 219,324.00	8726	\$ 1,762,559.25
TOTAL-2016	1475	\$529,552.24	1992	\$310,463.00	3217	\$383,718.00	1404	\$190,762.00	8088	\$ 1,414,495.24
TOTAL-2015	1510	\$ 665,025.51	1948	\$ 327,865.00	3070	\$ 385,822.30	1361	\$ 216,089.00	7889	\$ 1,594,801.81
TOTAL-2014	1354	\$ 615,191.80	1780	\$ 297,971.00	2860	\$ 359,989.90	1257	\$ 196,553.00	7251	\$ 1,469,705.70
TOTAL-2013	1241	\$644,712.00	1667	\$288,442.06	2583	\$334,045.70	969	\$142,474.00	6460	\$ 1,409,673.76
TOTAL-2012	1,122	\$511,272.00	1,349	\$188,766.99	2,134	\$247,625.30	835	\$118,335.00	5,440	\$ 1,065,999.29
TOTAL-2011	949	\$410,550.75	990	\$148,549.50	1585	\$189,180.10	753	\$111,023.00	4277	\$ 859,303.35
TOTAL-2010	850	\$309,779.00	1330	\$162,994.00	1644	\$188,927.25	625	\$94,790.00	4449	\$ 756,490.25
TOTAL-2009	712	\$222,039.00	875	\$125,848.00	1313	\$149,101.75	554	\$74,397.00	3463	\$ 571,382.75
TOTAL-2008	848	\$582,100.75	1043	\$147,674.00	1348	\$164,271.30	697	\$91,695.00	3933	\$ 951,266.55
TOTAL-2007	1032	\$336,749.55	1069	\$137,857.00	1447	\$151,002.60	778	\$98,270.00	4326	\$ 723,879.15
TOTAL-2006	1181	\$481,673.30	1547	\$215,121.00	2147	\$243,076.90	1243	\$162,020.00	5173	\$ 940,523.41
TOTAL-2005	1032	\$419,355.30	1369	\$191,694.00	1874	\$211,234.15	1111	\$144,926.00	5386	\$ 967,209.45

CASCADE CONSOLIDATED FEES

YEAR 2021

MONTH	Building Comm.		Residential		Electrical	Mechanical	Plumbing	TOTAL
	JANUARY	\$1,005.00	\$4,853.00	\$6,552.00	\$5,952.00	\$2,673.00	\$21,035.00	
FEBRUARY	\$2,345.00	\$6,482.00	\$4,979.00	\$6,810.00	\$2,534.00	\$23,150.00		
MARCH	\$23,045.00	\$8,099.00	\$5,506.00	\$9,662.75	\$7,366.00	\$53,678.75		
APRIL	\$31,617.00	\$8,794.00	\$22,953.00	\$8,628.35	\$5,201.00	\$77,193.35		
MAY	\$10,623.00	\$9,300.00	\$6,428.00	\$10,024.75	\$2,715.00	\$39,090.75		
JUNE	\$7,261.00	\$17,380.00	\$6,167.00	\$8,432.65	\$6,217.00	\$45,457.65		
JULY	\$10,133.00	\$8,531.00	\$7,313.00	\$9,967.50	\$5,775.00	\$41,719.50		
AUGUST	\$538.00	\$13,180.00	\$8,266.00	\$7,375.50	\$4,832.00	\$34,191.50		
SEPTEMBER	\$3,190.00	\$12,574.00	\$9,451.00	\$11,842.00	\$3,243.00	\$40,300.00		
OCTOBER	\$15,161.00	\$11,986.00	\$10,513.00	\$6,999.25	\$3,148.00	\$47,807.25		
NOVEMBER	\$2,201.00	\$3,863.00	\$8,509.00	\$8,101.00	\$4,399.00	\$27,073.00		
DECEMBER								
YEAR END TOTAL	\$107,119.00	\$105,042.00	\$96,637.00	\$93,795.75	\$48,103.00	\$450,696.75		
PERMIT # FOR MONTH	10	26	57	72	24	189		
PREV PERMIT TOTAL	102	431	391	690	302	1916		
PERMIT TOTAL FOR YR	112	457	448	762	326	2105		
YEAR TO DATE	2021	\$450,696.75						
YEAR TO DATE	2020	\$416,004.00						
OVER	\$34,692.75							

CASCADE SINGLE FAMILY HOMES

	NOV	YTD 2021	2020	2019	2018
Number of Permits					
New Residential Homes	2	62	55	38	43
VALUE - RESIDENTIAL	\$ 618,922.00	\$ 31,078,928.00	\$ 36,322,102.00	\$ 18,187,545.00	\$ 28,327,352.00

Cascade Twp -Permit Report by Category/ Fe

11/1/2021 12:00:00 to 11/30/2021 12:00

Permit	Applicant	Address	Issue Date	Project Value	Permit Fee
Res. Single Family					
PB21001694	SUMMIT HOMES OF W6825 GOLDEN VIEW DR SE		11/08/2021	300,000	743.00
PB21001823	T BOSGRAAF HOMES I6830 GOLDEN VIEW DR SE		11/16/2021	318,922	833.00
				618,922	1,576.00
2	Permits	Value Total		618,922	1,576



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2. Some seminars/conferences that an employee may attend may be unrelated to their particular job or government in general, and are therefore not covered by this assistance policy.
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4. Under extenuating circumstances, the Township Manager may approve an overnight stay or expenditure over \$1,000 for a conference or seminar prior to Township Board approval. The request must be made before attendance to a seminar/conference. The Township Board will be informed of request at their next scheduled meeting.

This form must be completed by the employee and approved by the Township Manager and/or Township Board before the seminar/conference is attended.

Name: Doug Poolman Application Date: _____

Name of Proposed Seminar/Conference: Michigan Fire Inspector's 2022 Winter Conference

Seminar/Conference Date(s): February 8-10, 2022

Location of Seminar/Conference: Mt. Pleasant, MI

Description of Seminar/Conference: *(may also be attached)*

BI-Annual conference for fire code officials to gain knowledge of new and current trends in construction and life safety codes and also provide for required continuing educational points.



Winter Education Seminar

February 8-10, 2022

When

Tuesday, February 9, 2022 at 7:30 AM EST

to

Thursday, February 10, 2022 at 3:45 PM EST

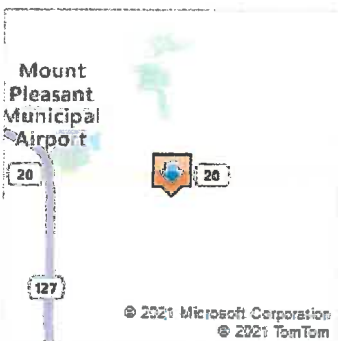
[Add to Calendar](#)

Where

Soaring Eagle

6800 Soaring Eagle Blvd.

Mount Pleasant, MI 48858



[Driving Directions](#)

Contact

Tammi J. Connell, CMP

Michigan Fire Inspectors Society

517.899.1304

administrator@mfis.org

Attendee Registration

You have successfully registered for Michigan Fire Inspectors Society Winter Conference. Please look for a confirmation email arriving shortly.

Thank you!
Tammi Connell
517.899.1304
administrator@mfis.org

[Share this event on Facebook](#)

[Tweet that you're attending](#)

Contact Information

First Name:

Doug

Last Name:

Poolman

Department Name:

Cascade Twp. Fire

Street Address:

2865 Thornhills Ave

SE

City:

Grand Rapid

State:

Michigan

ZIP Code:

49546

Phone:

616-325-6283

Email Address:

geofire891@gmail.com

Registration Information

If your registration includes membership/renewal, your membership will expire December 31, 2022. If your membership has expired and you do not wish to renew, NON-MEMBER rates will apply. CANCELLATIONS & REFUNDS: By checking this box, you understand that I understand refunds are given only through January 14, 2022. After that date, conference registration fee can be transferred to another person, applied to a future conference, or forfeited.

MEMBER | LIFE MEMBER | PAST-PRESIDENT FEES: By checking this box, I understand you understand that you have registered as a member, life member, or past-president of the Michigan Fire Inspectors Society. You will be notified if the membership status selected is not accurate and appropriate rates will then apply.

CREDIT CARD STATEMENT: By checking this box, you understand that if I understand you select the payment method as PayPal/Credit Card, your credit card statement will reflect a charge by "MFIS."

PLEASE NOTE: Be sure to click REGISTER upon completing this form. Failing to do so means that you are not registered. If you do not IMMEDIATELY receive an email confirmation, an error has occurred and you will want to contact our office at 517.899.1304

Conference Cost

Payment Summary

Payment Method

Paid By PayPal

Name

Type

Quantity

Fee

Total

Doug Poolman

Society Member - Full Conference

1

\$345.00

\$345.00

TOTAL:

\$345.00



CONFERENCE AGENDA

TUESDAY | FEBRUARY 8

7:30am–8:30am **Registration & Breakfast** (included with registration fee)

8:30am–4:00pm **2021 IFC Significant Changes** | ICC Representative

This six-hour seminar reviews and analyzes selected significant changes from the 2018 IFC® to the 2021 IFC®. Discussions will assist code users in identifying the specific code changes that have occurred, and more importantly, understanding the reason behind the change. Finally, it explains those code changes selected due to their frequency of application, special significance or change in application.

10:00am–10:15am **Networking Break with Exhibitors**

11:30am–12:30pm **Lunch** (included with registration fee)

2:00pm–2:15pm **Networking Break with Exhibitors**

WEDNESDAY | FEBRUARY 9

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8:30am–9:00am **Welcome and State Fire Marshal's Update** | SFM Kevin Sehlmeier

9:00am–10:30am **Keynote Session**

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12:30pm–3:45pm **Wicked Issues Facing the Code Official**

This three-hour program will talk about Energy Storage Systems, Battery Storage and Manufacture, Transition to Flammable Refrigerants, Tents and Membrane Structures, ERCS, and other hot topics as it relates to fire code changes from 2015-2024.

Michael O'Brian, Fire Chief, Brighton Area Fire Authority and Robert J. Davidson, Managing Partner, Davidson Code Concepts

2:00pm–2:15pm **Networking Break with Exhibitors**

3:45pm–5:30pm **Networking Reception with Exhibitors**



CONFERENCE AGENDA continued

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A discussion of how NFPA 24 and NFPA 13 related to underground water service and sprinkler systems can be reviewed and discussed with building construction and engineers through the site review and preconstruction process to reduce the effort necessary for compliance during the construction phase. The bulk of site design engineers and the Contracting teams that build them do not understand how the requirements of NFPA 24 and 13 will affect them getting a Certificate of Occupancy at a later date. We will discuss how sharing knowledge specific to each site before and at the preconstruction meeting will dramatically reduce your overall effort to ensure projects in your jurisdiction will comply with NFPA 24 and 13 when it comes time to verify the buildings underground water service was constructed compliant and can be accepted.
Greg Marker, PE, OHM Advisors
- 10:00am–10:15am **Networking Break with Exhibitors**
- 10:15am–11:45am **Yellow Rose Campaign**
Greg Flynn, Fire Chief, West Bloomfield Twp. Fire Department
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- 12:30pm–2:00pm **NFPA Updates | LiNK™ Resources**
NFPA celebrates 125 years of work devoted to eliminating death, injury, property, and economic loss due to fire, electrical and related hazards. It all began with the standard for fire sprinklers in 1896, and the National Electrical Code that followed in 1897. Since then, over 300 codes and standards have been developed to minimize the risk and effects of fire by establishing criteria for building, processing, design, service, and installation around the world. Today, NFPA continues to strive to provide you with the information and knowledge you need to do your job well in today's ever-changing environment. Learn about the latest updates, resources, and products that are available, including LiNK™ – the new digital access to codes & standards that allows you to go-by-the-book, without the book!
Meredith Hawes, Regional Director – North Central Region, NFPA
- 2:00pm–2:15pm **Networking Break with Exhibitors**
- 2:15pm–3:45pm **Community Risk Reduction**

Conference Concludes



WINTER EDUCATIONAL SEMINAR

February 8-10, 2022 | Soaring Eagle Conference Center, Mt. Pleasant, MI

CONFERENCE FEES

Society Members	Early Bird	After JAN 14
Full Conference	\$345	\$395
Daily Rate	\$125	\$175

Non-Society Members

Full Conference	\$445	\$495
Daily Rate	\$175	\$225

NEW THIS YEAR!

Included with the conference fee is breakfast and lunch each day!

HOTEL ACCOMMODATIONS

Soaring Eagle Resort

6800 Soaring Eagle Blvd., Mt. Pleasant, MI 48858
Telephone: 877.232.4532

A block of hotel rooms has been reserved with Soaring Eagle Resort at a rate of \$139 plus 6% tribal tax AND 8% resort fee for single/double occupancy. The cutoff date to reserve your room is January 14, however, the hotel block will fill quickly and there is no guarantee that rooms will be available until January 14. Please be sure to reserve your room early.

The cost of the hotel room is not included in the registration fee. Payment for the hotel MUST be paid separately and sent directly to the hotel. To make a hotel reservation, please contact the hotel directly using the link below.

► **Special Instructions:** You must enter the Group Code BEFORE selecting the Check-in and Check-out dates. To enter the Group Code, you please click Promo Code and change selection to Group Code. The **Group Code is FIRE020622**

RESERVE A ROOM

CONTINUING EDUCATION POINTS

There will be 18 continuing education points for the entire program. To receive these points, attendees will need to scan in/out of each session.

MEMBERSHIP/RENEWAL

You can become a Michigan Fire Inspectors Society member or renew your membership at the same time you register for the conference (\$30 per year).

PAYMENTS AND REFUNDS

Registration must be received by January 14, 2022, to take advantage of early bird rates. Conference refunds will not be returned for cancellation after January 14, 2022. Last day to register online is February 2, 2022.

REGISTRATION

Registration will be online with two payment options available for your convenience. If you do not immediately receive an email confirmation, the process is not complete. Please contact Tammi Connell for assistance (contact information below).

Online Registration - Pay with Credit Card

Please visit our website at www.mfis.org/trainings. The conference information is posted on the main page, just click on the **REGISTER HERE** link. Fill out the registration form and choose the PayPal payment option (you do not need a PayPal account). Once registration is complete, you will receive a confirmation via email and you are done!

Online Registration - Pay with Check

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Please direct all questions and payments to:

Michigan Fire Inspectors Society
P.O. Box 594
DeWitt, MI 48820
email: administrator@mfis.org
phone: 517.899.1304



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Name: Colin Forzley Application Date: 11/30/2021

Name of Proposed Seminar/Conference: MFIS Winter Educational Seminar

Seminar/Conference Date(s): February 8-10

Location of Seminar/Conference: Mt Pleasant, MI

Description of Seminar/Conference: *(may also be attached)*

See Attached

How will the Seminar/Conference benefit the employee and the township?

Helps keep up to date with the newest trends for fire inspections, also provides continuing education credits required for maintaining current certifications

Cost of the Seminar/Conference:

Registration \$ 345.00

Lodging \$ 475.38

Travel \$ Mileage

Account # _____

Applicant: 
Signature

Approvals:

Department Head: _____
Signature

Date

Township Manager: _____
Signature

Date

Clerk: _____
(Signature Indicates Township Board Approval)

Date

➤ Original to Personnel File

➤ 1 Copy to Applicant

➤ 1 Copy to Accounting



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6800 Soaring Eagle Blvd., Mt. Pleasant, MI 48858
Telephone: 877.232.4532

A block of hotel rooms has been reserved with Soaring Eagle Resort at a rate of \$139 plus 6% tribal tax AND 8% resort fee for single/double occupancy. The cutoff date to reserve your room is January 14, however, the hotel block will fill quickly and there is no guarantee that rooms will be available until January 14. Please be sure to reserve your room early.

The cost of the hotel room is not included in the registration fee. Payment for the hotel MUST be paid separately and sent directly to the hotel. To make a hotel reservation, please contact the hotel directly using the link below.

- **Special Instructions:** You must enter the Group Code BEFORE selecting the Check-in and Check-out dates. To enter the Group Code, you please click Promo Code and change selection to Group Code. The **Group Code** is **FIRE020622**

RESERVE A ROOM

CONTINUING EDUCATION POINTS

There will be 18 continuing education points for the entire program. To receive these points, attendees will need to scan in/out of each session.

MEMBERSHIP/RENEWAL

You can become a Michigan Fire Inspectors Society member or renew your membership at the same time you register for the conference (\$30 per year).

PAYMENTS AND REFUNDS

Registration must be received by January 14, 2022, to take advantage of early bird rates. Conference refunds will not be returned for cancellation after January 14, 2022. Last day to register online is February 2, 2022.

REGISTRATION

Registration will be online with two payment options available for your convenience. If you do not immediately receive an email confirmation, the process is not complete. Please contact Tammi Connell for assistance (contact information below).

Online Registration - Pay with Credit Card

Please visit our website at www.mfis.org/trainings. The conference information is posted on the main page, just click on the **REGISTER HERE** link. Fill out the registration form and choose the PayPal payment option (you do not need a PayPal account). Once registration is complete, you will receive a confirmation via email and you are done!

Online Registration - Pay with Check

Please visit our website at www.mfis.org/trainings. The conference information is posted on the main page, just click on the **REGISTER HERE** link. Fill out the registration form and choose the check payment option. Once registration is complete, you will receive confirmation via email. Send a copy of the confirmation along with your check, payable to **Michigan Fire Inspectors Society**, to the address below and you are done!

Please direct all questions and payments to:

Michigan Fire Inspectors Society
P.O. Box 594
DeWitt, MI 48820
email: administrator@mfis.org
phone: 517.899.1304

**CASCADE CHARTER TOWNSHIP
 KENT COUNTY, MICHIGAN
 BOARD MEETING DECEMBER 15, 2022
 RESOLUTION ___ OF 2021**

RESOLUTION TO AMEND THE FISCAL YEAR 2021 BUDGET

The following resolution was offered by Board Member _____ and supported by Board Member _____.

WHEREAS, Michigan Public Act 2 of 1968, as amended, requires that the Charter Township Board adopt budgets for the General Fund and all Special Revenue Funds, and

WHEREAS, Public Act 621 of 1978, the Uniform Budget Act, requires that the responsibility of the budget be designated,

NOW, THEREFORE, BE IT RESOLVED

The Cascade Charter Township Board amends the 2021 Fund Budgets as follows:

	Revenues	Expenditures
	<u>Increase (Decrease)</u>	<u>Increase (Decrease)</u>
General Fund (101)	109,638	51,500
Fire Fund (206)	0	180,000
Police Fund (207)	0	(40,362)
Grand Total	\$109,638	\$191,138

SEE 'EXHIBIT A' FOR DETAILS

YEAS: Board Members _____

NAYS: Board Members _____

ABSTAIN: Board Members _____

ABSENT: Board Members _____

RESOLUTION DECLARED ADOPTED DECEMBER 15, 2021

Susan B. Slater, Township Clerk

I HEREBY CERTIFY that the foregoing is a true and complete copy of a resolution adopted by the Township Board of Cascade Charter Township, County of Kent, Michigan, at a regular meeting held on December 15, 2021, and that said meeting was conducted and public notice of said meeting was given pursuant to and in full compliance with the Open Meetings Act, being Act 267, Public Acts of Michigan, 1976, and that the minutes of said meeting were kept and will be or have been made available as required by the Act.

Susan B. Slater, Township Clerk

General Fund - 101

Department: Revenues (000)		2021 Adopted	1st Quarter	2nd Quarter	3rd Quarter	4th Quarter	2021 Amended	Notes
Line Item	Description	Budgets	Amendments	Amendments	Amendments	Amendments	Budget	
101-000-539-576	State Shared Rev. - Sales Tax	\$ 1,549,396.00	\$ -	\$ -	\$ 150,000.00	\$ -	\$ 1,699,396.00	State Sales Receipts Higher Then Anticipated
101-000-573-000	Local Community Stabilization	\$ 49,156.00	\$ -	\$ 4,662.00	\$ -	\$ -	\$ 53,818.00	
101-000-539-581	Metro Act	\$ 17,000.00	\$ -	\$ 5,405.06	\$ -	\$ -	\$ 22,405.06	Adjust to Actual Payment
101-000-600-626	Passport Application Fee	\$ 21,000.00	\$ -	\$ (10,000.00)	\$ -	\$ -	\$ 11,000.00	Passport Office Closed for Pandemic
101-000-674-000	July 4th Sponsors	\$ 20,000.00	\$ -	\$ (20,000.00)	\$ -	\$ -	\$ -	4th of July Event Cancelled
101-000-699-100	Transfer From Police	\$ 40,362.00	\$ -	\$ -	\$ (40,362.00)	\$ -	\$ -	Reverse Transfer From Police Fund (Asst. Twp Mgr Position)

Department: Township Board (101)		2021 Adopted	1st Quarter	2nd Quarter	3rd Quarter	4th Quarter	2021 Amended	Notes
Line Item	Description	Budgets	Amendments	Amendments	Amendments	Amendments	Budget	
101-101-704-000	Wages - Part Time	\$ 39,926.00	\$ -	\$ 839.00	\$ -	\$ -	\$ 40,765.00	Reassignment of Assignable Salary

Department: Supervisor/Manager (171)		2021 Adopted	1st Quarter	2nd Quarter	3rd Quarter	4th Quarter	2021 Amended	Notes
Line Item	Description	Budgets	Amendments	Amendments	Amendments	Amendments	Budget	
101-171-702-000	Wages - Full-Time	\$ 200,061.00	\$ -	\$ -	\$ -	\$ -	\$ 200,061.00	Reassignment of Assignable Salary
101-171-703-200	Assignable Salary	\$ 29,546.00	\$ -	\$ (29,546.00)	\$ -	\$ -	\$ -	Reassignment of Assignable Salary
101-171-707-100	Overtime	\$ -	\$ -	\$ 5,000.00	\$ -	\$ -	\$ 5,000.00	Overtime for Non-Exempt
101-171-704-000	Wages - Part-Time	\$ 22,181.00	\$ -	\$ 466.00	\$ -	\$ -	\$ 22,647.00	Reassignment of Assignable Salary
101-171-724-000	Education	\$ 6,900.00	\$ -	\$ 646.00	\$ -	\$ -	\$ 7,546.00	Higher cost per credit
101-171-967-000	Special Projects	\$ 10,000.00	\$ -	\$ -	\$ 7,500.00	\$ -	\$ 17,500.00	Strategic Plan Costs

Department: Clerk (215)		2021 Adopted	1st Quarter	2nd Quarter	3rd Quarter	4th Quarter	2021 Amended	Notes
Line Item	Description	Budgets	Amendments	Amendments	Amendments	Amendments	Budget	
101-215-704-000	Wages - Part Time	\$ 17,745.00	\$ -	\$ 373.00	\$ -	\$ -	\$ 18,118.00	Reassignment of Assignable Salary
101-215-925-000	Clerk Cell Phone/ Ipad	\$ 1,200.00	\$ -	\$ 600.00	\$ -	\$ -	\$ 1,800.00	Added Cell Phone

Department: Treasurer (253)		2021 Adopted	1st Quarter	2nd Quarter	3rd Quarter	4th Quarter	2021 Amended	Notes
Line Item	Description	Budgets	Amendments	Amendments	Amendments	Amendments	Budget	
101-253-702-000	Wages - Full Time	\$ 110,430.00	\$ -	\$ 3,640.00	\$ -	\$ -	\$ 114,070.00	Reassignment of Assignable Salary

Department: Assessing (257)		2021 Adopted	1st Quarter	2nd Quarter	3rd Quarter	4th Quarter	2021 Amended	Notes
Line Item	Description	Budgets	Amendments	Amendments	Amendments	Amendments	Budget	
101-257-702-000	Wages - Full Time	\$ 210,456.00	\$ -	\$ 2,737.00	\$ -	\$ -	\$ 213,193.00	Reassignment of Assignable Salary

Department: Elections (262)		2021 Adopted	1st Quarter	2nd Quarter	3rd Quarter	4th Quarter	2021 Amended	Notes
Line Item	Description	Budgets	Amendments	Amendments	Amendments	Amendments	Budget	
					\$ -			

Department: Buildings & Grounds (265)		2021 Adopted	1st Quarter	2nd Quarter	3rd Quarter	4th Quarter	2021 Amended	Notes
Line Item	Description	Budgets	Amendments	Amendments	Amendments	Amendments	Budget	
101-265-702-000	Wages - Full-Time	\$ 292,329.00	\$ -	\$ 5,382.00	\$ -	\$ -	\$ 297,711.00	Reassignment of Assignable Salary
101-265-860-000	Mileage	\$ -	\$ -	\$ 250.00	\$ -	\$ -	\$ 250.00	Summer Help - Mileage
101-265-931-000	Complex Maintenance	\$ 60,000.00	\$ -	\$ 20,000.00	\$ -	\$ -	\$ 80,000.00	HVAC Issues

Department: Cemetery (276)		2021 Adopted	1st Quarter	2nd Quarter	3rd Quarter	4th Quarter	2021 Amended	Notes
Line Item	Description	Budgets	Amendments	Amendments	Amendments	Amendments	Budget	

Department: Administrative (295)		2021 Adopted	1st Quarter	2nd Quarter	3rd Quarter	4th Quarter	2021 Amended	Notes
Line Item	Description	Budgets	Amendments	Amendments	Amendments	Amendments	Budget	
101-295-702-000	Wages - Full Time	\$ 123,748.00	\$ -	\$ 4,228.00	\$ -	\$ -	\$ 127,976.00	Reassignment of Assignable Salary
101-295-826-000	Legal Fees	\$ 40,000.00	\$ -	\$ 60,000.00	\$ 35,000.00	\$ -	\$ 135,000.00	Tax Tribunal Cases; SAD Projects; Higher then normal usage

Department: Drain (445)		2021 Adopted	1st Quarter	2nd Quarter	3rd Quarter	4th Quarter	2021 Amended	Notes
Line Item	Description	Budgets	Amendments	Amendments	Amendments	Amendments	Budget	

Department: Roads (446)		2021 Adopted	1st Quarter	2nd Quarter	3rd Quarter	4th Quarter	2021 Amended	Notes
Line Item	Description	Budgets	Amendments	Amendments	Amendments	Amendments	Budget	
101-446-821-000	Road Overlays	\$ 400,000.00	\$ -	\$ 700,000.00	\$ -	\$ -	\$ 1,100,000.00	Additional Work Approved by Township Board

Department: Yard Waste Removal (447)		2021 Adopted	1st Quarter	2nd Quarter	3rd Quarter	4th Quarter	2021 Amended	Notes
Line Item	Description	Budgets	Amendments	Amendments	Amendments	Amendments	Budget	

Department: Streetlights (448)		2021 Adopted	1st Quarter	2nd Quarter	3rd Quarter	4th Quarter	2021 Amended	Notes
Line Item	Description	Budgets	Amendments	Amendments	Amendments	Amendments	Budget	

Department: Transportation (652)		2021 Adopted	1st Quarter	2nd Quarter	3rd Quarter	4th Quarter	2021 Amended	Notes
Line Item	Description	Budgets	Amendments	Amendments	Amendments	Amendments	Budget	
101-652-861-100	Bus Service 28th Street	\$ 214,711.00	\$ -	\$ (154,711.00)	\$ -	\$ -	\$ 60,000.00	Cost Moved to DDA

Department: Community Development (72)		2021 Adopted	1st Quarter	2nd Quarter	3rd Quarter	4th Quarter	2021 Amended	Notes
Line Item	Description	Budgets	Amendments	Amendments	Amendments	Amendments	Budget	
101-721-702-000	Wages - Full Time	\$ 268,390.00	\$ -	\$ 6,107.00	\$ -	\$ -	\$ 274,497.00	Reassignment of Assignable Salary
101-721-809-000	Planning Commission Expense	\$ -	\$ -	\$ 2,500.00	\$ -	\$ -	\$ 2,500.00	

<u>Line Item</u>	<u>Department:</u> Parks (756)	<u>2021 Adopted</u>	<u>1st Quarter</u>	<u>2nd Quarter</u>	<u>3rd Quarter</u>	<u>4th Quarter</u>	<u>2021 Amended</u>	<u>Notes</u>
	<u>Description</u>	<u>Budgets</u>	<u>Amendments</u>	<u>Amendments</u>	<u>Amendments</u>	<u>Amendments</u>	<u>Budget</u>	

<u>Line Item</u>	<u>Department:</u> Historical (803)	<u>2021 Adopted</u>	<u>1st Quarter</u>	<u>2nd Quarter</u>	<u>3rd Quarter</u>	<u>4th Quarter</u>	<u>2021 Amended</u>	<u>Notes</u>
	<u>Description</u>	<u>Budgets</u>	<u>Amendments</u>	<u>Amendments</u>	<u>Amendments</u>	<u>Amendments</u>	<u>Budget</u>	

<u>Line Item</u>	<u>Department:</u> Benefits/Insurance (803)	<u>2021 Adopted</u>	<u>1st Quarter</u>	<u>2nd Quarter</u>	<u>3rd Quarter</u>	<u>4th Quarter</u>	<u>2021 Amended</u>	<u>Notes</u>
	<u>Description</u>	<u>Budgets</u>	<u>Amendments</u>	<u>Amendments</u>	<u>Amendments</u>	<u>Amendments</u>	<u>Budget</u>	
101-850-717-000	Workers Comp	\$ 49,020.00	\$ -	\$ -	\$ 8,000.00	\$ -	\$ 57,020.00	Final Amount Based on Salary Audit
101-850-718-300	Other Benefits	\$ -	\$ -	\$ 26,000.00		\$ -	\$ 26,000.00	PTO Buyback Program
101-850-723-000	Other Benefits	\$ -	\$ -	\$ 50.00	\$ 1,000.00	\$ -	\$ 1,050.00	Unemployment Qrtly Tax Payment

<u>Line Item</u>	<u>Department:</u> Capital Outlay (901)	<u>2021 Adopted</u>	<u>1st Quarter</u>	<u>2nd Quarter</u>	<u>3rd Quarter</u>	<u>4th Quarter</u>	<u>2021 Amended</u>	<u>Notes</u>
	<u>Description</u>	<u>Budgets</u>	<u>Amendments</u>	<u>Amendments</u>	<u>Amendments</u>	<u>Amendments</u>	<u>Budget</u>	
101-901-971-000	Capital Outlay - Land	\$ -	\$ -	\$ 310,000.00	\$ -	\$ -	\$ 310,000.00	2954 Wycliffe Purchase

<u>Line Item</u>	<u>Department:</u> Transfers Out (803)	<u>2021 Adopted</u>	<u>1st Quarter</u>	<u>2nd Quarter</u>	<u>3rd Quarter</u>	<u>4th Quarter</u>	<u>2021 Amended</u>	<u>Notes</u>
	<u>Description</u>	<u>Budgets</u>	<u>Amendments</u>	<u>Amendments</u>	<u>Amendments</u>	<u>Amendments</u>	<u>Budget</u>	

Total Revenues:	\$ 5,133,464.00	\$ -	\$ (19,932.94)	\$ 109,638.00	\$ -	\$ 5,223,169.06
Total Expenditures:	\$ 5,184,577.00	\$ -	\$ 964,561.00	\$ 51,500.00	\$ -	\$ 6,200,638.00
Net Revenues of Expenditures:	\$ (51,113.00)	\$ -	\$ (984,493.94)	\$ 58,138.00	\$ -	\$ (977,468.94)

Fire Fund -206

Department: Revenues (000)		2021 Adopted	1st Quarter	2nd Quarter	3rd Quarter	4th Quarter	2021 Amended	Notes
Line Item	Description	Budgets	Amendments	Amendments	Amendments	Amendments	Budget	
206-000-573-000	Community Stabilization Share	\$ 33,257.00	\$ -	\$ 142.26	\$ -	\$ -	\$ 33,399.26	Adjusted to Revenue Received (Tier III Payment))
206-000-543-000	State Grant	\$ -	\$ -	\$ 4,200.00	\$ -	\$ -	\$ 4,200.00	NEW- Grant Awarded to Fire Department- Robotic Maniquin
206-000-655-661	District Court Fines	\$ -	\$ -	\$ 54.45	\$ -	\$ -	\$ 54.45	Adjusted to Revenue Received

Department: Fire Department (336)		2021 Adopted	1st Quarter	2nd Quarter	3rd Quarter	4th Quarter	2021 Amended	Notes
Line Item	Description	Budgets	Amendments	Amendments	Amendments	Amendments	Budget	
206-336-702-000	Wages - Full Time	\$ 1,470,310.00	\$ -	\$ (50,010.00)	\$ -	\$ -	\$ 1,420,300.00	Decrease due to CARES ACT funding Fire fighter Wages
206-336-713-000	Overtime	\$ 70,000.00	\$ -	\$ 45,000.00	\$ -	\$ -	\$ 115,000.00	Increase due to shortage of Fire Fighters; FLSA Payments
206-336-723-000	Fire Membership & Dues	\$ 2,500.00	\$ -	\$ 300.00	\$ -	\$ -	\$ 2,800.00	Cover Fall Membership Dues
206-336-752-100	Medical Supplies	\$ -	\$ -	\$ 7,000.00	\$ -	\$ -	\$ 7,000.00	Differentiate from regular supplies
206-336-810-000	Liability Insurance	\$ 21,533.00	\$ -	\$ 2,248.30	\$ -	\$ -	\$ 23,781.30	Increase in Insurance Premium
206-336-932-000	Fire Office Equipment & Computer Repair	\$ 4,000.00	\$ -	\$ 5,000.00	\$ -	\$ -	\$ 9,000.00	Township new phone system
206-336-932-000	Fire Supplemental Equipment	\$ 14,000.00	\$ -	\$ (7,000.00)	\$ -	\$ -	\$ 7,000.00	Reduce and reassign to Medical Supplies
206-336-932-100	Fire - Robotic Maniquin for training	\$ -	\$ -	\$ 4,200.00	\$ -	\$ -	\$ 4,200.00	NEW- Grant Awarded to Fire Department- Robotic Maniquin

Department: Benefits/Insurance (850)		2021 Adopted	1st Quarter	2nd Quarter	3rd Quarter	4th Quarter	2021 Amended	Notes
Line Item	Description	Budgets	Amendments	Amendments	Amendments	Amendments	Budget	
206-850-717-000	Workers Comp. Insurance	\$ 113,335.00	\$ -	\$ -	\$ 30,000.00	\$ -	\$ 143,335.00	Update based on salary audit
206-850-718-200	Health Savings Account	\$ 30,800.00	\$ -	\$ 9,197.00	\$ -	\$ -	\$ 39,997.00	Additional Employees H.S. A. Contribution
206-850-718-300	Other Benefits	\$ -	\$ -	\$ 22,500.00	\$ -	\$ -	\$ 22,500.00	PTO Buy-out Program
206-850-719-000	Health Insurance Benefits	\$ 183,072.00	\$ -	\$ 60,000.00	\$ -	\$ -	\$ 243,072.00	Mid Year Changes in Coverage

Department: Capital Outlay (901)		2021 Adopted	1st Quarter	2nd Quarter	3rd Quarter	4th Quarter	2021 Amended	Notes
Line Item	Description	Budgets	Amendments	Amendments	Amendments	Amendments	Budget	
206-901-975-000	CAPITAL OUTLAY - BLDG IMP	\$ -	\$ -	\$ -	\$ 150,000.00	\$ -	\$ 150,000.00	Prebidding FS#1 Arch/Engineering
206-901-974-000	CAPITAL OUTLAY - LAND IMP	\$ -	\$ -	\$ 35,000.00	\$ -	\$ -	\$ 35,000.00	Station 2 Outbuilding/Engineering

Total Revenues:	\$ 2,673,729.00	\$ -	\$ 4,396.71	\$ -	\$ -	\$ -	\$ 2,678,125.71	
Total Expenditures:	\$ 2,947,816.00	\$ -	\$ 133,435.30	\$ 180,000.00	\$ -	\$ -	\$ 3,261,251.30	
Net Revenues of Expenditures:	\$ (274,087.00)	\$ -	\$ (129,038.59)	\$ (180,000.00)	\$ -	\$ -	\$ (583,125.59)	

Police Fund - 207

Department: Revenues (000)		2021 Adopted	1st Quarter	2nd Quarter	3rd Quarter	4th Quarter	2021 Amended	
Line Item	Description	Budgets	Amendments	Amendments	Amendments	Amendments	Budget	Notes
Department: Police (301)								
Line Item	Description	2021 Adopted	1st Quarter	2nd Quarter	3rd Quarter	4th Quarter	2021 Amended	Notes
207-965-999-000	Transfer to Other Fund	\$ 40,362.00	\$ -	\$ -	\$ (40,362.00)	\$ -	\$ -	Reverse Transfer From Police Fund (Asst. Twp Mgr Position)
Total Revenues:		\$ 776,127.00	\$ -	\$ -	\$ -	\$ -	\$ 776,127.00	
Total Expenditures:		\$ 730,762.00	\$ -	\$ -	\$ (40,362.00)	\$ -	\$ 690,400.00	
Net Revenues of Expenditures:		\$ 45,365.00	\$ -	\$ -	\$ 40,362.00	\$ -	\$ 85,727.00	



CASCADE CHARTER TOWNSHIP

5920 Tahoe Dr. SE Grand Rapids, Michigan 49546

Date: November 3, 2021
To: Supervisor Lesperance and Township Board Members
From: Ben Swayze, Township Manager
Subject: Stormwater Ordinance – Introduction and Setting of Public Hearing

*****REQUEST TO RESET PUBLIC HEARING TO JANUARY 12, 2022*****

FACTS:

Cascade Township owns and operates a small municipal separate storm sewer system (MS4) that serves Township owned facilities and parks. An MS4 is a conveyance or system of conveyances that is:

- Owned by a state, city, township, village or other public entity that discharges to waters of the US
- Designed or used to collect or convey stormwater (e.g. storm drains, ditches, pipes)
- Not a combined sewer
- Not part of a sewage treatment plant or publicly owned treatment works

To prevent harmful pollutants from being washed or dumped into MS4's, certain municipalities, such as Cascade Township, are required to obtain National Pollutant Discharge Elimination System (NPDES) permits and develop stormwater management plans (SWMPs) The SWMP describes the stormwater control practices that will be implemented consistent with permit requirements to minimize the discharge of pollutants from the sewer system.

Cascade Township partners with LGROW (Lower Grand River Organization of Watersheds) in order to administer the Township MS4 NPDES permit along with 23 other Kent and Ottawa County organizations. Each community in the group had the opportunity to use the model ordinance and manual with some modifications to suit their specific goals, provided minimum State requirements are met. The proposed ordinance and manual were reviewed and tentatively approved by the Township Board in 2016 and subsequently submitted to the State for review and approval. We have been waiting since then for the State to approve the MS4 permit. That permit was recently approved June 30, 2021. Part of the conditions of the Township MS4 permit is approval of the new stormwater ordinance.

Attached for your review is:

- Please see 11.03.21 Agenda Packet

ANALYSIS & CONCLUSIONS:

The memo from the Township Engineer should be read in detail to understand what the approval of the new Stormwater Ordinance would entail. Both Fishbeck engineer Mike Berrevoets and

LGROW Program Coordinator Cara Decker will be in attendance to review the new ordinance and process for development.

If the Township Board wishes to move forward with the adoption of the new Stormwater Ordinance, a public hearing will need to be held prior to adoption. Township Staff is recommending the public hearing be set for the regular Township Board meeting on **January 12, 2022 at 7pm** at the Wisner Center.

FINANCIAL CONSIDERATIONS:

The adoption of the new Stormwater Ordinance itself comes with minimal costs, including staff time, printing and publishing. The new requirements of the ordinance may increase costs to the Township in regards to regulatory activities and costs for future development projects, however it is difficult at this time to quantify those additional costs.

RECOMMENDED ACTION:

Set the Public Hearing for the consideration of the new Cascade Township Stormwater Ordinance for Wednesday **January 12, 2022** at 7pm at the Wisner Center.

MEMORANDUM

To: Cascade Charter Township Board
From: Brian Hilbrands, Interim Planning Director
Subject: Consider amendment to LeTourneau PUD Ordinance to permit a dental office.
Meeting Date: December 15, 2021

The applicant is requesting final plan approval in order to amend the existing Planned Unit Development to permit a dental office. The dental office would be located in the existing 2,500 square foot building and would have 12 parking spaces. Attached to this memo is the Planning Commission staff report for changes to the LeTourneau PUD. The LeTourneau PUD was created in 1989 and this is the first amendment.

Since the application appears to meet the standards for a PUD as listed in Section 16.03 of the Zoning Ordinance and included in the Staff Report, staff have recommended approval of the plan with the following conditions:

1. The applicant complies with the Township Engineer's letter dated November 2, 2021, and all necessary permits are obtained before construction begins.
2. Record the stormwater maintenance agreement.
3. Submit a landscape bond of \$2,000.

The Planning Commission held a public hearing on this matter at the November 8, 2021 meeting and has recommended approval of the site plan along with the amendment to the PUD Ordinance.

Attachments: Planning Commission Staff Report
Proposed PUD Ordinance Amendment
Application package and site plan
Township Engineer Letter
Current PUD Ordinance LeTourneau #6 of 1989

STAFF REPORT

STAFF REPORT: Case #21-3632/Gole Dental Properties
REPORT DATE: November 2, 2021
PREPARED FOR: Cascade Charter Township Planning Commission
MEETING DATE: November 8, 2021
PREPARED BY: Brian Hilbrands, Planner

APPLICANT:
Gole Dental Properties
3636 Kraft Ave SE
Grand Rapids, MI 49512

STATUS
OF APPLICANT: Owner

REQUESTED ACTION: Preliminary plan approval to amend the existing P.U.D. to permit a dental office.

EXISTING ZONING OF
SUBJECT PARCEL(S): PUD 49

GENERAL LOCATION: Southeast corner of Kraft Ave and 36th St

PARCEL SIZE: Approximately 1.8 acres

EXISTING LAND USE
ON THE PROPERTY: Office – Pension Concepts, Inc.

ADJACENT AREA
LAND USES: W – Impact Collision Repair
S,E – Pepsi Bottling Group
N – Eclipse Distributing

ZONING ON
ADJOINING PARCELS: N – TI (Transitional Industrial)
S,E,W – I (Industrial)

STAFF COMMENTS:

1. The applicant is requesting Preliminary Plan Approval to amend the existing Planned Unit Development to allow for a dental office in the existing 2,500 sq ft building.
2. This was brought in front of the Planning Commission for a Basic Plan Review at the April 19, 2021 meeting. The applicant has provided the required information to proceed to the preliminary plan review.

3. The site was rezoned to PUD in 1989. It was rezoned in order to allow the existing home on the property to instead be used as office space.
4. The site is currently the location of Pension Concepts, Inc. The language in the PUD Ordinance is very specific in naming this business as the only permitted use. The language will have to be amended in order to allow for the dental office as a permitted use.
5. The developer is proposing to use the existing building for a dental office. They are also proposing slight modifications to the site. The parking lot will be slightly expanded to accommodate 12 parking spaces. This meets the minimum parking space requirements. The site plan also shows a sidewalk being added, along with additional landscaping.
6. The township engineer has reviewed and approved the plans, and their comments are included in your packet. The applicant will need to apply for and obtain several permits such as SESC and a water connection from the city before beginning construction, along with submitting a stormwater maintenance agreement to the Township.
7. The plans show a new septic system being installed to the south of the building. The applicant has received approval from the Kent County Health Department.
8. A dumpster is shown south of the building with a 6' tall enclosure to meet Township requirements.
9. The Fire Department has reviewed and approved the plans.
10. The application includes a landscaping plan that includes new plantings on the west property line along Kraft Avenue. A landscape bond in the amount of \$2,000 will be required prior to obtaining a building permit.
11. The PUD Ordinance requires a 30' greenstrip along Kraft Ave and 15' greenstrip along all other property lines. The bufferyard shown on the plans is narrower than the required width. However, what they are requesting actually slightly increases the existing bufferyard along Kraft Ave, and it also includes new plantings along that property line. The narrow bufferyard can be addressed in the PUD amendment.
12. Since there are changes being made to the lighting in the parking lot, a photometric plan will need to be submitted.
13. The applicant currently shows a proposed sign on the site plan. The sign should be located a minimum of 5' from any lot line and 25' from the edge of the pavement, which meets the requirements of the I and TI zoning districts.
14. The applicant has received approval from the Kent County Road Commission for the changes to the curb-cuts.

15. If Preliminary Plan Approval is given, then a PUD amendment will be written and brought back before the Planning Commission for a recommendation to the Township Board.

16. Standards

Section 16.03 of the Zoning Ordinance requires that a Planned Unit Development must demonstrate that:

Standard	Staff Comment
Granting of the Planned Unit Development rezoning will result in a recognizable and substantial benefit to the ultimate users of the project and to the community, where such benefit would otherwise be unfeasible or unlikely to be achieved.	The property is already zoned PUD. A dental office would be consistent with the office use that was allowed previously.
In relation to underlying zoning, the proposed type and density of use shall not result in a material increase in the need for public services, facilities and utilities, and shall not place a material burden upon the subject or surrounding land or property owners and occupants or the natural environment.	The proposed use would not result in an increase in the need of public services.
The proposed development shall be compatible with the General Development Plan of the Township and shall be consistent with the intent and spirit of this Chapter.	The proposed use is consistent with what has been permitted on the site.
In relation to the underlying zoning, the proposed development shall not result in an unreasonable negative economic impact upon surrounding properties.	The proposed use should not result in an unreasonable economic impact.
The proposed development shall contain at least as much green area and usable open space as would otherwise be required by this Ordinance with respect to the most dominant use in the development.	Met
The proposed development shall be under single ownership or control such that there is a single person or entity having responsibility for completing the project in conformity with this Ordinance. This provision shall not prohibit a transfer of	Met

ownership or control, upon due notice to the Planning Director of the Township.	
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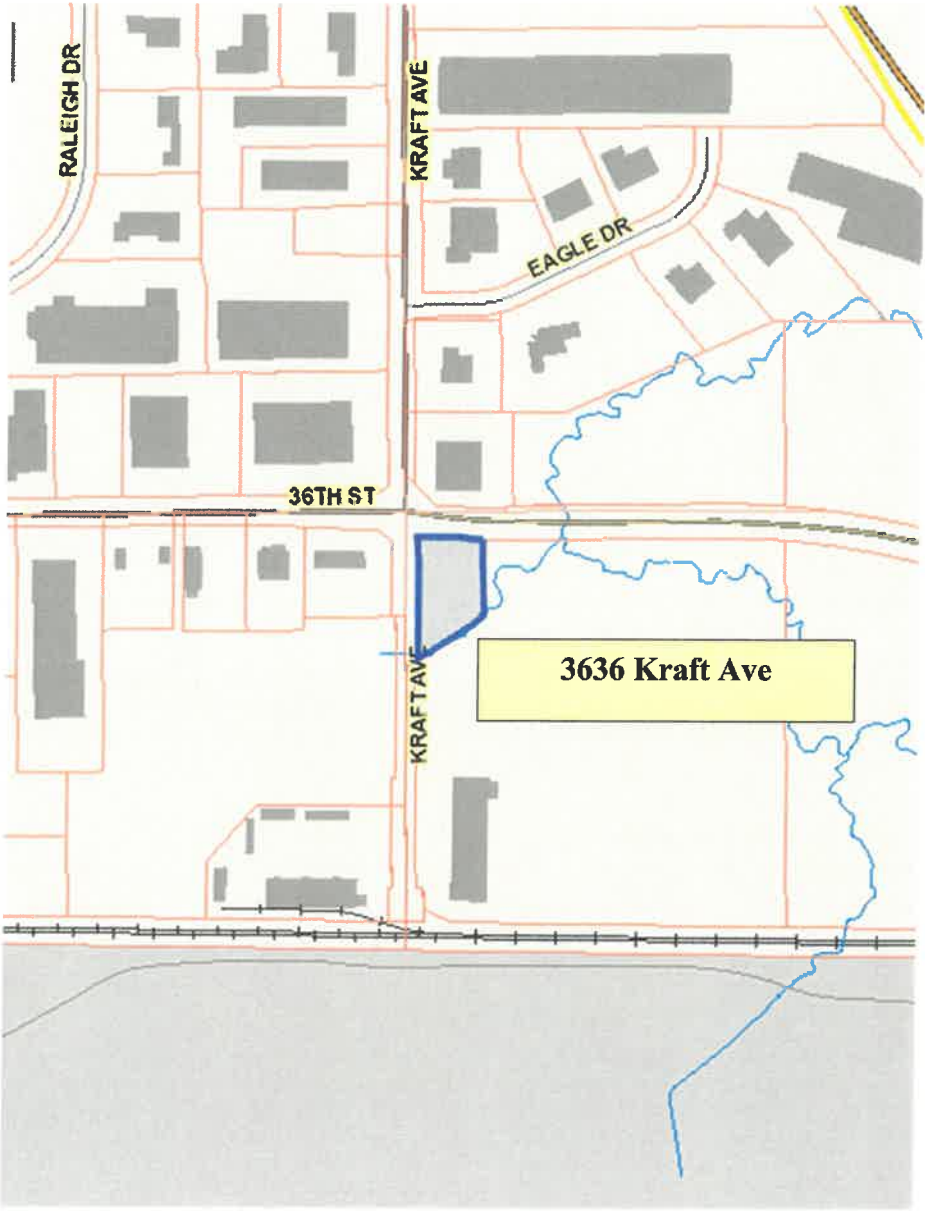
Staff Recommendation

Staff recommends approval of the preliminary plan with the following conditions:

1. The applicant complies with the Township Engineer's letter dated November 2, 2021, and all necessary permits are obtained before construction begins.
2. Record the stormwater maintenance agreement.
3. Submit a landscape bond of \$2,000.
4. A photometric plan is submitted that meets Township standards.

ATTACHMENTS:

Application
Site Plan
Township Engineer Letter
Current PUD Ordinance LeTourneau #6 of 1989



CASCADE CHARTER TOWNSHIP
Ordinance #__ of 2021
AN ORDINANCE TO AMEND ORDINANCE #6 OF 1989,
THE H. LOUIS LETOURNEAU
PLANNED UNIT DEVELOPMENT PROJECT

CASCADE CHARTER TOWNSHIP ORDAINS:

Section 1. Amendment to the H. Louis LeTourneau PUD Ordinance

Section II. Legal Description.

Section II shall be deleted and replaced with:

The legal description of the Premises is as follows:

THAT PART OF THE WEST 1/2 OF THE NORTHWEST 1/4 OF SECTION 20, TOWN 6 NORTH, RANGE 10 WEST, CASCADE TOWNSHIP, KENT COUNTY, MICHIGAN, DESCRIBED AS: BEGINNING AT A POINT ON THE WEST LINE OF SAID SECTION 20 S00°41'05"E, 89.11 FEET FROM THE NORTHWEST CORNER OF SAID SECTION 20 AND S87°33'18"E, 43.06 FEET TO THE EASTERLY RIGHT OF WAY LINE OF KRAFT AVENUE AND THE POINT OF BEGINNING; THENCE SOUTHEASTERLY, 228.18 FEET ALONG A 10,060 FOOT RADIUS CURVE TO THE LEFT, THE LONG CHORD OF WHICH BEARS S88°19'38"E, 228.18 FEET ALONG THE SOUTH RIGHT OF WAY LINE OF 36TH STREET; THENCE S00°41'05"E, 263.23 FEET; THENCE S44°23'00"W, 57.15 FEET; THENCE S57°56'33"W, 219.64 FEET TO SAID EAST RIGHT OF WAY LINE OF KRAFT AVENUE; THENCE N00°41'05"W, 427.32 FEET ALONG SAID RIGHT OF WAY LINE TO THE POINT OF BEGINNING. SAID PARCEL CONTAINS 1.839 ACRES OF LAND. SUBJECT TO RESTRICTIONS, EASEMENTS, AND RIGHTS OF WAY OF RECORD.

Section IV. Permitted Uses.

Section IV shall be deleted and replaced with:

The permitted use for the H. Louis LeTourneau PUD shall be limited to one (1) 2,500 square foot office building which will house a dental office.

Section V. Design Standards.

Section V shall be deleted and replaced with:

For the purposes of this PUD, only one (1) building containing not more than 2,500 square feet shall be permitted. The following design standards shall apply within the H. Louis LeTourneau PUD.

A. Area Regulations

1. The building shall be setback from the street right-of-way a minimum of 70 feet.
2. The side yard setback shall in no case be less than 150 feet.
3. The rear setback shall in no case be less than 100 feet.

B. Height Regulations

The building shall not exceed the height of thirty-five (35) feet as measured in accordance with the Cascade Charter Township Zoning Ordinance.

C. Off Street Parking and Loading Areas

1. All employee parking shall be provided on-site and not on any streets. Such parking areas shall be surfaced prior to occupancy with bituminous concrete or asphalt. Driveways shall be constructed with materials equal to or better than the requirements established by the Kent County Road Commission.
2. The off-street parking area shall be drained so as to prevent drainage onto abutting properties and shall comply with the Township Engineer's letter dated November 2, 2021.
3. Any lighting fixtures used to illuminate off-street parking shall be so arranged as to reflect the light away from adjacent properties, streets or highways.

D. Parking Requirements

1. Off-street parking for the Premises shall accommodate 12 vehicles.
2. Each off-street parking space for automobiles shall be a minimum of 162 square feet in area, with a minimum width of nine (9) feet, exclusive of access drives or aisles. There shall be provided a minimum access drive of twenty (20) feet in width, and where a turning radius is necessary, it shall be of such an arc as to reasonably allow an

unobstructed flow of vehicles. Parking aisles shall be of sufficient width to allow a minimum turning movement into and out of parking spaces. All parking shall be 90-degree parking with a minimum aisles width of 24 feet.

E. Signs

No signs shall be placed on the Premises except those specifically permitted below and as allowed by the Cascade Charter Township Sign Ordinance as amended:

1. One (1) freestanding sign containing no more than sixty-four (64) square feet in sign area. The sign must be ground mounted and shall not exceed a height of five (5) feet. The sign shall be located a minimum of twenty-five (25) feet from the pavement of the adjacent roadway(s) and in any event, no closer than five (5) feet to any lot line(s).
2. One (1) wall sign not to exceed fifty (50) square feet in total area. Or, one (1) awning/canopy sign not to exceed thirty-two (32) square feet in total sign area.
3. Directional signs, provided each sign does not exceed five (5) square feet.
4. One (1) construction sign, not to exceed thirty-two (32) square feet in sign area. Such sign may be erected thirty (30) days prior to beginning of construction and shall be removed thirty (30) days following completion of construction.

Section VI. Greenbelt and Landscaping Requirements.

Section VI shall be deleted and replaced with:

A. Minimum Greenbelt and Landscaping Requirements

For the purposes of screening the Premises, the Developer shall provide greenstrips and landscaping materials according to the approved landscaping plan as drawn by Nederveld dated October 7, 2021.

Greenstrips shall be located along the outer perimeter of the Premises to the logical extent possible. Any existing plant material which satisfies the requirements of this section may be counted toward satisfying their respective landscape requirement for the lineal feet in which they occupy. It cannot be credited towards areas that have no significant stands of

trees. The developer is urged to maintain, to the extent possible, all of the existing site landscaping.

B. Minimum Plant Size Requirements

For the purposes of this development, all landscaping materials shall meet the following minimum size standards:

Plant Type	Size
Canopy Tree	2-1/2 inch caliper
Understory Tree	1-1/2 inch caliper
Evergreen Tree	5 feet (height)
Shrubs	24 inches (height)

All plant species listed in Section 20.11 of the Cascade Township Zoning Ordinance shall not be credited as meeting the landscape requirements contained in this ordinance.

C. Other Landscape Requirements

1. Landscaping shall be installed within ninety (90) days of completion of the project, or unless permitted in writing by the Planning Director at a later date.
2. All landscaping shall be hardy plant materials and maintained thereafter in a neat and orderly manner. Withered and/or dead plant materials shall be replaced within a reasonable period of time but no longer than one growing season.
3. The Township shall require that the applicant provide a performance guarantee in the form of a performance bond, letter of credit, or certified check in an amount equal to the estimated cost of the required landscaping improvements. Such guarantee shall be deposited with the Township Clerk at the time of the issuance of the permit authorizing the activity to ensure faithful completion of the improvements indicated on the approved site plan.

Section VII – Site Plan.

Section VII shall be deleted and replaced with:

The H. Louis LeTourneau PUD shall be subject to all site plan items depicted on the site plan approved by the Township Board and dated October 7, 2021.

Section 2. Effective Date

This PUD Ordinance amendment shall become effective upon publication in the Grand Rapids Press, a newspaper of general circulation within Cascade Charter Township.

Section 3. Effect

The Cascade Charter Township Zoning Ordinance, as amended, and the remainder of Ordinance #6 of 1989, as amended, except as otherwise expressly amended herein, shall remain in full force and effect.

The foregoing Ordinance amendment was offered by Board Member _____ supported by Board Member _____. The roll call vote being as follows:

YEAS:

NAYS:

ABSENT:

ABSTAIN:

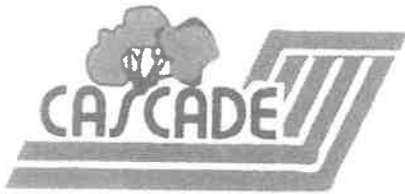
ORDINANCE DECLARED ADOPTED.

Sue Slater
Cascade Charter Township Clerk

CERTIFICATION

I hereby certify the foregoing to be a true copy of an Ordinance adopted at a Regular Meeting of the Cascade Charter Township Board on the ___th day of _____ 2021.

Sue Slater
Cascade Charter Township Clerk



CASCADE CHARTER TOWNSHIP

2865 Thornhills SE Grand Rapids, Michigan
49546-7140

PLANNING & ZONING APPLICATION

APPLICANT: Name: GOLE DENTAL PROPERTIES
Address: 121 W. WOODLAWN AVE
City & Zip Code: HASTINGS, MI 49058
Telephone: (269) 948-2244
Email Address: philgole@hotmail.com

OWNER: * (If different from Applicant)
Name: LeTourneau Trust
Address: 623-146th AVE
City & Zip Code: Caledonia, mi 49316
Telephone: 616-891-3111
Email Address: _____

NATURE OF THE REQUEST: (Please check the appropriate box or boxes)

- | | |
|--|--|
| <input type="checkbox"/> Administrative Appeal | <input type="checkbox"/> Administrative Site Plan Review |
| <input type="checkbox"/> Deferred Parking | <input checked="" type="checkbox"/> P.U.D. - Rezoning * |
| <input type="checkbox"/> P.U.D. - Site Condominium * | <input type="checkbox"/> Rezoning |
| <input type="checkbox"/> Site Plan Review * | <input type="checkbox"/> Sign Variance |
| <input type="checkbox"/> Special Use Permit | <input type="checkbox"/> Subdivision Plat Review * |
| <input type="checkbox"/> Zoning Variance | <input type="checkbox"/> Other: _____ * |

* Requires an initial submission of 5 copies of the completed site plan

BRIEFLY DESCRIBE YOUR REQUEST:**

MODIFY LETOURNEAU #6 TO ADD ONE
ADDITIONAL PARKING SPACE FOR A TOTAL
OF 13. PARKING ISLE WIDTH TO BE

(**Use Attachments if Necessary)

-SEE OTHER SIDE-

LEGAL DESCRIPTION OF PROPERTY:**

EXPANDED FROM CURRENT WIDTH TO
25'. A SIDEWALK WILL BE ADDED
AND A HANDICAP RAMP WILL
REPLACE THE STEPS. APPLICANT WILL
USE EXISTING BUILDING FOR DENTAL OFFICE

(**Use Attachments if Necessary)

PERMANENT PARCEL (TAX) NUMBER: 41-19-20-100-011 AND 41-19-20-100-013

ADDRESS OF PROPERTY: 3636 KRAFT AVE SE GRAND RAPIDS 49512

PRESENT USE OF THE PROPERTY: VACANT WAS PENSION CONCEPTS

NAME(S) & ADDRESS(ES) OF ALL OTHER PERSONS, CORPORATIONS, OR FIRMS HAVING A LEGAL OR EQUITABLE INTEREST IN THE PROPERTY:


Name(s)

Address(es)

SIGNATURES

I (we) the undersigned certify that the information contained on this application form and the required documents attached hereto are to the best of my (our) knowledge true and accurate. I (we) also agree to reimburse the Cascade Charter Township for all costs, including consultant costs, to review this request in a timely manner. I (we) understand that these costs may also include administrative reviews which may occur after the Township has taken action on my (our) request.

I (we) the undersigned also acknowledge that the proposed project does not violate any known property restrictions (i.e. plat restrictions, deed restrictions, covenants, etc.)

 Kathryn J. LeTourneau

Owner - Print or Type Name
(*If different from Applicant)

* [Signature]

Owner's Signature & Date
(*If different from Applicant)

Philip D Gole DDS

Applicant - Print or Type Name

[Signature]

Applicant's Signature & Date

PLEASE ATTACH ALL REQUIRED DOCUMENTS NOTED IN THE PROCESS REVIEW SHEET - THANK YOU

Rev. 7/24/14

JASON D GOLE DDS

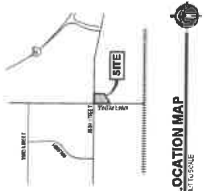
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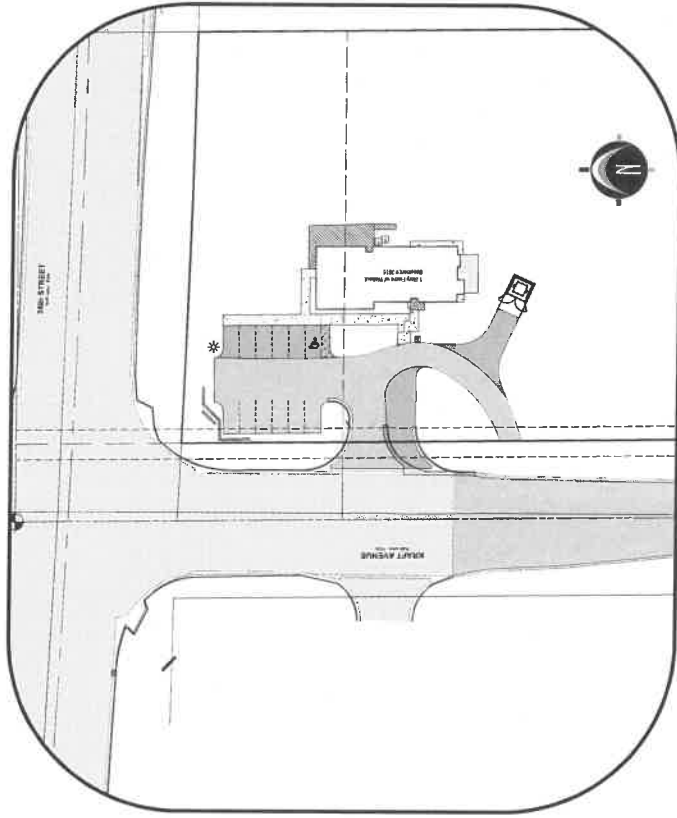
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GOLE DENTAL

CASCADE TOWNSHIP, KENT COUNTY, MICHIGAN



SITE PLAN



UTILITY COMPANY CONTACTS

Gas: DTE (616) 854-4588
 Electric: Consumers Energy (616) 833-4338
 Cable: Spectrum (616) 299-2925
 Water: Grand Rapids (616) 299-2925

SHEET INDEX

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Site Layout Plan	C-305	Page 3
Details and Specifications	C-500	Page 4
Driveway Improvement Plan	C-700	Page 5
Barndoor Sizing Detail Plan	C-800	Page 6
Barndoor Foundation & Details	C-901	Page 7
Landscape Plan	L-200	Page 8



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 GRAND RAPIDS, MI 49503

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 COULUMBA
 HOLLAND
 HOLLAND
 HOLLAND

PREPARED FOR:
 Gole Dental Properties, LLC
 Attn: Mr. Phil Gole

7550 Olive Wood Drive NE
 Grand Rapids, MI 49506

REVISIONS:

No.	Issue	Date
1	Issue	08/12/14
2	Issue	08/12/14
3	Issue	08/12/14
4	Issue	08/12/14
5	Issue	08/12/14
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7	Issue	08/12/14
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100	Issue	08/12/14

3616 & 3636 KRAFT AVE.
 Cover Sheet
 3616 & 3636 KRAFT AVENUE, GRAND RAPIDS, MI 49506
 PROJECT 02-185, 4014 SECTION 20, TOWN HOLLOW
 CASCADE TOWNSHIP, KENT COUNTY, MICHIGAN



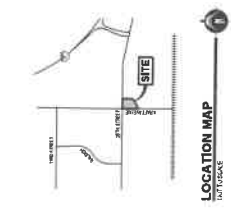
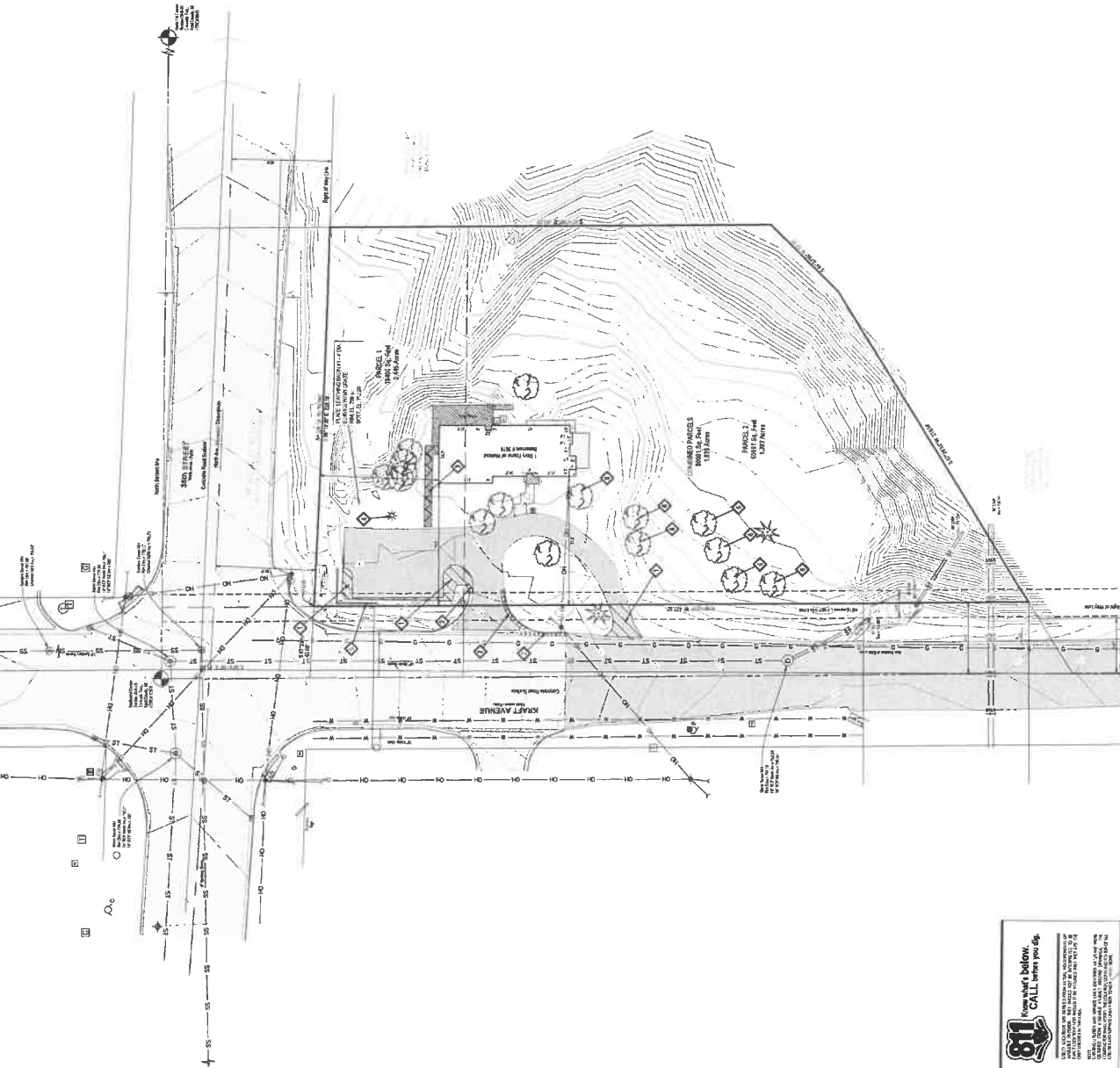
PROJECT NO: 21400533

SHEET NO: C-100
 SHEET: 1 OF 8

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REMOVAL / DEMOLITION NOTES

- 1. EXISTING STRUCTURE TO BE DEMOLISHED
- 2. EXISTING STRUCTURE TO BE DEMOLISHED AND RECONSTRUCTED
- 3. EXISTING STRUCTURE TO BE DEMOLISHED AND RECONSTRUCTED WITH CHANGES
- 4. EXISTING STRUCTURE TO BE DEMOLISHED AND RECONSTRUCTED WITH CHANGES AND ADDITIONAL WORK
- 5. EXISTING STRUCTURE TO BE DEMOLISHED AND RECONSTRUCTED WITH CHANGES AND ADDITIONAL WORK AND FOUNDATION
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NEDERVELD
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GRAND RAPIDS
 1100 Grand Ave., Suite 200
 Grand Rapids, MI 49503
 Phone: 616.235.1200

ARCHITECTS
 ENGINEERS
 LANDSCAPE ARCHITECTS
 PLANNERS
 SURVEYORS

PREPARED FOR:
 State Design Associates, LLC
 Attn: Mr. Phil Scales
 7560 Olive Wood Drive NE
 Grand Rapids, MI 49506

REVISIONS:

No.	Date	Revised By	Checked By	Date
1	08/11/11
2	08/11/11
3	08/11/11
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10	08/11/11

3616 & 3636 KRAFT AVE.
Existing Site Conditions Plan
 3616 & 3636 KRAFT AVENUE, GRAND RAPIDS, MI 49506
 PART OF TOWN MAP OF SECTION 20, T46N, R10W
 CHOCOMA TOWNSHIP, KENT COUNTY, MICHIGAN

STAMP:

STATE OF MICHIGAN
 REGISTERED PROFESSIONAL ENGINEER
 NO. 40294
 CLEAVE A. MOU
 ENGINEER

PROJECT NO.:
 21400333

SHEET NO.:
C-201

SHEET: 2 OF 8

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November 2, 2021
Project No. 170168

Brian Hilbrands
Planner
Cascade Charter Township
2865 Thornhills Avenue, SE
Grand Rapids, MI 49546

Gole Dental, 3636 Kraft Avenue
Site Plan Review

Dear Brian:

We have reviewed the site plan for Gole Dental located at 3636 Kraft Avenue, prepared by Nederveld. The current site plan and the basis of this review are dated October 7, 2021. The proposed project includes a parking lot expansion, stormwater improvements, new water service, septic and drain field. The existing parking lot will be expanded by six parking spaces, an enlarged drive entrance, and new dumpster enclosure. The site is in the Thornapple River watershed, sub-drainage district Burger 2.

Stormwater and Drainage

Flood Control

The Cascade Charter Township Storm Water Ordinance (SWO), Section 1.04, states the ordinance shall apply to all development that requires any permit for work which will alter the stormwater drainage characteristics of the site. The site is in Stormwater Management Zone B, which requires detention of the 25-year storm event and a direct connection (overland or underground) of the 100-year storm event, or detention of the 100-year storm event.

Stormwater detention is provided for with a new leaching basin located at the northeast end of the parking lot. The leaching basin and parking lot grading is designed to collect stormwater runoff from the increase in impervious area of the parking lot. The applicant provided a soil boring and stormwater infiltration test at the location of the new leaching basin. The boring indicated soils are fine sand to a depth of 10 feet. The infiltration test result was 45 inches per hour. The existing soils are suitable for stormwater infiltration. The proposed stormwater management design is in accordance with the Township SWO.

Water Quality Control

The SWO requires the first 0.5 inch of stormwater runoff be detained and released over a 24-hour period. The stormwater management design will collect all runoff from the increase in impervious area of the parking lot and infiltrate with a new leaching basin. The design is in accordance SWO.

Drainage Plan

The applicant has submitted drawings, calculations and additional documentation as required in the SWO Section 2.03, Drainage Plan. Please refer to the attached checklist for items and comments on each item. Please note a maintenance agreement is required before construction begins. The agreement should be submitted to the Township for review.

Utilities

A new 1-inch water service is proposed for the existing building. The City of Grand Rapids Water Department will tap the existing 16-inch water main on the west side of Kraft Avenue with a 1-1/2-inch corporation stop and the contractor shall directional bore the new water service under the road. A permit from the City of Grand Rapids is required prior to construction.

A new septic system is proposed for the existing building. The septic system is to include a 1,000-gallon primary septic tank and 1,000-gallon secondary septic tank to contain the lift and dosing pumps. The system will also include a new 600 square-foot primary drain field and 600 square-foot reserve drain field. A permit from the Kent County Health Department is required prior to construction.

Soil Erosion and Sedimentation Control

Soil Erosion and Sedimentation Control (SESC) measures are provided on the plan drawings. The applicant has included silt fence along the limits of clearing and grading and silt sacks in catch basins. SESC falls under the review and approval of the Kent County Road Commission and a permit is required before construction can begin. SESC measures indicated on the drawings appear appropriate, given the expected work.

Summary

The proposed stormwater management design meets the Township SWO requirements for new developments. The applicant will need to obtain several permits prior to beginning construction (SESC, City of Grand Rapids Water Department, and Kent County Health Department). We recommend approval of the site plan from an engineering standpoint.

Sincerely,



Nathan R. Torrey, PE
Senior Civil Engineer

Attachments

By email

Copy: Michael L. Berrevoets, PE – Fishbeck

Cascade Charter Township

Storm Water Ordinance, Ordinance 7 of 2002, as amended by Ordinance No. 2 of 2008, May 14, 2008

Reviewing Engineer Comments are Italicized

OK – Received and Acceptable

NA – Not Applicable

NR – Not Received, Needs Follow-up, See Comments

Gole Dental, 3636 Kraft Avenue

Drainage Plan Checklist

- OK (1) Location of the development site and water bodies that will receive storm water runoff
Stormwater runoff from the expanded parking lot will be collected and infiltrated in a new leaching basin located at the northeast corner of the parking lot.

- OK (2) Existing and proposed topography of the development site, including the alignment and boundary of the natural drainage courses, with contours having a maximum interval of one foot (using USGS datum). The information shall be superimposed on the pertinent Kent County soil map
Existing and proposed contours for the parking lot expansion have been provided.

- OK (3) Development tributary area to each point of discharge from the development
Stormwater calculations and tributary areas were provided by the applicant.

- OK (4) Calculations for the final peak discharge rates
The applicant provided calculations for design of the leaching basin.

- OK (5) Calculations for any facility or structure size and configuration
Stormwater runoff calculations were provided by the applicant.

- OK (6) Drawing showing all proposed storm water runoff facilities with existing and final grades
The applicant provided a utility plan showing all proposed stormwater runoff facilities.

- OK (7) The sizes and locations of upstream and downstream culverts serving the major drainage routes flowing into and out of the development site. Any significant off-site and on-site drainage outlet restrictions other than culverts should be noted on the drainage map
Offsite drainage areas were not indicated by the applicant.

- OK (8) An implementation plan for construction and inspection of all storm water runoff facilities necessary to the overall drainage plan, including a schedule of the estimated dates of completing construction of the storm water runoff facilities shown on the plan and an identification of the proposed inspection procedures to ensure that the storm water runoff facilities are constructed in accordance with the approved drainage plan
A construction schedule was included on the plans.

- OK (9) Plan to ensure the effective control of construction site storm water runoff and sediment track-out onto roadways
The SESC measures shown on the plan appear appropriate given the expected work. SESC falls under the review and approval of the KCRC and a permit is needed before construction can begin.

- OK (10) Drawings, profiles, and specifications for the construction of the storm water runoff facilities reasonably necessary to ensure that storm water runoff will be drained, stored, or otherwise controlled in accordance with this ordinance
- NR (11) Maintenance agreement, in form and substance acceptable to the Township, for ensuring maintenance of any privately owned storm water runoff facilities. The maintenance agreement shall include the developer's written commitment to provide routine, emergency, and long-term maintenance of the facilities and, in the event that the facilities are not maintained in accordance with the approved drainage plan, the agreement shall authorize the Township to maintain any on-site storm water runoff facility as reasonably necessary, at the developer's expense
Maintenance agreement was not provided and is required.
- OK (12) Name of the engineering firm and the registered professional engineer that designed the drainage plan and that will inspect final construction of the storm water runoff facilities
- NA (13) All design information must be compatible for conversion to Grand Valley Regional Geographic Information System (REGIS)
This is a privately owned system and will not be uploaded to REGIS.
- OK (14) Other information necessary for the Township to verify that the drainage plan complies with the Township's design and performance standards for drains and storm water management systems

PUD Ordinance - LeTourneau #6 of 1989

CASCADE CHARTER TOWNSHIP

Ordinance #6 of 1989

AN ORDINANCE TO AMEND THE CASCADE CHARTER TOWNSHIP ZONING ORDINANCE AND ZONING MAP TO ESTABLISH THE **H. LOUIS LETOURNEAU** PLANNED UNIT DEVELOPMENT PROJECT

Cascade Charter Township ordains:

Section I. An amendment to the Cascade Charter Township Zoning Ordinance.

That the application received from H. Louis LeTourneau or its assigns (hereafter referred to as the "developer") for Planned Unit Development designation for the proposed Pension Concepts, Inc. office building (hereinafter referred to as the "Premises") was recommended by the Cascade Charter Township Planning Commission for approval on April 17, 1989. The Premises is recommended for rezoning from its former zoning classification thereby requiring this amendment to the Cascade Charter Township Zoning Ordinance and Zoning Map to incorporate the Planning Commission's recommendation and the Cascade Township Board action on April 26, 1989.

Section II. Legal Description

The legal description of the Premises is as follows:

That part of the West ½ of the Northwest ¼ of Section 20, town 6 North, Range 10 West, described as the North 180 feet of the West 271 feet thereof, subject to an easement over the West 33 feet thereof for highway purposes, and further subject to an easement over the North 66 feet thereof for purposes of ingress and egress to those lands lying in the West ½ of the Northwest ¼ of said Section 20 East of the East line of said described property.

AND

That part of the West ½ of the Northwest ¼ of Section 20, Town 6 North, Range 10 West, described as: Commencing 180 feet South of the Northwest corner of said Section; THENCE Easterly parallel with the North line of said Section 271 feet; THENCE South parallel with the west line of said Section 181.18 feet; THENCE South 45 Degrees 01' West 57.15 feet; THENCE South 58 Degrees 40' West 270 feet to the West line of said Section; THENCE North 365 feet to the place of beginning.

Section III. General Provisions

The following provisions shall apply to the aforementioned Premises in addition to those provisions outlined in Chapter XIV of the Cascade Charter Township Zoning Ordinance (Ordinance No. 11 of 1988).

Section IV. Permitted Use

The permitted use for the H. Louis LeTourneau PUD shall be limited to one (1) 2,500 square foot office building which will house Pension concepts, Inc.

Section V. Design Standards

For the purposes of this PUD, only one (1) building containing not more than 2,500 square feet shall be permitted. The following design standards shall apply within the H. Louis LeTourneau PUD.

A. Area Regulations

1. The building shall be setback from the street right-of-way a minimum of 80 feet.
2. The side yard setbacks shall in no case be less than 150 feet.
3. The rear setback shall in no case be less than 110 feet.

B. Height Regulations

The building shall not exceed the height of thirty-five (35) feet as measured in accordance with the Cascade Charter Township Zoning Ordinance.

C. Off Street Parking and Loading Areas

1. All employee parking shall be provided on-site and not on any streets. Such parking areas shall be surfaced prior to occupancy with bituminous concrete or asphalt. Driveways shall be constructed with materials equal to or better than the requirements established by the Kent County Road Commission.
2. Driveways, parking and loading areas shall have curb and gutter. The curb and installation shall be consistent with the requirements established by the Kent County Road Commission.
3. The off-street parking area shall be drained so as to prevent drainage onto abutting properties unless there is a common drainage system shared by all the abutting properties.
4. Any lighting fixtures used to illuminate off-street parking shall be so arranged as to reflect the light away from adjacent properties, streets or highways.

D. Parking Requirements

1. Off-street parking for the Premises shall accommodate 12 vehicles.
2. Each off-street parking space for automobiles shall be a minimum of 180 square feet in area, with a minimum width of nine (9) feet, exclusive of access drives or aisles. There shall be provided a minimum access drive of twenty (20) feet in width, and where a turning radius is necessary, it shall be of such an arc as to reasonably allow an unobstructed flow of vehicles. Parking aisles shall be of sufficient width to allow a minimum turning movement into and out of parking spaces. All parking shall be 90 degree parking with a minimum aisles width of 24 feet.

E. Signs

No signs shall be placed on the Premises except those specifically permitted below:

1. One (1) freestanding sign containing no more than sixty-four (64) square feet in sign area. The sign must be ground mounted, shall not exceed a height of five (5) feet, and shall be setback a minimum of twenty-five (25) feet from any lot line.

2. One (1) wall sign not to exceed fifty (50) square feet in total area. Or, one (1) awning/canopy sign not to exceed thirty-two (32) square feet in total sign area.

3. Directional signs, provided each sign does not exceed five (5) square feet.

4. One (1) construction sign, not to exceed thirty-two (32) square feet in sign area. Such sign may be erected thirty (30) days prior to beginning of construction and shall be removed thirty (30) days following completion of construction.

Section VI. Greenbelt and Landscaping Requirements

A. Minimum Greenbelt and Landscaping Requirements

For the purposes of screening the Premises, the Developer shall provide greenstrips and landscaping materials consistent with the requirements set forth below:

A minimum greenstrip of thirty (30) feet shall be provided along the Kraft Avenue right-of-way and a minimum greenstrip of fifteen (15) feet shall be provided along all other property lines. The minimum landscape materials per 100 lineal feet shall be as follows:

2 Canopy Trees

4 Understory Trees

6 Shrubs

Greenstrips shall be located along the outer perimeter of the Premises to the logical extent possible. Any existing plant material which satisfies the requirements of this section may be counted toward satisfying their respective landscape requirement for the lineal feet in which they occupy. It cannot be credited towards areas that have no significant stands of trees. The developer is urged to maintain, to the extent possible, all of the existing site landscaping.

B. Minimum Plant Size Requirements

For the purposes of this development, all landscaping materials shall meet the following minimum size standards:

Plant Type Size

Canopy Tree 2-1/2 inch caliper

Ornamental Tree 1-1/2 inch caliper

Evergreen Tree 6 feet

Shrubs 24-36 inches

All plant species listed in Section 20.11 of the Cascade Township Zoning Ordinance shall not be credited as meeting the landscape requirements contained in this ordinance.

C. Other Landscape Requirements

1. Landscaping shall be installed within ninety (90) days of completion of the project, or unless permitted in writing by the Planning Director at a later date.
2. All landscaping shall be hardy plant materials and maintained thereafter in a neat and orderly manner. Withered and/or dead plant materials shall be replaced within a reasonable period of time but no longer than one growing season.
3. The Township shall require that the applicant provide a performance guarantee in the form of a performance bond, letter of credit, or certified check in an amount equal to the estimated cost of the required landscaping improvements. Such guarantee shall be deposited with the Township Clerk at the time of the issuance of the permit authorizing the activity to insure faithful completion of the improvements indicated on the approved site plan.

Section VII. Site Plan

The H. Louis LeTourneau PUD shall be subject to all site plan items depicted on the site plan approved by the Township Board and signed by the Township Supervisor on April 26, 1989.

Section VIII. Special Assessment District

A. District Agreement – The developer and/or property owner agrees to the imposition of a special assessment for the construction of a public sanitary sewer to serve the above described property. Until such time as the Special Assessment District is created and the sanitary sewer installed, the developer may utilize an on-site septic system provided all necessary approvals are obtained from the necessary County and State agencies.

B. District Agreement Limitation – The agreement in as much as it deals in part with the establishment of a Special Assessment District under Act 188 of 1954, as amended, is not a waiver of any developer and/or property owner, or his assigns, right to contest the confirmation of any special assessment roll as provided in the Act.

Section XIX. Agreement

This Agreement is permanent in nature, shall run with the land and shall be binding upon the developer and all subsequent owners of the land and may not be terminated or set aside without prior written consent of the Township.

Section X. Effective Date

This Ordinance shall become effective upon its publication in the Grand Rapids Press, a newspaper of general circulation within Cascade Township.

THE FOREGOING ORDINANCE WAS OFFERED BY BOARD MEMBER ROWLAND, SUPPORTED BY BOARD MEMBER HENNING. THE ROLL CALL VOTE BEING AS FOLLOWS:

Yeas: Carpenter, Champion, Ellinger, Hansen, Henning, Rowland.

Nays:

Absent: Parrish

Brenda J. Henning

Cascade Charter Township Clerk

CERTIFICATION

I hereby certify the foregoing document to be a true copy of an Ordinance adopted at a Regular Meeting of the Cascade Charter Township Board on the 26th day of April, 1989.

Brenda J. Henning

Cascade Charter Township Clerk

STAFF REPORT

TO: Cascade Charter Township Board
FROM: Brian Hilbrands, Interim Planning Director
REPORT DATE: December 9, 2021
MEETING DATE: December 15, 2021
CASE: #20-3579/ 1370 Buttrick Ave

GENERAL INFORMATION

- A. Applicant: BDR Executive Custom Homes
5510 Cascade Rd SE
Suite 200
Cascade MI 49546
- B. Status of Applicant: Developer
- C. General Location:
The property is located on the Southeast corner of Buttrick and Grand River Dr.
- D. Requested Action:
Final plan approval to develop into a 19 detached single-family site condominium project named Bridle Trail.
- E. Existing Zoning on Subject Parcels: R1
- F. Zoning on Adjoining Parcels:
S,W -R1
E-PUD
N- AG (Ada Twp)
- G. Parcel Size: Approximately 23 acres
- H. Existing Land Use on Subject Parcel: Residential/Horse Farm
- I. Adjacent Area Land Uses:
E, S, W - Residential
N- Ada Township Park

STAFF ANALYSIS

- A. The applicant is requesting Final Plan approval. The development would allow for a new subdivision for 19 single-family detached homes on a new private street.
- B. Final Plan approval is given after the required infrastructure improvements have been constructed throughout the development. The applicant has now completed construction of those improvements including stormwater improvements, the private street and the pedestrian pathway along Grand River Drive.
- C. The Township Engineer has reviewed and approved the improvements, and their letter is attached.
- D. The developer has also submitted copies of the proposed master deed and bylaws, and these have been reviewed by the Township attorney.
- E. This is the final step in the approval process for a by-right subdivision.
- F. You awarded final preliminary approval in November 2020.

STAFF RECOMMENDATION

Staff recommends Final approval with the following condition:

- 1. Record the stormwater maintenance agreement and the easement for the pedestrian pathway.

Attachments: TB final preliminary approval letter
 Subdivision plans
 Letter from Twp engineer.



CASCADE CHARTER TOWNSHIP

2865 Thornhills SE Grand Rapids, Michigan 49546-7140

November 19, 2020

David Contant
BDR Custom Homes
5510 Cascade Rd
Cascade MI 49546

RE: Case #20-3579

Dear David,

This is your notice of the Cascade Township Board decision to approve your final preliminary plan at their November 18, 2020 meeting. At that meeting the Township Board approved the plan with the following conditions:

1. Indicate timing of the removal of the existing buildings and fencing.
2. Submit a copy of the proposed deed restrictions and bylaws, including the airport recognition statement and agreement to participate in the Special Assessment District for water.
3. Record the stormwater maintenance agreement.
4. Submit an easement for the pathway extension from Buttrick to the private street, and for a potential future expansion from the private street to the east property line.

Building permits will not be issued until we receive the required information to satisfy the conditions listed above and final approval has been given from the Township Board to verify that everything has been constructed according to the approved site plans. If you have any questions or would like to discuss this matter, please do not hesitate to call me at 616-949-0224 or email at bhilbrands@cascadetwp.com.

Sincerely,
CASCADE CHARTER TOWNSHIP

Brian Hilbrands,
Planner

Assessing
949-6176

Building
949-3765

Buildings & Grounds
682-4836

Clerk
949-1508

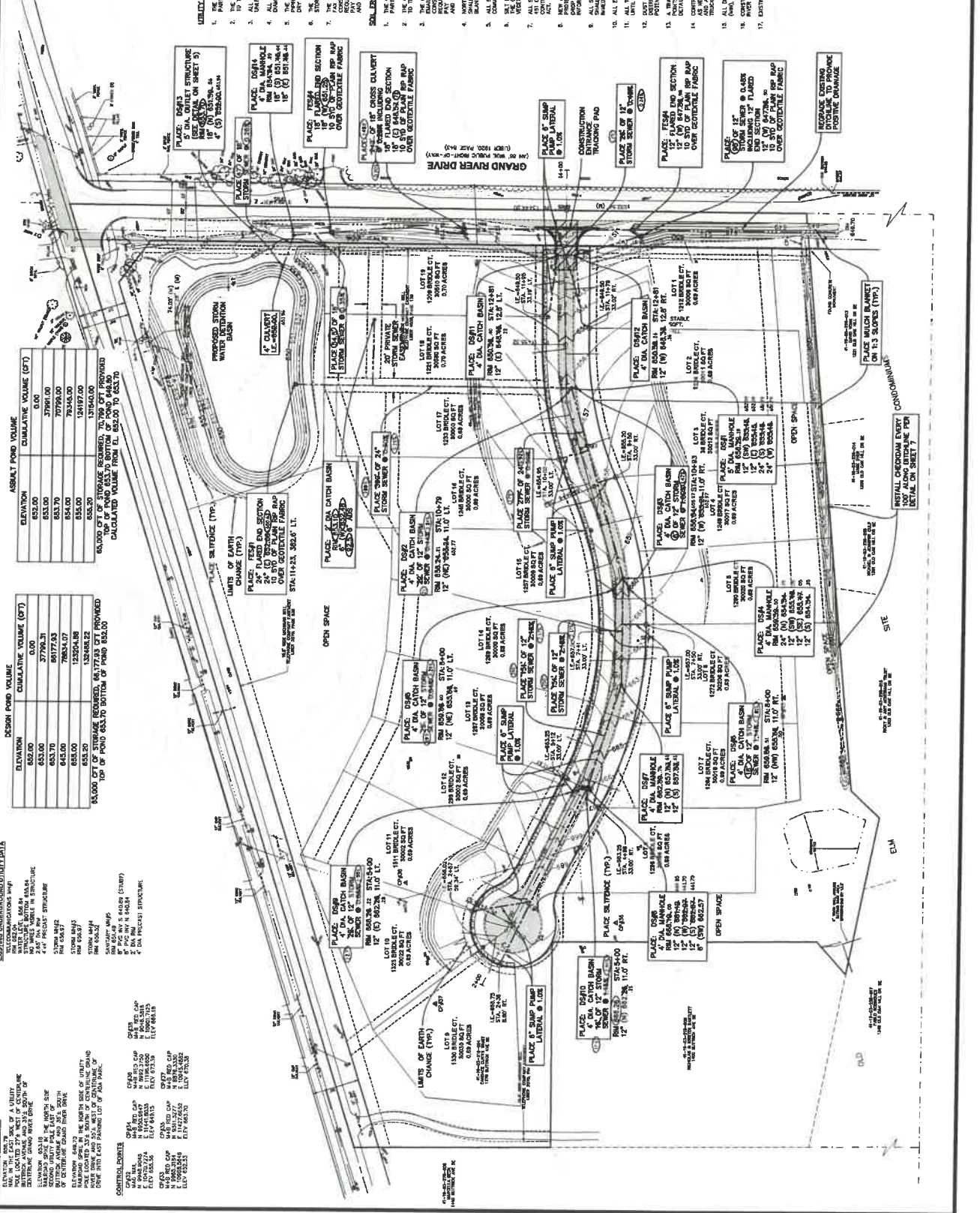
Fire
949-1320

Manager
949-1500

Planning
949-0224

Treasurer
949-6944

- UNLESS STATED OTHERWISE:**
- THE CONTRACTOR SHALL OBTAIN ALL PERMITS AND SURETY AS REQUIRED BY THE STATE OF MICHIGAN.
 - ALL STORM SEWER PIPES SHALL BE 12" DIA. CLASS I CONCRETE PIPE PER MICHIGAN DEPARTMENT OF TRANSPORTATION (MDOT) SPECIFICATIONS.
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- SOIL EROSION CONTROL NOTES:**
- THE CONTRACTOR SHALL OBTAIN ALL PERMITS AND SURETY AS REQUIRED BY THE STATE OF MICHIGAN.
 - ALL STORM SEWER PIPES SHALL BE 12" DIA. CLASS I CONCRETE PIPE PER MICHIGAN DEPARTMENT OF TRANSPORTATION (MDOT) SPECIFICATIONS.
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ELEVATION	CUMULATIVE VOLUME (CFT)
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651.00	37981.00
650.00	70769.00
649.00	93772.50
648.00	109456.00
647.00	128048.00
646.00	149187.00
645.00	172487.00
644.00	200000.00
643.00	231840.00
642.00	268000.00
641.00	309500.00
640.00	357300.00
639.00	411400.00
638.00	471800.00
637.00	539500.00
636.00	614500.00
635.00	696800.00
634.00	786400.00
633.00	883300.00
632.00	987500.00
631.00	1099000.00
630.00	1216800.00
629.00	1341000.00
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566.00	22199500.00
565.00	22738500.00
564.00	23284000.00
563.00	23836000.00
562.00	24394000.00
561.00	24958000.00
560.00	25528000.00
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414.00	175014000.00
413.00	176486000.00
412.00	177964000.00
411.00	179448000.00
410.00	180938000.00
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395.00	203908000.00
394.00	205484000.00
393.00	207066000.00
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383.00	223216000.00
382.00	224864000.00
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376.00	234878000.00
375.00	236568000.00
374.00	238264000.00
373.00	239966000.00
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371.00	243388000.00
370.00	245108000.00
369.00	246834000.00
368.00	248566000.00
367.00	250304000.00
366.00	252048000.00
365.00	253798000.00
364.00	255554000.00
363.00	257316000.00
362.00	259084000.00
361.00	260858000.00
360.00	262638000.00
359.00	264424000.00
358.00	266216000.00
357.00	268014000.00
356.00	269818000.00
355.00	271628000.00
354.00	273444000.00
353.00	275266000.00
352.00	277094000.00
351.00	278928000.00
350.00	280768000.00
349.00	282614000.00
348.00	284466000.00
347.00	286324000.00
346.00	288188000.00
345.00	290058000.00
344.00	291934000.00
343.00	293816000.00
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341.00	297598000.00
340.00	299498000.00
339.00	301404000.00
338.00	303316000.00
337.00	305234000.00
336.00	307158000.00
335.00	309088000.00
334.00	311024000.00
333.00	312966000.00
332.00	314914000.00
331.00	316868000.00
330.00	318828000.00
329.00	320794000.00
328.00	322766000.00
327.00	324744000.00
326.00	326728000.00
325.00	328718000.00
324.00	330714000.00
323.00	332716000.00
322.00	334724000.00
321.00	336738000.00
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319.00	3407840

CASCADE TOWNSHIP

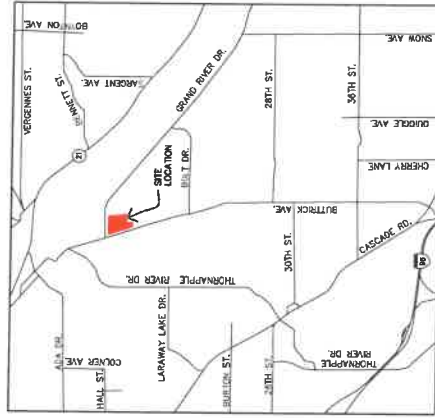
KENT COUNTY, MICHIGAN

1370 BUTTRICK AVENUE

-2020-

SHEET NO.	PLAN INDEX DESCRIPTION
1	TITLE SHEET
2	SURVEY & SITE REMOVALS
3	SITE LAYOUT
4	PUBLIC UTILITIES
5	PRIVATE UTILITIES, GRADING & SOIL EROSION CONTROL
8	PRIVATE ROAD PLAN & PROFILE
7	MISCELLANEOUS DETAILS

- UTILITY COMPANIES**
- CONSUMERS ENERGY (ELECTRIC)
PO BOX 251
GRAND RAPIDS, MI 49501-0251
 - TELEPHONE COMPANIES
616 TELEPHONE CO.
ROOM 1 (PRODUCTS S. OF FRANKLIN ST.)
2ND FLOOR (PRODUCTS S. OF FRANKLIN ST.)
GRAND RAPIDS, MI 49504
(919) 248-2700 (PRODUCTS S. OF FRANKLIN ST.)
(919) 248-2700 (PRODUCTS S. OF FRANKLIN ST.)
 - DTE ENERGY (NATURAL GAS)
444 HEALTY ST., SW
GRAND RAPIDS, MI 49503
(981) 817-6000
 - SENIORCOMMERCET (CABLE TV)
835 CENTURY AVE. SW
GRAND RAPIDS, MI 49503
(919) 254-6030
 - VERISON BUSINESS (FIBER OPTICS)
2850 OAK INDUSTRIAL DR., NE
GRAND RAPIDS, MI 49503
(919) 224-9444
 - CENTURY TEL. (FIBER OPTICS)
328 N. WASHINGTON SQUARE
GRAND RAPIDS, MI 49503
(981) 224-1110
 - EARTHLINK (FIBER OPTICS)
2891 CHARLTON DR. SE. STE. 209
GRAND RAPIDS, MI 49503
(919) 884-1186
 - US SIGNAL COMPANY, LLC (FIBER OPTICS)
201 KORMA AVE. SW
GRAND RAPIDS, MI 49503
(919) 292-7531
 - WINDSTREAM
48 MORRIS CENTER ST., NW, STE. 201
GRAND RAPIDS, MI 49503
(919) 294-7007
 - VIOLLA ENERGY GRAND RAPIDS LLC - STEAM
88 MORRIS AVE. SW, SUITE 408
GRAND RAPIDS, MI 49503
(919) 294-8233
 - TOU METROCOM, LLC
1076 SEDON PARKWAY SUITE B
GRAND RAPIDS, MI 49509
(919) 307-9293



PROJECT LOCATION MAP



Know what's below.
Call before you dig.

REVISED: OCTOBER 6, 2020
DATE: MARCH 6, 2020

JOB NUMBER: 200123101

SHEET NUMBER

1

1370 BUTTRICK AVENUE

SURVEYED & DESIGNED BY:
Moore+Bruggink
Consulting Engineers
2000 Parkside Ave. SW
Grand Rapids, MI 49503
(919) 263-8201
mbr@moorebruggink.com

PREPARED UNDER SUPERVISION OF:
JUSTIN F. LONGSTRETH, P.E.
DIRECTOR, P.E.
REGISTRATION NO. 652881

Moore+Bruggink
ORGANIZATION
2000 PARKSIDE AVE GRAND RAPIDS, MI 49503
ADDRESS

PROPOSED CENTER LINE

SEGMENT	RADIUS	CHORD LENGTH	CHORD DIRECTION	DELTA	START STATION	END STATION
C1	500.00'	430.35'	N 1° 08' 51" E	5074°08'	424.48'	9+49.99
C2	500.00'	205.33'	N 12° 12' 18" W	2373°44"	203.89'	9+145.32

EXISTING UNDERGROUND UTILITIES DATA

UTILITY	DEPTH	LOCATION
18" WATER MAIN	48"	UNDER GRAND RIVER DRIVE
12" WATER MAIN	48"	UNDER GRAND RIVER DRIVE
8" WATER MAIN	48"	UNDER GRAND RIVER DRIVE
6" WATER MAIN	48"	UNDER GRAND RIVER DRIVE
4" WATER MAIN	48"	UNDER GRAND RIVER DRIVE
3" WATER MAIN	48"	UNDER GRAND RIVER DRIVE
2" WATER MAIN	48"	UNDER GRAND RIVER DRIVE
1" WATER MAIN	48"	UNDER GRAND RIVER DRIVE
12" SANITARY SEWER	48"	UNDER GRAND RIVER DRIVE
8" SANITARY SEWER	48"	UNDER GRAND RIVER DRIVE
6" SANITARY SEWER	48"	UNDER GRAND RIVER DRIVE
4" SANITARY SEWER	48"	UNDER GRAND RIVER DRIVE
3" SANITARY SEWER	48"	UNDER GRAND RIVER DRIVE
2" SANITARY SEWER	48"	UNDER GRAND RIVER DRIVE
1" SANITARY SEWER	48"	UNDER GRAND RIVER DRIVE
12" GAS	48"	UNDER GRAND RIVER DRIVE
8" GAS	48"	UNDER GRAND RIVER DRIVE
6" GAS	48"	UNDER GRAND RIVER DRIVE
4" GAS	48"	UNDER GRAND RIVER DRIVE
3" GAS	48"	UNDER GRAND RIVER DRIVE
2" GAS	48"	UNDER GRAND RIVER DRIVE
1" GAS	48"	UNDER GRAND RIVER DRIVE

CONCRETE FINISHES

ITEM	FINISH	THICKNESS	ELEVATION
1	CONCRETE	4"	AS SHOWN
2	CONCRETE	4"	AS SHOWN
3	CONCRETE	4"	AS SHOWN
4	CONCRETE	4"	AS SHOWN
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20	CONCRETE	4"	AS SHOWN

PROPOSED CONCRETE FINISHES

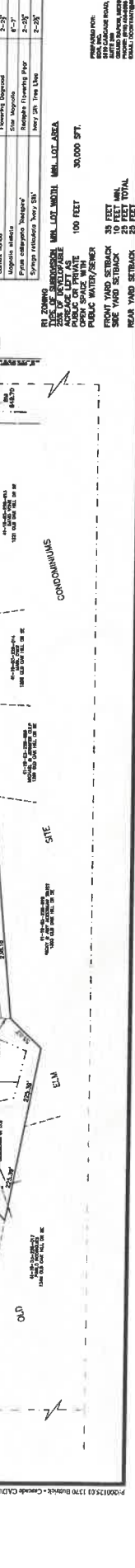
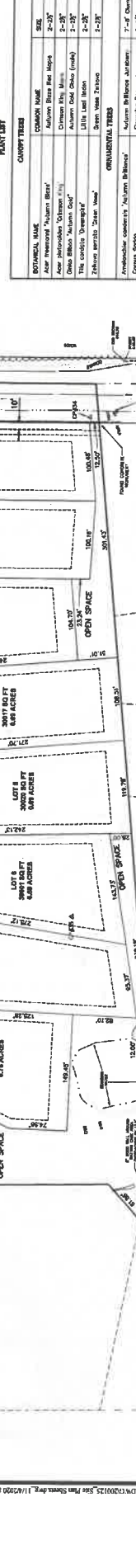
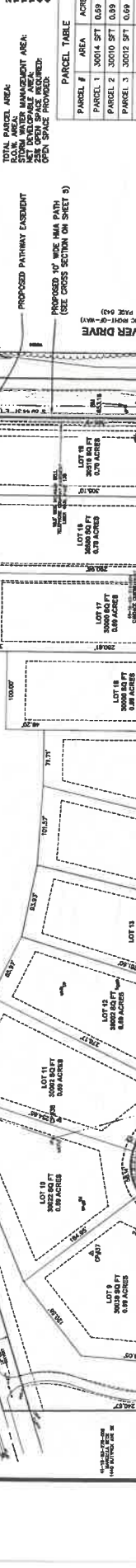
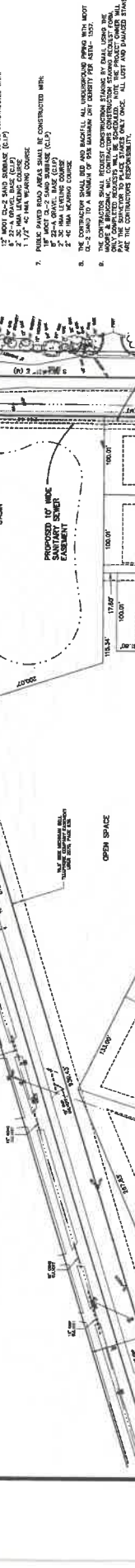
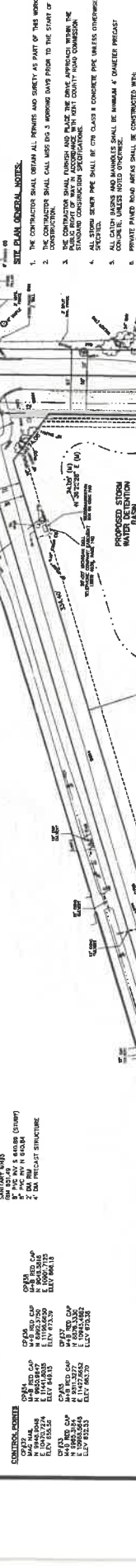
ITEM	FINISH	THICKNESS	ELEVATION
1	CONCRETE	4"	AS SHOWN
2	CONCRETE	4"	AS SHOWN
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18	CONCRETE	4"	AS SHOWN
19	CONCRETE	4"	AS SHOWN
20	CONCRETE	4"	AS SHOWN



SITE PLAN GENERAL NOTES:

1. THE CONTRACTOR SHALL OBTAIN ALL PERMITS AND SURETY AS PART OF THE WORK.
2. THE CONTRACTOR SHALL CALL ALL UTILITIES AND SURETY DATES FROM THE START OF CONSTRUCTION.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SURETY DATES FROM THE START OF CONSTRUCTION.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SURETY DATES FROM THE START OF CONSTRUCTION.
5. ALL CATCH BASINS AND MANHOLES SHALL BE MINIMUM 4' DIA. UNLESS OTHERWISE SPECIFIED.
6. PRIVATE PAVED ROAD AREAS SHALL BE CONSTRUCTED WITH:
 - A. 4" CONC. DRIVEWAY BASE (C.D.B.)
 - B. 4" CONC. DRIVEWAY
 - C. 4" CONC. DRIVEWAY
 - D. 4" CONC. DRIVEWAY
7. PUBLIC PAVED ROAD AREAS SHALL BE CONSTRUCTED WITH:
 - A. 4" CONC. DRIVEWAY BASE (C.D.B.)
 - B. 4" CONC. DRIVEWAY
 - C. 4" CONC. DRIVEWAY
 - D. 4" CONC. DRIVEWAY
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SURETY DATES FROM THE START OF CONSTRUCTION.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SURETY DATES FROM THE START OF CONSTRUCTION.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SURETY DATES FROM THE START OF CONSTRUCTION.
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PROPOSED PATHWAY EASEMENT
(SEE CROSS SECTION ON SHEET 3)

PROPOSED PRIVATE ROAD
(SEE CROSS SECTION ON SHEET 3)

PROPOSED CONCRETE FINISHES
(SEE CROSS SECTION ON SHEET 3)

PROPOSED CONCRETE FINISHES
(SEE CROSS SECTION ON SHEET 3)

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PROPOSED CONCRETE FINISHES
(SEE CROSS SECTION ON SHEET 3)

PROPOSED CONCRETE FINISHES
(SEE CROSS SECTION ON SHEET 3)

PARCEL TABLE

PARCEL #	AREA	ACRES
PARCEL 1	3,0014 SFT	0.69 AC
PARCEL 2	3,0012 SFT	0.69 AC
PARCEL 3	3,0012 SFT	0.69 AC
PARCEL 4	3,0017 SFT	0.69 AC
PARCEL 5	3,0020 SFT	0.69 AC
PARCEL 6	3,0021 SFT	0.69 AC
PARCEL 7	3,0196 SFT	0.69 AC
PARCEL 8	3,2920 SFT	0.76 AC
PARCEL 9	3,0000 SFT	0.69 AC
PARCEL 10	3,0002 SFT	0.69 AC
PARCEL 11	3,0002 SFT	0.69 AC
PARCEL 12	3,0002 SFT	0.69 AC
PARCEL 13	3,0008 SFT	0.69 AC
PARCEL 14	3,0009 SFT	0.69 AC
PARCEL 15	3,0009 SFT	0.69 AC
PARCEL 16	3,0009 SFT	0.69 AC
PARCEL 17	3,0009 SFT	0.69 AC
PARCEL 18	3,0099 SFT	0.70 AC
PARCEL 19	3,0010 SFT	0.70 AC

COMPUTED TREES

COMPUTED TREE	SIZE
1	2-25'
2	2-25'
3	2-25'
4	2-25'
5	2-25'
6	2-25'
7	2-25'
8	2-25'
9	2-25'
10	2-25'
11	2-25'
12	2-25'
13	2-25'
14	2-25'
15	2-25'
16	2-25'
17	2-25'
18	2-25'
19	2-25'
20	2-25'

PROPERTY OWNER SHALL SELECT 4 OF THE PRE-APPROVED TREE SPECIES PROVIDED IN THE ROAD RIGHT OF WAY AND 2 TREES SHALL BE PLANTED IN THE FRONT YARD AREA.

FRONT YARD SETBACK
10 FEET MIN.

REAR YARD SETBACK
25 FEET

TOTAL
35 FEET

FRONT YARD SETBACK
10 FEET MIN.

REAR YARD SETBACK
25 FEET

TOTAL
35 FEET

FRONT YARD SETBACK
10 FEET MIN.

REAR YARD SETBACK
25 FEET

TOTAL
35 FEET

FRONT YARD SETBACK
10 FEET MIN.

REAR YARD SETBACK
25 FEET

TOTAL
35 FEET

FRONT YARD SETBACK
10 FEET MIN.

REAR YARD SETBACK
25 FEET



PLAN SCALE 1" = 40'

 Moore + Bruggink, Inc.
 10000 W. 120th Street, Suite 100
 Overland Park, KS 66213
 (913) 241-1000
 info@moorebruggink.com

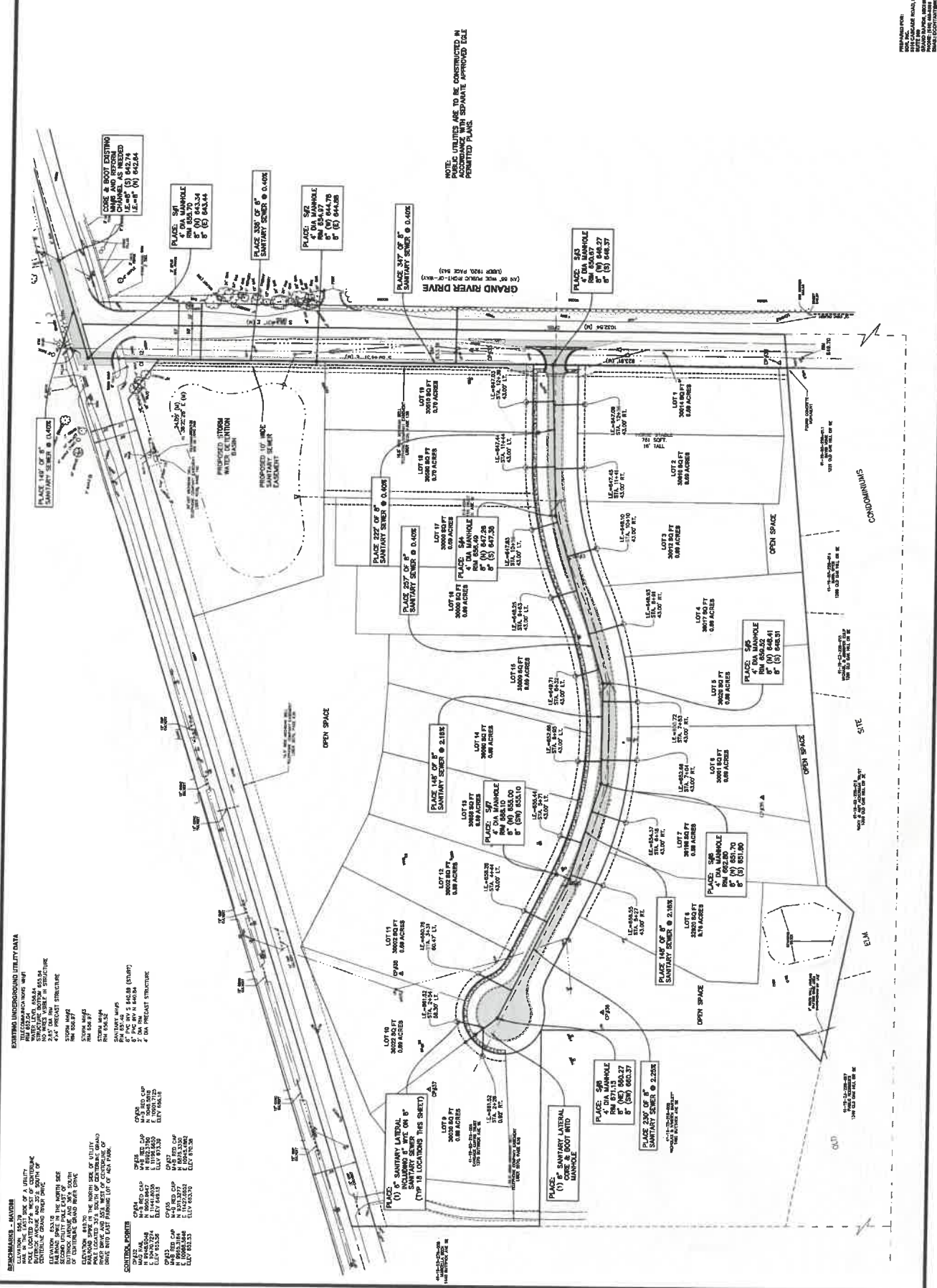
PROJECT NO. 20231201
 SHEET NUMBER 4 OF 7
 DATE 03/08/2023
 PROJECT NAME 1370 BUTTRICK AVENUE
 CLIENT MOORE + BRUGGINK, INC.

1370 BUTTRICK AVENUE
 PUBLIC UTILITIES
 CASCADE TOWNSHIP, KENT COUNTY, MICHIGAN

PREPARED FOR:
 MOORE + BRUGGINK, INC.
 10000 W. 120th Street, Suite 100
 Overland Park, KS 66213
 (913) 241-1000
 info@moorebruggink.com

PLANNED FOR:
 MOORE + BRUGGINK, INC.
 10000 W. 120th Street, Suite 100
 Overland Park, KS 66213
 (913) 241-1000
 info@moorebruggink.com

DATE 03/08/2023
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 PROJECT NAME 1370 BUTTRICK AVENUE
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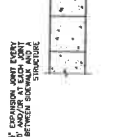


EXISTING UNDERGROUND UTILITY DATA
 ALL UTILITIES LOCATIONS SHOWN
 1. 12" WATER MAIN @ 5.00%
 2. 12" WATER MAIN @ 5.00%
 3. 12" WATER MAIN @ 5.00%
 4. 12" WATER MAIN @ 5.00%
 5. 12" WATER MAIN @ 5.00%
 6. 12" WATER MAIN @ 5.00%
 7. 12" WATER MAIN @ 5.00%
 8. 12" WATER MAIN @ 5.00%
 9. 12" WATER MAIN @ 5.00%
 10. 12" WATER MAIN @ 5.00%
 11. 12" WATER MAIN @ 5.00%
 12. 12" WATER MAIN @ 5.00%
 13. 12" WATER MAIN @ 5.00%
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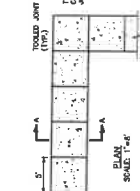
1370 BUTTRICK AVENUE
 PUBLIC UTILITIES
 CASCADE TOWNSHIP, KENT COUNTY, MICHIGAN



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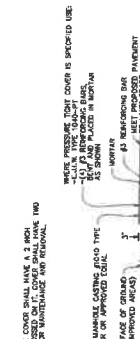
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SANITARY MANHOLE DETAIL
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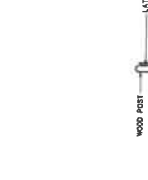
STANDARD SEWER RIBBER LOCATION DETAIL
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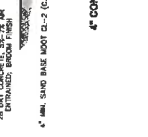
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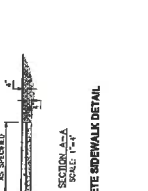
CONSTRUCTION TRACKING PAD
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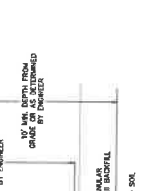
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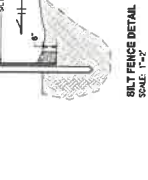
STORM SEWER MANHOLE DETAIL
SCALE: 1"=4"



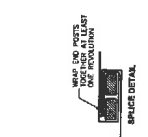
STORM SEWER OUTLET DETAIL
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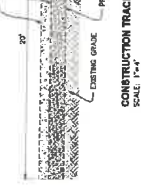
HMA PAVY DETAIL
SCALE: 1"=4"



POND OUTLET CONTROL STRUCTURE DETAIL
SCALE: 1"=3"



PRIVATE DRIVE SECTION
SCALE: 1"=5"



HMA VALLEY GUTTER
SCALE: 1"=4"



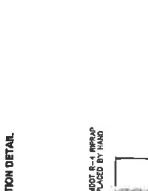
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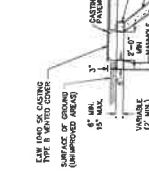
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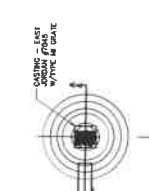
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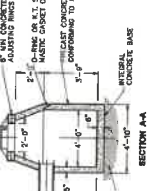
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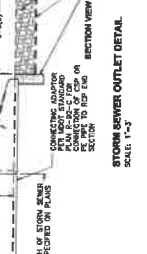
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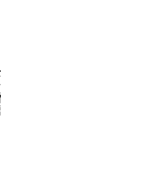
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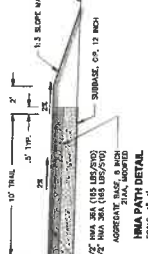
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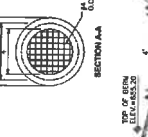
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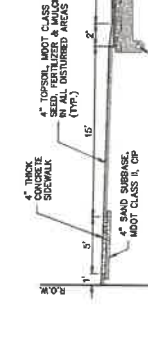
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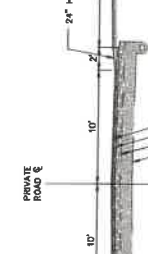
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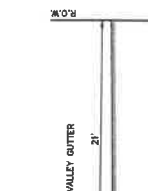
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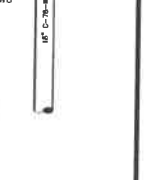
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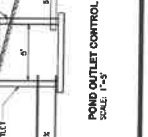
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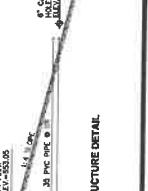
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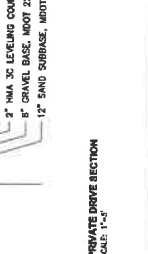
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PROJECT NO.: 2022-01
15000 COUNTY ROAD 100
DRAWN BY: JLS
CHECKED BY: JLS
DATE PLOTTED: MARCH 6, 2022
SHEET NUMBER: 7 OF 7
PREPARED FOR: BRET BRUGGINK
BY: BRET BRUGGINK
DATE: MARCH 6, 2022
SCALE: 1"=40'

MOORE + BRUGGINK
CONSULTING ENGINEERS
1819 242ND STREET
SPOKANE, WA 99215
509.473.8000
www.moorebruggink.com

PLAN RESPONSES
SEE PER MISC COMMENTS - 10/09/2020

CALL NUMBER: 118
CITY OF SPOKANE
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PLANNING DEPARTMENT
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1700125.01 | 1370 Buttrick - Check CAD/CD/0125.01_Site Plan Sheets.dwg | 11/2023 8:23:39 AM | MATI KOZAK

December 9, 2021
Project No. 170168

Brian Hilbrands
Interim Planning Director
Cascade Charter Township
2865 Thornhills Avenue, SE
Grand Rapids, MI 49546

**1370 Buttrick Avenue (Bridle Trail)
As-Built Stormwater Plan Review**

Dear Brian:

It is our understanding that the developer of the 1370 Buttrick Avenue (Bridle Trail) residential development is requesting Final Approval of the development. As part of that Final Approval the Township requires an as-built plan of the stormwater improvements to review against the original approved site plan.

We received the as-built plan on November 30, 2021. After an initial office review, we had a few comments and questions which the developer's engineer answered and provided an updated as-built plan later that day. The two of us visited the site on December 2, 2021, for a field review of what has been constructed, what remains and determine what may differ from the approved site plan.

Following our onsite review, we reached out to the developer's engineer with some additional questions requiring clarification and minor revisions to the as-built plan. A revised plan was received on December 8, 2021.

As-Built Stormwater Review

The purpose of this review is to determine that site improvements related to stormwater controls have been placed in accordance with the approved site plan. It should be noted that at this time the individual lots have not been finished graded. Therefore, we are looking at the overall site improvements such as general grading of the site, storm water controls such as detention basins, grading of ditches and swales and whether the work that has been completed meets the stormwater design intent of the approved site plan.

The following items were reviewed:

Storm Water Detention Basin

In general, the detention basin was constructed similar to what was approved on the site plan. The developer made an alteration on the basin excavating the bottom deeper than originally planned as an effort to have a water feature. That alteration does not negatively impact the storage volume of the basin provided the outlet pipe and overflow elevations are set to provide the required storage volume. The applicant provided an as-built storage volume table. The required storage volume is 65,000 cubic feet and the as-built storage volume is 70,799 cubic feet. This is acceptable.

Detention Basin Outlet Control Structure

The outlet control structure was constructed to elevations similar to the approved plan. The rim elevation is 653.70 which is the same as the approved plan and that elevation sets the overall pond volume. The 4-inch inlet pipe was placed slightly lower in the structure and in the pond. The inlet invert elevation on the pipe in the pond determines the lowest elevation of the storage volume in a wet pond. This invert is slightly lower than plan, therefore the storage volume of the pond is slightly higher than the required volume. It should be noted, with the pond being excavated to lower elevation there will be some additional available storage volume during dry periods when the standing water is lower.

The 9-inch diameter low-flow orifice has also been cut at the top of the basin as required.

Storm Sewer System

The storm sewer was constructed similar to the approved site plan. Most of the invert elevations are within a few inches of what was shown on the approved site plan. This is within construction tolerances for storm sewer and does not impact the overall function of the system. The outlet pipe from DS#1 to the detention basin was lowered approximately 1.3 feet likely due to the lack of cover at DS#1 and the 24-inch pipe. With the basin bottom elevation being lower, this is acceptable. However, that run of sewer may need to be cleaned more often with it occasionally being partially submerged.

During our site visit, we noticed an additional catch basin located between Lots 18 and 19. This catch basin is included on the as-built plan on Lot 18 and there is a proposed easement around the catch basin and the pipe that connects to the storm sewer between DS31 and the discharge to the basin (FES#1). The developer added this basin in an effort to drain the low area on the rear of Lots 18 and 19 to the detention basin. We understand this change was completed to allow for daylight or walkout homes for Lots 18 and 19. The current rim elevation of this catch basin is 653.10 which is lower than the basin overflow elevation of 653.70. In larger rain events when the basin is full the water pond in this area until the basin drains. The developer has indicated they intend to fill this area as the lots are graded and the final elevation of the catch basin will be raised above the basin overflow elevation. Overall, the addition of this catch basin is acceptable since it complies with the intent of the approved plan in routing the runoff to the detention basin. The developer must take care with final grading of these lots in order to avoid potential nuisance ponding and damage to the homes from water backing up. Additionally, the stormwater ordinance requires that the minimum building opening be at least 1 foot above the 100-year floodplain.

Sump Pump Laterals

Sump pump laterals were placed on every other lot line to allow for a discharge point for individual home sump pumps. This was added after site plan approval; however, sump pump discharge connections to the storm sewer system are required (if necessary) in accordance with Section 3.07 of the Storm Water Ordinance.

Site Grading

The grading for the roadway, detention basin, swale on the east side and ditch along Grand River Drive are complete. The individual lots have been partially graded with final lot grading to be completed as homes are completed. There is a large stockpile of fill and topsoil located along the west side of the site near Buttrick Avenue which we understand will be used for final lot grading as needed.

Overall, the grading completed so far appears to be in accordance with the approved site plan. One area to note are Lots 1 through 5. In order to comply with the approved site plan, the front of these lots and the roof drains should all be directed towards the roadway so the runoff will be directed to the storm sewer system. The rear of the lots is expected to runoff to the east towards the swale or the ditch along Grand River Avenue.

Other Items

Private Street

The private street appears to be constructed according to the approved plan. The applicant has indicated that the location, slopes, width, and cross section are in accordance with the Township's Private Street Ordinance requirements.

Utilities

The sanitary sewer is part of the Ada Township system. The applicant has indicated that Ada Township has been inspected and will approve the sanitary sewer installation.

The residential lots will be served by onsite water wells and the developer has indicated the Kent County Health Department has approved the site for 19 single-family wells. Individual wells will need to be approved by the County when they are installed.

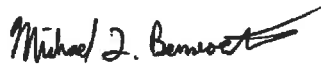
Summary

Overall, the work that has been completed is in accordance with the approved site plan and Storm Water Ordinance. There have been some additions (as noted above) and there will always be some minor differences between what was constructed and what was approved on the site plan. Some changes are expected and provided they do not change the function of the approved site plan are acceptable.

Going forward, it will be important to review the lot grading as homes are constructed to verify that all future grading continues to comply with the intent of the approved site plan.

If you have any questions or require additional information, please contact me at 616.464.3927 or mberrevoets@fishbeck.com.

Sincerely,



Michael L. Berrevoets, PE
Senior Civil Engineer

By email

Copy: Nate Torrey, PE – Fishbeck

MEMORANDUM

To: Cascade Charter Township Board
From: Brian Hilbrands, Interim Planning Director
Subject: Recommendation from Parks Committee for services to update the Parks, Recreation, and Open Space Plan.
Meeting Date: December 15, 2021

The 5-year Cascade Township Parks, Recreation, and Open Space Plan is due for an update and the Parks Committee, along with Township staff, sent out an RFP for services to update the plan. Six proposals were received, and after reviewing the proposals the Parks Committee selected three applicants to interview on December 6. The applicants selected for interviews included MCSA Group, McKenna, and Troyer Group.

It should be noted that Mike Reese, the Project Manager for Troyer Group, is also a member of the Parks Committee. Mr. Reese was absent from the 10/19/21 Parks Committee meeting where the RFP was approved, and recused himself during a discussion of how to evaluate responses to the RFP at the 11/16/21 meeting. The remaining members of the Parks Committee discussed on multiple occasions whether or not it would create an issue for Mr. Reese and his firm to submit an application, and they determined that it would not.

Four members of the Parks Committee were able to attend all three interviews on December 6, while two members had to leave after the second interview. After the third interview was complete, the four remaining members of the Parks Committee unanimously recommended that the Township select Troyer Group to assist the Township in updating the Parks, Recreation and Open Space Plan. The Parks Committee members determined that Troyer Group was a great fit for this project, showed an intimate knowledge of Cascade Township and its parks, and demonstrated a commitment to provide the Township with the best product possible.

At this time the Parks Committee is requesting that the Township move forward with selecting Troyer Group to assist the Township with updating the Parks, Recreation and Open Space Plan as described in their proposal, for a fee of \$19,560.

Attachments: Proposals received for services to update the parks plan

TOWNSHIP PARKS, RECREATION, & OPEN SPACES PLAN

A PROPOSAL PREPARED FOR:
CASCADE TOWNSHIP - PARKS COMMITTEE
CASCADE CHARTER TOWNSHIP, MI

PREPARED BY:
TROYER GROUP

NOVEMBER 2021



EVERYTHING WE DO COMES DOWN TO
PEOPLE AND EXPERIENCES



Elkhart Environmental Center Concept Pictured

DEAR CASCADE TOWNSHIP PARKS AND RECREATION SELECTION COMMITTEE,

We believe in the power of parks and public spaces, especially in their ability to enhance quality of life and help communities become more resilient and equitable. It is with this emphasis that our team is excited to present to you this response for professional services regarding the 5-Year Parks, Recreation, and Open Space Plan for Cascade Township. We offer a fresh perspective backed by close to 50 years of experience with a deep understanding of traditional and emerging strategies to address parks planning, public engagement, and the integration of meaningful data, while also meeting the standards set by the Michigan Department of Natural Resources (MDNR).

This is an exciting time for Cascade Township and its parks. With a dedicated team of Township staff and a Township Supervisor passionate about improving parks and quality of life, combined with a recently expanded Parks Committee consisting of members with a wide range of valuable experience and knowledge in parks and natural resources, we understand the opportunity and importance of this planning process on the future of Cascade Township parks. Also with the Township currently working on a Strategic Plan, there is a great opportunity for these planning processes to build off each other; the Strategic Plan providing a community-wide framework and context backed in extensive community engagement, and the Parks Master Plan

providing thorough detail on a key focus area of Cascade Township through specific goals, strategies and action items for successful implementation.

Our team is led by Principal Landscape Architect and project manager Mike Reese, who brings over 17 years of experience working with communities in northern Indiana and southern Michigan. Living in Cascade Township and being active in the community, Mike has a passion for Cascade Township and knows the parks and trails system well. His passion for parks, planning and design, and local involvement will give Cascade Township a dedicated, experienced project manager that will lead with passion and expertise.

Our approach to this project is bolstered by a strong portfolio of recent parks planning and design projects. Through this experience, we understand the process, challenges, and critical paths to a successful park master plan. This experience also allows us to bring expertise from other parks departments and parks boards, to understand what is working and what isn't working in other communities. Being able to compare Cascade Township parks with other similar communities while also benchmarking against state and national recreation standards will provide guidance for goals, objectives, and strategies over the next five years.

While our team has a long and proven history of accountability to local governments, we know firsthand that the true client in any municipal project are the citizens themselves. As evidenced by the Parks Committee and Townships' public engagement efforts to date, we understand that hearing its citizens and operating with transparency are important to Township staff and officials. Our history of integrated collaboration will ensure the citizens of Cascade are represented in this process. Our public engagement efforts have built community trust, while also communicating the values of our clients, demonstrating greater relevancy and responsiveness, and showing accountability and transparency.

Through our strong experience, expertise, and passion for parks, planning, and design, combined with our local presence, we strongly believe we will provide Cascade Township with the best partner to develop its Five-Year Parks, Recreation, and Open Space Plan.

We look forward to an opportunity to showcase our willingness to exceed expectations and create a plan that will serve the Cascade community for many years to come. Thank you for your time and consideration.

November 17, 2021

**RESPECTFULLY
SUBMITTED,**

Michael Reese, PLA, LEED AP
Project Manager
Troyer Group | mwr@troyergroup.com

John Leszczynski
Authorized Signatory + President
Troyer Group | jel@troyergroup.com



OVERVIEW:

Troyer Group creates innovative and environmentally sustainable design solutions with uncompromising artistic integrity. We have never limited ourselves to the problems we look to solve: from large destinations to small renovations, from healing environments to environmental stewardship, and from transportation projects to active recreation. In all of these things, Troyer Group seeks to make a positive economic, environmental, and social impact. It is this broad expertise that has enabled us to help make our clients more successful for half a century.

FIRM INFORMATION:

- Over 50 employees in three regional offices
- Over 6000 projects completed for over 1300 clients

PLANNING AND LANDSCAPE ARCHITECTURE:

With a diverse range of projects that include master planning and design of public spaces, park systems, urban areas, bike and pedestrian systems, recreation spaces as well as riverfront parks and trail systems, our design team continually strives for excellence. We believe that everything we do comes down to **people and their experiences**. This is the crux of what we do at Troyer Group. In focusing on people, we provide solutions that create economic, social, and environmental value; working with you to achieve your vision.



Troyer Group, Inc.
4519 Cascade Rd. SE, Suite 15 | Grand Rapids, MI 46546
574.360.8103 (project manager cell)
mwr@troyergroup.com
www.troyergroup.com

Education

B.S. - Landscape Architecture, 2004
Michigan State University

Professional Landscape Architect:

MI, IN

Professional Associations:

ASLA
mParks

MICHAEL REESE, PLA, LEED AP PROJECT MANAGER

Troyer Group's multidisciplinary team has worked closely through the management and development of many municipal projects in communities similar in size to Cascade Township. With landscape architects, planners, civil and network engineers already on staff, we form a dynamic, responsive partnership whose goal is to make Cascade Township's experience of this project easier and better. Together, we draw upon our decades-long history managing local public projects, with several team members having served as municipal employees previously. We deeply assess planning, design, and construction issues that arise by defining the impacts to safety, long-term maintenance, budget, and schedule of possible solutions; ensuring that the final parks master plan addresses possibilities, pursues effective solutions, and creates an outline for the parks and recreational spaces in Cascade Township that is reflective of the needs of its citizens and curated with the expertise of local officials and the Parks Committee.

Over the last 17 years, Mike's project management experience has encompassed large park systems planning, individual park master plans, and a variety of both large and small scale constructed parks. He brings a big picture understanding to every project and works to exceed expectations, no matter the project scale. Mike has a passion for working with communities to improve quality of life, promote economic and social development, protect the environment, and increase sustainability. He believes this can best be achieved by creative planning and design decisions focused on people and how they use and interact with the spaces we create.

Providing leadership to Troyer Group and his projects, Mike strives to integrate his philosophy of working and designing with people instead of for people. For over a decade he has worked closely with municipal personnel, local business leaders, and the public to integrate community context into design and planning projects. This process yields an end product that is unique to a community and reflects the people who helped shape the process.

Selected Park System Master Plan Experience:
2018-2022 Park Master Plan - Knox, IN
2017-2021 Park Master Plan - Starke Co., IN
2019-2023 Park System Master Plan - St. Joseph County, IN
2019-2023 Park System Master Plan - Nappanee, IN

Selected Park Master Plan Experience:
Beacon Park - Lansing, MI
River Park Square - Plymouth, IN
Merrifield Park - Mishawaka, IN
Rose Park - Mishawaka, IN
Cavalier Park - Culver, IN
Stauffer Park - Nappanee, IN

Selected Constructed Park Experience:
River Park Square Phase 1 - Plymouth, IN
Merrifield Park - Mishawaka, IN
Centennial Park Tennis Courts - Plymouth, IN
Cavalier Park - Culver, IN
Beacon Park - Lansing, MI
Indiana Dunes State Park - Chesterton, IN
Damore Amphitheater - Culver, IN

Other Related Experience:
Trails Master Plan - Marshall County, IN
Bike/Ped Master Plan - Culver, IN
Vale Park West Path - Valparaiso, IN
Lake Max Trail - Culver, IN
Riverside Trail - South Bend, IN
Mishawaka Riverwalk - Mishawaka, IN

Education
B.L.A. - Landscape Architecture, 2005
Ball State University

Professional Landscape Architect: IN

Professional Associations:
American Society of Landscape Architects (ASLA) - Trustee
Indiana Parks and Recreation Association - Member



JONATHON GEELS, PLA, ASLA
PRINCIPAL LANDSCAPE ARCHITECT

district land use and transportation planning, as well as smaller public spaces, streetscapes, and plazas. Additionally, Jonathon is passionate about urban sociology applications in public landscapes, seeing it as integral to environmental and infrastructure management as well as economic development.

Jonathon has been labeled a visionary and a consummate idea-man whose impact continues to span sectors and push the boundaries of design, incorporating innovation and advocacy. He has won several community and National awards, being recognized for his outstanding service and leadership, and his writing has been featured in a variety of national outlets, including Land8 and the Culture Keeper. Integral to his design approach, Jonathon's other volunteer activities include collaborating with dozens of organizations and public agencies on both large scale and small projects, as well as founding a volunteer organization that has contributed thousands of hours of volunteer beautification work over the last several years.

- Related Projects:**
2019-2023 Parks Master Plan - St. Joseph County, IN
2019-2023 Parks Master Plan - Goshen, IN
2020-2024 Parks Master Plan - Bloomington, IN
2020-2024 Parks Master Plan - Nappanee, IN
Pulaski Park Master Plan & Design - South Bend, IN
Rose Park Master Plan - Mishawaka, IN
Plaza Park & River Lights - South Bend, IN

As principal at Troyer Group, a multidisciplinary landscape architecture and engineering firm, Jonathon has established a purpose driven approach to every project with a distinctive commitment to people and experiences. As his role has expanded, Jonathon's emphasis on adaptive and hyper local practice provides leadership across disciplines to each of the firm's regional offices. His design ethic and process seek to solve emergent problems by connecting people to new ideas through research and activism.

Jonathon's experience encompasses multiscale design, strategic planning, and development projects, as well as efficiency analysis and cost reduction. As a landscape architect, he focuses on public sites with an emphasis on health, history, environmental and social justice, as well as quantitative performance metrics. His diverse project work includes parks planning and design, large sites for healthcare and higher education campuses,

Education
B.S. Landscape Architecture,
Michigan State University 2018

Professional Associations:
American Society of Landscape Architects (ASLA)



RACHEL WALSH
GRADUATE LANDSCAPE ARCHITECT

Since graduating from Michigan State in 2018, Rachel has primarily worked on master plans for parks and community spaces. Rachel has been an integral part of performing analysis, benchmarking, and acquiring public feedback that has shaped master plans, along with creating maps, graphics, and generating thorough and insightful report content. Rachel has a passion for working with communities to improve quality of life, public health, and access to recreation.

- Related Projects:**
2019-2023 Parks Master Plan - Nappanee, IN
2020-2024 Parks Master Plan - Bloomington, IN
Beacon Park - Lansing, MI
Cavalier Park - Culver, IN
South Park - Nappanee, IN
Centennial Park - Plymouth, IN
Rose Park Master Plan - Mishawaka, IN

CASCADE TOWNSHIP
Parks and Recreation



TROYER GROUP Troyer Group Years in Business: 50

- Mike Reese, PLA, ASLA**
Project Manager
Role: Manage and Lead All Project Elements
- Jonathon Geels, PLA, Landscape Architect**
Role: Analysis, Benchmarking, Strategic Planning
- Rachel Walsh, ASLA**
Graduate LA
Role: Project Support, Mapping, Graphics, and Report Compilation

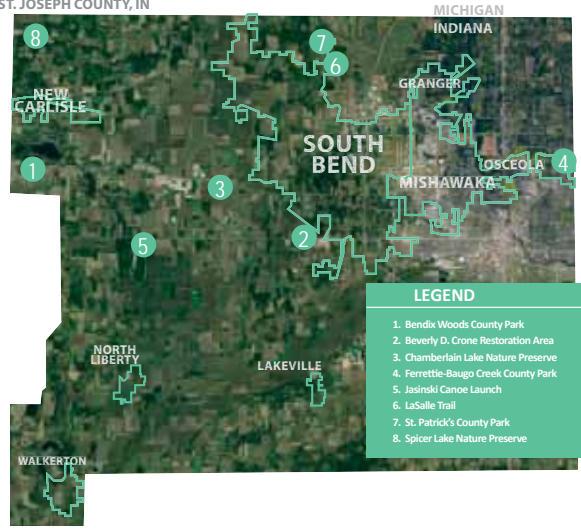
In addition to Mike, Jonathon and Rachel, there are many other team members including Engineers, Planners, and Landscape Architects at Troyer Group available to assist as needed for various areas of expertise for this planning effort.

Project Experience	DNR 5-Year MP	Individual Park MP	Public Engagement	Stakeholder Engagement	Total Acreage	Full/Partial Implementation
2021-2025 Park System Master Plan Bloomington, IN	●		●	●	2,274 acres	●
2019-2023 Park System Master Plan St. Joseph County, IN	●		●	●	1438.7 acres	●
2019-2023 Park System Master Plan Goshen, IN	●		●	●	514 acres	●
2019-2023 Park System Master Plan Nappanee, IN	●	●	●	●	74 acres	●
2017-2021 Park System Master Plan Starke County, IN	●	●	●	●	163.5 acres	●
2018-2022 Park System Master Plan Knox, IN	●	●	●	●	15.3 acres	●
2017-2021 Park System Master Plan New Carlisle, IN	●		●	●	20.3 acres	●
Pulaski Park Master Plan and Design South Bend, IN		●	●	●	6.32 acres	●
River Park Square Plymouth, IN		●	●	●	5.5 acres	●
City Cemetery Master Plan South Bend, IN		●	●	●	25 acres	●
Merrifield Park and Riverwalk Mishawaka, IN		●	●	●	13 acres	●
Sierling East Land Use Action Plan Elkhart, IN		●		●	200 acres	●
Regional Development Plan Marshall County, IN			●	●		●
Municipal Facilities Energy Audit South Bend, IN				●	75 Facilities	●
Environmental Center Master Plan Elkhart, IN		●	●	●	66 acres	●
Bicycle and Pedestrian Master Plan Culver, IN			●	●		●
Ark Encounter Willamstown, KY				●	800 acres	●

SELECTED PROJECT EXPERIENCE

5-YEAR PARK MASTER PLAN

ST. JOSEPH COUNTY, IN



With a need for a fresh perspective, SJC Parks wanted a planning process focused on people. Over the course of the public engagement period, our team utilized traditional and non-traditional outreach strategies. This involved meeting with 5 different stakeholder groups, an online/printed public survey, hosting a public planning meeting, and utilizing two different pop-up opportunities to engage critical mass audiences. The result was double the previous public survey responses and over two thousand unique pieces of feedback. This mixture of quantitative and qualitative information gave the team a much more reliable data set to develop action items/goals and allowed us to hone in on public priorities with much greater certainty. In addition to meeting IDNR guidelines, we produced several infographics that distilled the information gathered into easily understood results.

Detailed implementation matrices were developed to guide the parks department and parks board over the next five years. Goals were broken down into achievable action items with realistic timelines. In addition, strategies were listed for continuous or annual tasks. The matrices were developed in a dynamic spreadsheet, so the parks department could use it as a checklist and update annually as the plan progressed.

PROJECT REFERENCE:
 Steve Slauson, Parks Director
 St. Joseph County Parks
 50651 Laurel Road | South Bend, IN 46637
 574.277.4828 | sslauson@sjcparks.org

5-YEAR PARK MASTER PLAN

ST. JOSEPH COUNTY, IN

SELECTED PROJECT EXPERIENCE 5-YEAR PARK MASTER PLAN



PROJECT REFERENCE:
 Chris Davis, Park Superintendent
 City of Nappanee
 300 West Lincoln Street | Nappanee, IN 46550
 (574) 773.2112 | cdavis@nappanee.org



In addition to providing a system-wide direction and action plan, individual master plans for each park outlined potential improvements and new amenities. This document provided the foundation to make accurate budget decisions, based on both a detailed inventory and analysis as well as community driven goals and priorities.

The plan will address the Nappanee Parks facilities current situation and guide future improvement. The plan met all IDNR Five Year Master Plan requirements, but in addition provided an individual master plan for each of the city parks. By diving deeper into each park and its master plan congruently, a detailed, unified strategy can be developed to guide Nappanee Parks to optimized future development.

PROJECT INFORMATION

- Nappanee Parks & Recreation has 9 parks or facilities.
- McCormick Creek is a municipal 18 hole golf course owned and operated by the city.
- A multi-use trail connects some of the parks and neighborhoods
- Wellfield Park & Soccer Complex finished construction this summer.
- South Park has since been designed by Troyer Group and is now under construction

5-YEAR PARK MASTER PLAN NAPPANEE, IN

SELECTED PROJECT EXPERIENCE 5-YEAR PARK MASTER PLAN

BLOOMINGTON, IN



PROJECT REFERENCE:
Paula McDevitt, Parks Director
City of Bloomington
401 N Morton St | Bloomington IN 47404
(812) 349.3700



Due to the 2020 COVID pandemic, our team facilitated an accelerated timeline and implemented broad safety measures for public outreach while significantly improving overall engagement metrics. Our process helped to address concerns about statistical applicability and bias of the information gathered, as well as overall community representation, ensuring that all project recommendations aligned with the contemporary needs and concerns of Bloomington. The process led to the formation of system goals that better aligned with broader community initiatives, as well as new key focus areas for the Department that had recently won a gold medal from the NRPA.

The plan itself addressed the 2,200 acres of parkland in Bloomington that supports approximately 85,000 residents. The diverse offering of assets includes 40 park sites, a golf course, ice arena, two pools, three community centers, two sport complexes, three natural resource properties, 13 ball fields, 22 tennis courts, 24 basketball courts, and approximately 30 miles of trails.

- PROJECT INFORMATION**
- 17 Internal and external stakeholder meetings with 25 organizations represented
 - 687 electronic surveys submitted
 - 10 pop-up social intercepts at 7 parks
 - 47,205 survey feedback data points

5-YEAR PARK MASTER PLAN BLOOMINGTON, IN

SELECTED PROJECT EXPERIENCE

RIVER PARK SQUARE

PLYMOUTH, IN



PROJECT REFERENCE:
 Mayor Mark Senter
 City of Plymouth
 124 North Michigan Street | Plymouth, IN 46563
 (574) 936.6717 | mayor@plymouthin.com



Once an area filled with vacant buildings and crumbling parking lots due to frequent flooding, River Park Square has become a social and recreational center for the City of Plymouth. A venue to many city events, River Park Square hosts concerts, farmers markets, the town Christmas tree lighting, and many more fun events for the community throughout the year.

PROJECT INFORMATION

- Troyer Group performed a master plan for this downtown park and followed with construction documentation and inspection for phase one. This included a new Farmers Market, interactive fountain, performance structure, restroom & concessions building, parking lot, entry plaza, renovated public street with parking and streetscape improvements, landscaping, lighting, permitting and all flood plain coordination and other amenities.
- Construction of phase 1 was completed in 2013 for a cost of about 1.5 million dollars.
- Phase two is under design by Troyer Group and will be start construction in the spring of 2022. This phase of the project will build upon the success of phase one by adding an additional picnic shelter, natural playground, veterans memorial, and additional accessible parking for these new amenities.

RIVER PARK SQUARE

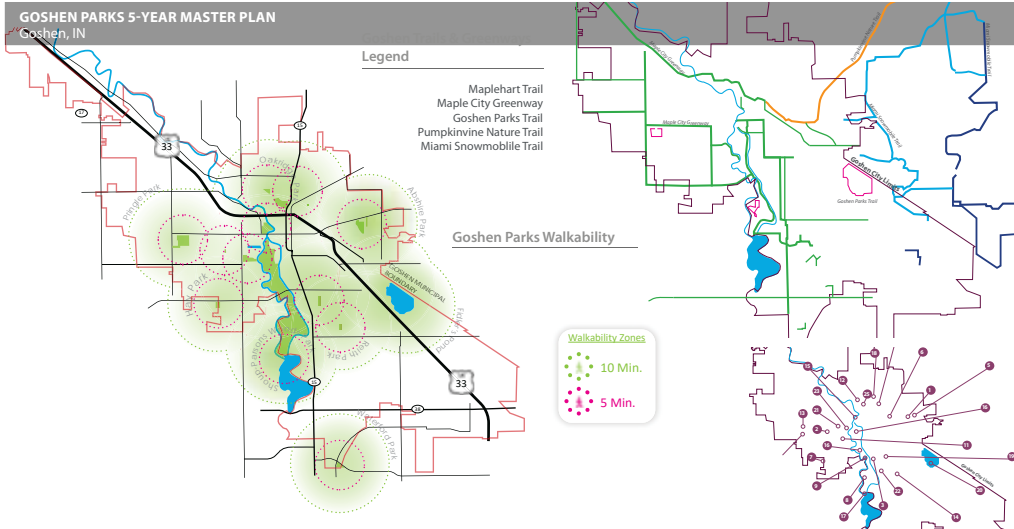
PLYMOUTH, IN

ADDITIONAL PROJECT EXPERIENCE

FIVE-YEAR PARK MASTER PLANS



- | | |
|------------------------------|---|
| PARKS & TRAILS | ANCHOR INSTITUTES |
| 1 Norwayne Field | 11 Town Hall |
| 2 Town Park | 12 North Judson-Wayne Township Public Library |
| 3 Hidden Field | 13 Hoosier Valley Railroad Museum |
| 4 North Judson Erie Trail | 14 North Judson-San Pierre Jr. High School |
| HEALTH & SAFETY | 15 North Judson-San Pierre High School |
| 5 Police Department | 16 North Judson-San Pierre Elem. School |
| 6 Fire Department | 17 St Peter Lutheran Church and School |
| 7 Emergency Medical Services | Restaurants & Retail |
| | 8 The Point |
| | 9 Irish Pub |
| | 10 Route 10 Bar N Grill |
| | 18 Fingerhut Bakery |



FIVE-YEAR PARK MASTER PLANS

EXPERIENCE

ADDITIONAL PROJECT EXPERIENCE
TRAIL PROJECTS

VALE PARK WEST PATH
Valparaiso, IN



PLANNING AND IMPLEMENTATION
STATEWIDE

ADDITIONAL PROJECT EXPERIENCE
CONSTRUCTED PARKS



CONSTRUCTED PARKS

EXPERIENCE

PUBLIC ENGAGEMENT + OUTREACH

PUBLIC ENGAGEMENT PROCESS:

We understand that the Township and Parks Committee has already held a public input workshop and completed a survey that has had a great response rate. This page describes some of our typical public engagement strategies, but we will discuss in the project approach section about what strategies we think will be most valuable to this process for Cascade Township.

METHODOLOGIES AND TACTICS:

At Troyer Group, everything we do comes down to people and their experiences. Our public engagement strategies employ a combination of traditional and innovative methodologies to better interact with audiences while seeking opportunities to solve problems and support capabilities. We seek to meet people where they are, including providing feedback options for a variety of preferred communication styles.

OUR TACTICS INCLUDE:

- Online surveys & wikimapping
- Social Media Expertise
- Community Workshops
- Stakeholder/Focus Group Meetings
- Pop-up Presentations
- Tactical Urbanism
- DIY Toolkits



Pop-up presentation during South Bend's Best Week Ever for the Pulaski Park Master Plan project.



Our goal is to meet people where they are and take advantage of critical mass events that leverage the public's presence and reduce participation friction.



Public engagement meeting for the City Cemetery Master Plan, meeting people in their neighborhood center.



Mobile Meetings conducted to get a better understanding of on-site conditions.



We also employ traditional public engagement strategies such as workshops.



We use a series of lenses to look at each project and prompt more valuable feedback from everyone involved in the design process.



We are experts at conducting public feedback meetings, using a variety of strategies to unlock public expertise and deliver successful projects.



We engage all members of the community - young or old, from all walks of life, including law enforcement professionals - to gain a deep understanding of place.



Our stakeholder meetings use different tactics to engage all attendees, providing as many opportunities to give feedback as possible.

STAKEHOLDER + COMMUNITY ENGAGEMENT

People are central to our process and through traditional workshops/presentations, both stakeholders and the public will be engaged throughout the planning process. To that end, it's critical for stakeholders, Township leaders, and the public to contribute to the process from the onset. Our methodologies for capturing and incorporating that feedback includes a synthesis of presentation and guided conversation that asks questions to prompt specific feedback about targeted strategic components. We have used a variety of digital, social, conversational, and physical communication tactics to elicit inclusive feedback from a wide pool of community stakeholders and leaders. This allows the broad expertise of the community to better inform our design expertise and ensures more ownership of the planning process as well as investment in the success of the final outcome.

POP-UP PUBLIC ENGAGEMENT

At the core of our public engagement is the desire to meeting people where they are. Broadly, this means diagnosing their values and needs while connecting with them in a way that is effective for them. Knowing that not everyone can attend or feels comfortable attending traditional public meetings, we use pop-up meetings at established community events to reach the largest group of people possible. For these meetings, we prioritize low friction strategies designed to make participation as easy (and quick) as possible. One method has been using sticky dots placed on photos and maps to indicate familiarity and preference for project locations and programming items. This process has allowed for dramatically increased participation.

TRADITIONAL AND EMERGING TACTICS



Context understanding diverges around user needs and assets, creating an assessment that identifies what's already working well, what's not, and what elements are impacting user behavior.



Developing concepts involves converging on insights and design opportunities that point toward areas for potential growth and change.



Synthesizing ideas that specifically address the opportunities and meet specific needs, while also considering project constraints bring the process closer.



After the ideas, strategies, and goals evolve, the process builds towards consensus on the action plan to address prioritization, implementation, schedule, and budget.

PROJECT UNDERSTANDING:

Cascade Township has made significant efforts to create a lasting vision for the future of its parks and recreation experience. In 2014, Cascade Township outlined a series of goals within its Five Year Parks, Recreation, and Open Space Plan that created the framework for a series of planned park improvement projects, trail expansions, and the preservation of natural environments within Cascade Township. The goals outlined in this 2014-2019 plan were as followed:

1. All Township owned property and parks will be consistently and continuously maintained to insure enjoyable user experiences for all, with improvements and updates being regularly assessed.
2. The Township will continue to provide spaces for residents to enjoy the natural environment through the provision of open and easily accessed areas.

3. Continue to develop a system of non-motorized paths which will connect the Township's residential neighborhoods with schools, parks, commercial centers and destination points and which will link the township to adjacent communities.
4. Assure that adequate land is available for the appropriate use and improvement of park and recreation facilities in the Township.
5. Continue the improvements and development of universal design concepts at all the Township park locations.
6. Explore future opportunities for waterfront access and utilization in the Township.
7. To promote the coordination, cooperation and expansion of recreational programs with other public agencies, private enterprise, citizen groups and other interested organizations with the common goal of improvement of recreational opportunities for Township residents and avoiding duplication of facilities and services.
8. Develop mechanisms to meet future recreational needs in the Township.

9. Encourage preservation and integration of township natural resources.
 10. To continually improve the quality of and the opportunities for recreation in the Township by reassessing community recreation needs, trends and characteristics.
- While some progress has been made on these goals, and are broadly still applicable today, further analysis on these goals along with strategies and metrics will help inform a new set of goals and objectives that match the present needs of Cascade Township parks and its community. In order to appropriately represent the needs of the community, we emphasize a data-driven process, especially to present survey results that can be used in budget presentations, program planning and capital improvement/maintenance. We also understand the desire to match survey results with previous survey

results to be able to communicate progress and express needs over the next five years. We have used info-graphics and other data-visualization strategies to great effect, but the most important aspect is the analysis you get from the process. Complexity and abstraction are the enemies of a good strategy, according to the Harvard Business Review, and our goal is to not only align your data and strategy, but also ensure that the information provided is useful.

HYPER-LOCAL PROCESS

Developing a Parks Master Plan is a journey that starts with gaining a greater understanding of the people and places that make up Cascade Township. We employ a human-centered approach, focusing on holistic solutions that have an ease of implementation, knowing this plan is ultimately a

reflection of the community and that the greatest successes will come from those who care most about the results, not just ideas. This understanding comes from a belief in the process of collaboration, relationship building, and iteration, as well as experience working with neighboring communities and entities such as Ada Township and Kent County Parks. Input has been and will be gathered from residents and community leaders through several stakeholder and public meetings (further outlined in the next several pages). These meetings occur throughout the process and are oriented to facilitate positive feedback from as broad an audience as possible. This information, combined with local expertise and our project team's decades of experience working with municipalities, will lead to a plan that meets the needs of Cascade, while exceeding the expectation of those involved.

THE PROCESS OF PLACE MAKING

Fundamentally, place-making is much more than spatial arrangement of infrastructure and amenities. It embodies the collective process of a community; utilizing creative, shared approaches to shaping physical, social, and cultural assets that contribute to people's health, happiness, and well-being. This process acquires strength through public involvement and support, informed by local expertise, and bolstered by the knowledge and creativity of forward-thinking planners and designers. For Cascade Township Parks, this involves thoroughly understanding the physical, social and cultural history, and context. Development recommendations that harness place-making strategies will be rooted in this understanding and supported by public involvement. The result will be developing a plan that has an intimate connection with the community, reflecting its creative capacity.



OUR APPROACH

We will utilize an approach that makes your plan better, more useful, and backed by deep public input and buy-in. While all MDNR Recreation Plan requirements will be met, this planning process focuses on the needs of Cascade Township, its parks committee, and its residents.

FOCUS ON YOUR GOALS:

We want to focus on the issues and items that are most important to Cascade Township. In doing this, we ensure that the master plan is unique to you, and not a boiler plate document that can fit other communities. From our many planning efforts, to our continuing research of case studies, to our vast knowledge of what is working and what may not be working for other park systems. Included in the required planning are customized needs-based standards for parks land, amenities, open space, level-of-services guidelines; performance measures; clearly articulated goals, strategies, and action items; capital investment and implementation priorities; as well as a statistically valid survey with participation available to the entire community; among the other identified MDNR requirements.



PROJECT ELEMENTS AND SCOPE

1. Update of community description and profile, socio-economic conditions and trends, township structure, budgets, funding sources, and role of volunteers and inter-agency relationships.

Our first task will be a thorough review of the Cascade community by utilizing census data to gain a complete understanding of the demographics for Cascade Township residents. This information will be compiled in the report and graphically presented for optimal understanding by reviewers. It is important to have this information available and to use when guiding planning decisions as it is the unbiased depiction of the community. Factual data combined with the public input data that has already been collected will generate a more accurate report that assesses the needs of the community.

Per the MDNR Guidelines, a detailed section displaying the township structure, budget, funding, etc will be included. This helps give clarity to the structure of personnel who will be associated with this planning document and future parks projects. It also provides an understanding to budget related information and funding sources for future projects.

Deliverables: A summary of our findings will be provided to the Parks Committee and provided in the final report.

2. Inventory of existing parks, recreation facilities natural areas and parks/recreation programming, including CAD-assisted mapping.

The project team will work in a macro-level and micro-level approach to analyze the parks system and its facilities, amenities, and programs. Previous plans and studies, GIS information, or other information available from the Township will be reviewed. Also, the Township's Strategic Plan process that is running concurrently to this process will be integrated where applicable to gain a broad view, while analysis of existing conditions at an intimate level will provide detailed insight into the condition of the parks and how they are used. Taking inventory of all existing parks, open space, acquired land, amenities, and facilities helps organize the existing parks system and identifies opportunities for certain parks to ensure newly proposed amenities/facilities/land will have the most benefit in the community.

Deliverables: We will prepare a summary of the inventory findings as well as any supplementary maps and present them to the Parks Committee and include the information in the final report.



3. Reviewing and analyzing collected public input to ensure data is complete and meets the requirements of a certified plan. If needed, coordinating and overseeing additional public input processes with assistance from staff and the Parks Committee.

The Township has already conducted a Public Open House and a Public Input Survey to gain a better understanding of the needs of the community regarding the Township's Parks and Recreation. This information is crucial to the planning process as it guides future goals and objectives for Cascade Parks. With goals based on community input, proposed changes will have a greater sense of impact and are justified from the input received from the residents who use the parks every day. We understand the township's goal in current and future planning processes is to make sure the residents voices are heard and there is transparency in government. As such, we will work with staff and the parks committee to analyze public engagement results from the efforts to date, and recommend any additional strategies to further public involvement.

One opportunity for additional engagement is to set up a booth or opportunity for feedback in community events this winter or spring. It is also important to gather additional feedback from staff, the Parks Committee, volunteers, and other park user groups. We would recommend setting up meetings with focus groups and interested individuals to gain a greater understanding of the concerns, goals, and ideas from those that are most involved with the future of the parks. We will also look at the data and feedback received as part of the Township's Strategic Plan process to see how it impacts the parks with the community-wide context.

These efforts combined with the previously collected public input, we will have holistic context to help build consensus towards the next steps of the planning process.

Deliverables: Attend focus group meetings and prepare a summary of the public input survey, public open house, and all other engagement efforts into charts and infographics that make data easier to understand.



4. Development of updated plan goals and objectives, in consultation with the Parks Committee and Township staff.

To help ensure that future planning decisions for Cascade Township Parks are done with a unified vision in mind, Troyer Group, working with the Parks Committee and Township Staff, will create a series of updated goals and objectives for the Parks Master Plan based on the following:

- Consideration of all public input received
- Community demographic and socio-economic conditions and trends
- Assessment of existing facilities condition and utilization
- State and national standards and benchmarking

Troyer Group has worked on five-year parks master plans that have had a wide variety of focus specific to the planning needs of that community. Some have focused on planning of capital improvement projects in each park, others have focused on land acquisition and management, structure, staffing, and



programming, and most fall somewhere inbetween. From involvement in the Township and its parks, a team member living in Cascade Township, and our in-depth process of obtaining input and feedback, we understand the primary issues and opportunities and will create a plan with goals and objectives that are specific to Cascade Township and its needs. Whether it is the potential to hire a Parks Director and start a Parks Department, analyze land acquisition opportunities, determine the best framework for a parks millage, addressing amenities that are lacking, or any other issues or opportunities Cascade Parks have, this plan will contain a focus on your priorities.

While the goals should be broad and dynamic, the objectives and strategies will be specific and measurable to help the Parks Committee make decisions, track progress, and analyze results. These goals, objectives and strategies should also provide a framework for analyzing opportunities, responding to public comments and ideas, and proposing recommendations to the Township Board. It is with this understanding that we recognize the importance of thoughtfully developed goals, objectives, and strategies.

Deliverables: The goals, objectives and strategies will be included in the master plan report.



5. Assist the Parks Committee, Township Staff and Township Board in formulating a template for the evaluation and acquisition of property based on goals and objectives set forth in the plan.

The Township has had opportunities to acquire property in recent years, and will continue to have opportunities arise. It is necessary to have metrics in place that will give consistency and an unbiased lens to each opportunity as it relates to the goals and objectives of the master plan which is rooted in community input. This acquisition document must have a framework that can evaluate opportunities based on a system of metrics that is fair, equitable, and unbiased yet allows for realization of context.

Deliverables: A property acquisition evaluation document will be provided to the Parks Committee and included in the report.

6. Prepare proposed action plan, based on public input collected as well as Parks Committee and Township Staff input.

Too many times we see a previous master plan or comprehensive plan that has sat on the shelf while decisions are made by municipal staff without that planning context. That is because many planning documents are static. While we will need to create a



report document for the Township to submit to DNR, it will be supplemented with tools that will enable the goals, strategies, and action items to be dynamic. This will allow the Parks Committee to be able to respond to evolving context and opportunities while checking progress and implementation over the next five years. Meeting for ninety minutes about ten times each year, this master plan will help guide the Parks Committee to make the most of its time while in session.

Deliverables: An Action Plan will be included in the report and dynamic Action Item Matrices will be given to the Parks Committee/Township for its use.

7. Prepare complete draft plan document for public review and comment.

A draft plan will be provided to township staff and the Parks Committee at least a week prior to a regular Parks Committee meeting. We will discuss the draft plan at the meeting and we will make any revisions to create the final draft plan. The draft plan will be available for public review and comment. This can be hosted on a website with a link sent out to the public, and have hard copies printed to be available for public review at Township Hall, the library, or other desired locations.



8. Present the draft plan at a public hearing at a regular Township Board meeting.

The draft plan will be presented at a regular Township Board meeting. We will discuss the focus of the presentation with the Parks Committee and Township staff to highlight the focus areas and items to give a thorough presentation while being considerate of the Board Members' time.

9. Prepare any needed revisions to produce the final plan document following the public hearing, based on input from the public, Township Board and Parks Committee.

Overall Deliverables:

- Focus Group meetings and community event engagement
- Public Engagement Summary Report
- Public presentation of the final draft plan at a Township Board meeting.
- Parks Committee meetings throughout the process to provide updates, review, and discuss.
- Adopted Five Year Master Plan Report that meets DNR Guidelines. Five printed copies and a digital version hosted online and in pdf format.
- Land Acquisition Evaluation Document
- Strategies and Action Item Matrices

MASTER PLAN SCHEDULE

We have the experience and capacity to readily meet the proposed schedule. We are also willing to be flexible on the schedule to meet the needs of the Parks Committee and its meeting times, potential integration with any schedule benefits with the Township's Strategic Plan process, or other factors. We have full confidence that we will be able to meet all of your goals for the planning process within the proposed schedule.

	INITIATION + DISCOVERY	PLANNING PROCESS
PHASE I PROJECT INITIATION + INVENTORY	JANUARY - FEBRUARY 2022 Project Initiation <ul style="list-style-type: none"> • Project Initiation Meeting • Establish Project Process and Public/ Stakeholder Engagement • Review of Existing Plans Data Gathering and Analysis <ul style="list-style-type: none"> • Public Survey Review • Existing Parks & Facilities Analysis • Inventory Mapping • Social, Natural, Demographic, etc Analysis • Community Needs Analysis 	MARCH - APRIL 2022 Analysis, Ideation, and Building Consensus <ul style="list-style-type: none"> • Begin Assembly of Report Document • Parks Committee Meeting to Review Analysis and Public Input • Work with Parks Committee to develop goals, objectives, strategies and action plan
	OUTREACH	
PHASE II OUTREACH + ENGAGEMENT	FEBRUARY 2022 Public Engagement and Information Gathering <ul style="list-style-type: none"> • Stakeholder Group Engagement • Pop Up Booth and/or DIY Toolkit Engagement • Compilation of Public/Stakeholder Information 	PHASE III ANALYSIS + IDEATION
		PHASE IV DRAFT + FINAL PLAN
	PLAN DEVELOPMENT	
		APRIL 2022 <ul style="list-style-type: none"> • Parks Committee Review Meeting • Development of Draft Plan MAY 2022 <ul style="list-style-type: none"> • Parks Committee Review • Draft Plan Available for Public Review • Public Presentation to Township Board JUNE 2022 <ul style="list-style-type: none"> • Plan Adoption • Submit Final Plan to MDNR

Task	Mike Reese	Jonathon Geels	Rachel Walsh	Other Staff	Total Task Hours
	Landscape Architect Project Manager	Principal Landscape Architect	Graduate Landscape Architect	Planner/Engineer	
Contextual Information Analysis					
Initial Parks Committee Meeting	N/A	2	2		4
Existing Township Plans Review	1	2	2		5
Community Analysis	2	2	4		8
Parks Inventory/Analysis	3	2	4	1	10
Community Engagement					
Review of Public Input	2	1	2		5
Pop-up Booth/DIY Toolkit	1		4		5
Focus Group Meetings	6		4		10
Analyzing/Summarizing Results	3	1	6		10
Parks Committee Review Mtg	N/A		2		2
Draft Master Plan					
Township & Parks Maps	2		8		10
Community Benchmarking	2	1	4		7
Accessibility Assessment	2		3		5
Update of Goals and Objectives	4	3	3		10
Land Acquisition Evaluation Form	2	2	2		6
Parks Committee Meeting	N/A		2		2
Prepare Strategies & Action Plan	8	4	6	2	20
Compile Complete Draft Plan	6	6	24		36
Parks Committee Meeting	N/A		2		2
Public Hearing/Township Board Mtg	2				2
Final Master Plan					
Master Plan Report Revisions	2		8		10
Township Board Meeting-Adoption	1				1
Plan Printing & Submittal			2		2
Total Hours	49	26	94	3	172
Hourly Rate	\$ 140.00	\$ 140.00	\$ 90.00	\$ 100.00	
Total Labor Fee	\$ 6,860.00	\$ 3,640.00	\$ 8,460.00	\$ 300.00	\$ 19,260.00
Printing Expenses					\$ 300.00
Total Project Lump Sum Fee					\$ 19,560.00

PROPOSED FEE & SUMMARY

Troyer Group has an experienced team which enables a contextual and realistic approach to planning, and a passion for Cascade Township and its parks. Our vast experience with municipal and parks design, engineering, and construction, as well as our team members with previous municipal employment, provide real world value to our planning process. As we hope to have demonstrated in this proposal, our strengths are providing a service oriented approach with innovative solutions, thorough analysis, and attention to detail. We know this will result in a master plan that will offer accurate and useful guidance, while being deep-rooted in public support. By choosing Troyer Group, you will receive a team committed to solving problems utilizing our experience and ability to leverage beneficial resources. Our combined experience, knowledge, and innovative ideas will provide for a successful project comprised of high quality planning and public collaboration. We look forward to the possibility of working with Cascade Township and its Parks Committee to help plan and guide your ideas for the next five years and beyond.

It comes down to people and their experiences. This is the crux of what we do at the Troyer Group. In focusing on people, we provide solutions that create economic, social, and environmental value; working with you to achieve your vision.

TOGETHER, WE WILL.

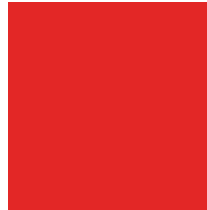


MCKENNA

PROPOSAL TO PREPARE

Township Parks, Recreation & Open Space Plan

CASCADE CHARTER TOWNSHIP,
KENT COUNTY, MICHIGAN



NOVEMBER 23, 2021

Communities for real life.



MCKENNA

November 23, 2021

Brian Hilbrands
Township Planner
Cascade Charter Township
5920 Tahoe Drive SE
Grand Rapids, MI 49546

Subject: Proposed Partnership for Parks and Recreation Success

Dear Mr. Hilbrands

What an exciting time for parks and recreation in Cascade! The Township has a strong tradition of excellent parks and recreation programming and facilities, supported by robust engagement of the community. We are pleased about the prospect of partnering the Township to address future parks and recreation needs and desires – to the benefit of your residents and visitors.

Synergy with Strategic Plan

McKenna's West Michigan team is already assisting the Township with the ongoing Strategic Plan process. The Parks and Recreation Planning process connects seamlessly to the Strategic Plan. The Township's already-completed Parks engagement, plus the upcoming Strategic Plan engagement, will allow the Parks Committee to form a robust understanding of residents' preferences – and plan accordingly.

Further, the Strategic Plan process already includes action planning with the Parks Committee. The Parks and Recreation Plan would build on that to create a detailed and implementation-oriented action program that the Parks Committee can use as a guide for years to come.

Value-Added Project Scope

We are including team partners from OCBA to add additional value to the Township's Parks and Recreation Plan. They will bring their eye for design and understanding of park function and landscape viability to the planning process.

Along with OCBA, we have proposed optional value-adds to our scope, which take advantage of the efficiencies created by the Strategic Plan. We could take community engagement "up a notch" with a "field day" – taking our team to the residents by setting up engagement in a park or at a community event.

We could also use OCBA's design talent to create concept plans for the parks improvements – visually demonstrating the proposed improvement and working out design challenges to speed implementation.

If you have any questions please do not hesitate to contact me at (248) 596-0920 or ckhorey@mcka.com. Thank you.

Respectfully submitted,

McKenna

Christopher Khorey, AICP
West Michigan Manager

GRAND RAPIDS
124 East Fulton Street
6th Floor, Suite B
Grand Rapids, Michigan 49503

O 616.226.6375
F 248.596.0930
MCKA.COM

Communities for real life.



Parks, Recreation, and Land Preservation Plan

CASCADE CHARTER TOWNSHIP, KENT COUNTY, MICHIGAN
NOVEMBER 23, 2021



Prepared by:

MCKENNA

124 East Fulton Street, 6th Floor, Suite B
Grand Rapids, MI 49503

O 616.226.6375

E ckhorey@mcka.com

MCKA.COM

With our partners:



MCKENNA

Communities for real life.



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Executive Summary



PROJECT TEAM

Professionals assigned to provide services:

- Are currently working with the Township on the ongoing Strategic Plan. The Parks and Recreation has significant overlap with our current work.
- Have successfully completed Parks and Recreation Master Plans for dozens of communities across Michigan.
- Create attractive, graphically-rich reports, site concepts, and materials.
- Are skilled in park design, recreation programs and facilities.
- Are experienced, certified, public engagement specialists.

PROJECT FEE

Our Scope of Work can be accomplished within a budget of **\$15,000**. We have also included an optional public engagement “Field Day” and optional park Concept Plans.

MEETINGS

We propose the following 7 meetings with Township administration, staff, stakeholders, and the Parks Committee:

1. Project Kickoff with Parks Committee
2. Cascade Township Field Day OPTIONAL
3. Goals and Objectives with Parks Committee
4. Action Plan Development with Parks Committee (in addition to Action Planning meeting anticipated during Strategic Plan process)
5. Full Draft Review with Parks Committee
6. Full Draft Review with Township Board
7. Adoption by Township Board

PROJECT SCHEDULE

We will compile the Parks and Recreation Plan, including the portions completed by our team and the portions completed by the Township in time for the plan to be adopted before July 29, 2022, as requested in the RFP. We will then ensure the Plan is submitted to MDNR well before the February 1, 2023 deadline.

Firm Profile - McKenna



McKenna’s office in Downtown Grand Rapids – in the Loraine Building near Veterans Park. Our work spaces reflect McKenna’s commitment to our people, our communities, sustainable design and the rich technology heritage of the Midwest.

McKenna’s team of talented planning, design and building professionals help municipal leaders develop and maintain communities for real life. From street festivals, neighborhood parks, and storefronts, to parking spots, coffee shops, and farmers’ markets, we want your community to thrive. McKenna provides planning, zoning, building, landscape architecture, community and economic development, and urban design assistance to cities, villages, townships, counties, and regional agencies, as well as select private clients, based on skilled and effective public engagement. Our success can be measured by the built improvements to hundreds of McKenna client communities, and by our 43-year record of client satisfaction and on-time, on-budget delivery.

McKenna currently provides project services to more than 85 communities and private land investors in the Midwest. Anticipating and responding to change is a major distinction of McKenna’s practice. Our innovation and depth of experience is a resource for public and private decision-makers; we are a corporation of 20-plus planners, building code experts, urban designers, and landscape architects formed under the laws of Michigan on May 2, 1978.

HEADQUARTERS 235 East Main Street Suite 105 Northville, MI 48167 O 248.596.0920 F 248.596.0930 E info@mcka.com	DETROIT 1938 Franklin Street Suite 203 Detroit, MI 48207 O 313.888.9882 F 248.596.0930 E info@mcka.com	GRAND RAPIDS 124 E. Fulton Street 6 th Floor, Suite B Grand Rapids, MI 49503 O 616.226.6375 F 248.596.0930 E info@mcka.com	KALAMAZOO 151 South Rose Street Suite 920 Kalamazoo, MI 49007 O 269.382.4443 F 248.596.0930 E info@mcka.com
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Areas of Service

Community Planning

- Master Plans (Cities, Villages, Townships, Counties and Regions)
- Strategic Planning Facilitation
- Neighborhood Preservation Plans
- Redevelopment Plans
- Corridor Plans
- Downtown Plans
- Growth Management Plans
- Park and Recreation Plans
- Capital Improvements Programs
- Community and Fiscal Impact Analysis
- Waterfront Planning
- Open Space Planning
- Historic Preservation Plans
- Transportation and Parking Plans
- GIS Analysis and Alternative Testing
- Access Management

Economic Development

- Public/Private Partnerships
- Brownfield Redevelopment Planning
- Downtown Redevelopment Action Plans
- Corridor Redevelopment
- Tax Increment Finance Plans
- Grant Applications
- Redevelopment Project Management
- Market Studies: Retail, Commercial, Residential, Industrial, Institutional
- Redevelopment Financing Assistance
- Land Assembly/Eminent Domain Assistance

Building Department Administration

- Zoning Administration
- Building Code and Zoning Enforcement
- Building Inspection
- Electrical, Mechanical and Plumbing Inspections
- Property Maintenance and Housing Inspection
- Landscape Construction Observation
- Code Enforcement
- Compliance with State
- Department Management Plans

Parks and Recreation

- Parks and Recreation Master Plans
- Park Design (neighborhood, community, regional)
- Ball Field Planning and Design
- Park and Recreation Facilities Design
- Bikeway and Trail Planning and Design
- Grant Applications
- Public Participation
- Universal and ADA Accessibility
- Park and Recreation Furnishings



On-Site Management Services

- Zoning and Planning Administration
- Tax Increment Finance Authority Management
- Downtown Development Authority Administration
- CDBG Administration
- Housing Rehabilitation
- Project Management – Capital Improvement Projects
- Redevelopment Project Administration
- Community Development Administration
- Economic Development Administration

Development Codes

- Zoning Ordinance
- Zoning Ordinance and Resolution Review and Preparation
- Continuing Advisory Services to Elected and Appointed Officials, Planning and Zoning Commissions, and Boards of Appeal
- Subdivision and Condominium Regulations
- Form-Based Codes
- Environmental Regulations – Wetlands, Woodlands
- Expert Witnessing and Court Testimony on Zoning
- Sign Regulations
- Annexation Advisory Assistance
- Sex-Oriented Business Regulations and GIS Testing
- Open Space Regulations
- Planning and Zoning Code Training Seminars
- On-Site Zoning Administration

Complete Streets and Transportation Planning

- Complete Streets Policy Development
- Complete Streets Design Guidelines
- Complete Streets Procedure and Implementation
- Corridor Plans
- Streetscape Plans
- Bicycle & Pedestrian Plans
- Bicycle Parking Plans
- Bicycle Sign Plans
- Bike Share Feasibility Studies
- Intersection Design & Crossing Plans
- Zoning and Regulatory Review
- User Maps and Wayfinding Studies
- Transportation Master Plans
- Site Plan Review of Transportation Facilities
- Circulation Studies Vehicles and Pedestrian
- TOD Studies
- Education and Training
- Transportation and Parking Plans
- Access Management
- Parking Studies

Public Participation (NCI Certified)

- Charrettes
- Hands-on Workshops
- Focus Groups
- Roundtable Discussions
- Surveys (telephone, online, direct mail)
- Public Hearings
- Open Houses
- Interactive Citizen Advisory Committees
- Youth Outreach
- Community Walks and Bike Rides
- Pop-Up / Storefront Workshops
- Consensus Building
- Participatory Decision-Making
- Interviews (one-on-one, intercept)
- Community Preference Surveys

Community Development

- HUD CDBG Administration
- Analysis of Impediments to Fair Housing
- Environmental Review Records
- Consolidated Plans
- Elderly Housing Assistance
- Five Year and Annual Action Plans
- CDBG Program Planning and Applications
- Housing Rehabilitation Administration
- Market Studies – Market Rate, Elderly and Assisted Housing
- Housing Market Studies (MSHDA approved)

Urban Design

- Community Design Plans
- Placemaking Strategies
- Parks, Greens, Commons and Plaza Design
- Streetscape Design
- Site Planning
- Community Character Planning
- Historic Park Design
- Computer Visualization (before/after)
- Design Review
- Site Evaluation and Selection
- Design Manuals
- Neo-Traditional Design (TND)
- Urban Form Pattern Books
- Mixed Use (residential, retail, office, public, institutional) Design
- Public Art

Sustainability Plans

- Sustainability Indicators Analysis, Evaluation Criteria, and Program Improvements
- Develop Neighborhood Stabilization Plans
- Green Infrastructure Plan for Community's Public Property
- Walkable/Bikeable Audits and Implementation Plans
- Community Master Plan, Strategic Plan, or Capital Improvement Plan
- Plan for Low Impact Development (LID) Components
- Local Planning and Zoning
- Access Management Plans for Transportation Corridors

Landscape Architecture

- Residential Development Plans (single family detached/attached; multi-family, elderly, mixed use, townhouses) Conventional & Cluster
- Site Analysis and Design
- Site Layout and Planning
- Construction Drawings and Construction Observation
- Landscape Architecture (MSHDA-approved)
- Arborist Services (tree surveys and maintenance plans)
- Greenways and Trail Planning and Design
- Native Plant Landscapes
- Wayfinding, Signs, and Interpretive Stations
- Environmental Performance Standards
- Public Art Development
- Public Space Design – Greenways, Bikeways, Streetscapes
- Wetlands, Woodlands, Groundwater, Aesthetic, and Vista Protection Regulations
- Sustainable Landscape Design



O'Boyle, Cowell, Blalock & Associates, Inc. (OCBA)

has been providing award winning planning and design services to our clients since 1964. OCBA is certified as a Women's Business Enterprise by the Women's Business Enterprise National Council (WBENC).

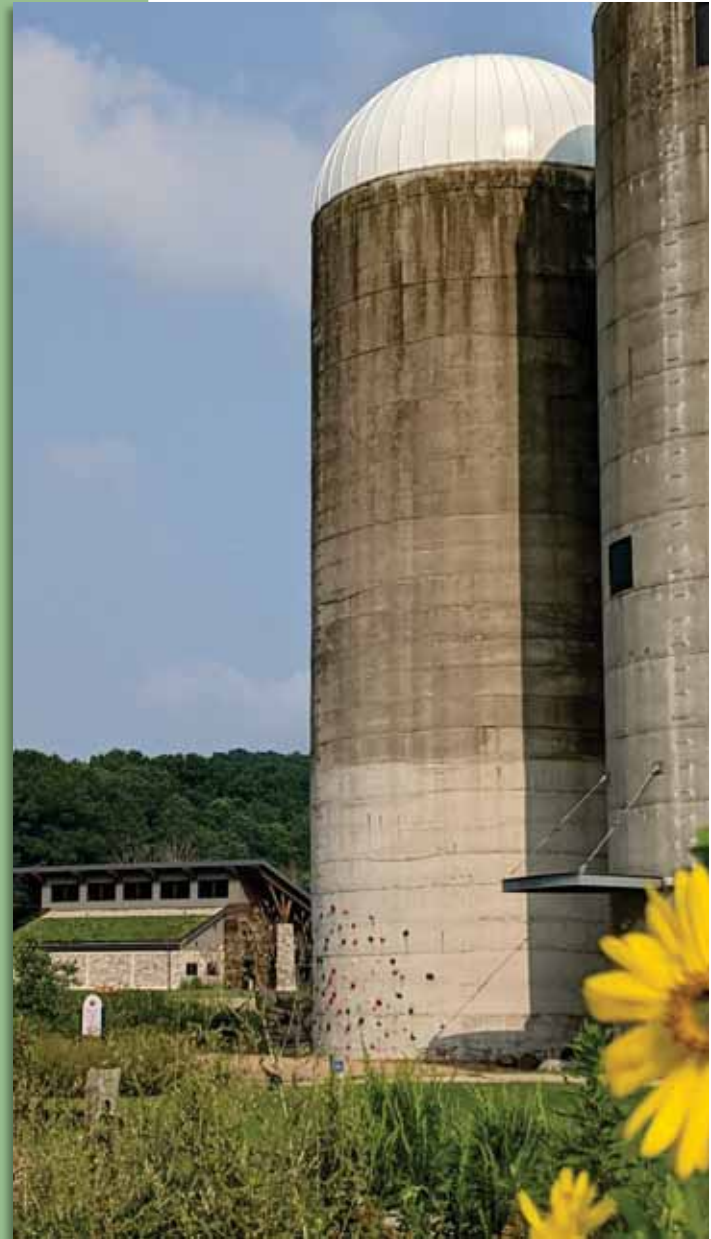
Our dedicated staff of landscape architects continually looks for opportunities to conserve and incorporate natural beauty with development planning to achieve our client's goals.

With over 50 years' experience in translating big ideas into built works, we seek aspirational projects that focus on enhancing the environment. The work we do fosters health and environmental benefits and can help our clients achieve their sustainability goals.

At OCBA, our goal is to create positive environmental change on every project.

SERVICES

- Master Planning and Design
- Community Engagement
- Grant and Permit Applications
- Construction Plans & Specifications
- Agency Reviews and Approvals
- Construction Administration



Key Personnel

In this section, we highlight our team’s organization philosophies, strengths and skills. Members of our team are industry leaders in organizing an efficient and effective public process leading to compelling and comprehensive plans with a strong implementation focus.

Our professionals embrace:

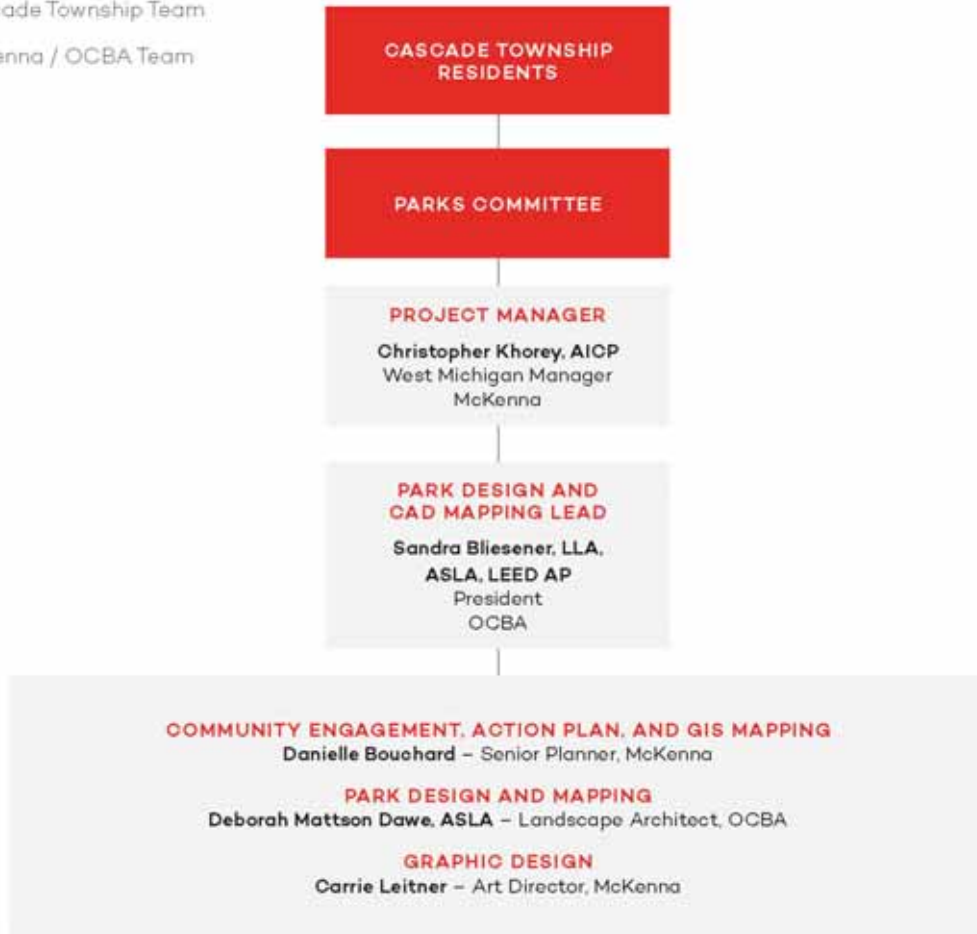
- Highly effective public processes.
- Involvement of stakeholders in planning that affects them.
- Information rich decision making.
- Context-sensitive design solutions.
- Active living and active transportation.
- Walkability, bicycling facilities, greenways, trails, complete streets.
- Environmental preservation.
- Livable communities.
- Placemaking.
- Economic sustainability
- Making technological information accessible to decision makers.



Our Cascade Township team will customize our approach to the Parks and Recreation Master Plan Update to reflect the local economy, environment and politics – indeed, our approach to recreation master planning is sensitive to history, size, scale, population, demographics and diversity of culture and place.

Organizational Chart

- Cascade Township Team
- McKenna / OCBA Team



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Christopher D. Khorey, AICP

SENIOR PRINCIPAL PLANNER
WEST MICHIGAN MANAGER

EDUCATION

Master of City and Regional Planning
University of Pennsylvania

Bachelor of Arts
University of Notre Dame

HONORS

Award for Excellence in Student Publications
University of Pennsylvania

MEMBERSHIPS

American Institute of Certified Planners
American Planning Association
Michigan Association of Planning
Congress of New Urbanism

PROFESSIONAL EXPERIENCE

Community Planning, Master Plans

Performs all facets of community-wide master planning processes including data analysis, public participation, community visioning, and implementation strategy. Applies innovative master planning strategies for open space preservation, downtown redevelopment, historic preservation, and commercial corridor redevelopment. Integrates regional thinking into local community planning. Implements master plan visions in communities across Michigan.

Market Analysis

Completes successful market analyses—including target market analyses, for residential, commercial, recreation needs, and office development—in suburban communities, older industrial cities, and small towns. Applies financial modeling, population projections, housing demand analysis, and retail gap analysis; employs statistical innovation and research techniques to unearth the nuances of demand for housing types.

Zoning

Prepares zoning ordinance and map amendments, including form-based codes and lean zoning, for a wide variety of communities; provides day-to-day guidance regarding zoning to officials from farming townships to dense urban cores; performs on-site administration of zoning ordinance in dense community with historic downtown.

Redevelopment Planning and Management

Develops neighborhood plans for CDBG target areas. Creates vision for redevelopment and investment in legacy neighborhoods and communities.

Facilitation and Public Engagement

Creates and executes public engagement strategies to address key stakeholders and community members in a variety of projects, in both growing communities and older urban neighborhood. Prepares illustrative and descriptive materials for formal presentation at meetings with public officials, community stakeholders, real estate investors, and the academic community.



PROFESSIONAL EXPERIENCE

Development Review

Provides ongoing development review services and technical advice and recommendations to approval agencies for cities, villages, and townships including site plan, special land use, subdivision, variance, and rezoning for residential, commercial, industrial, mixed use, and planned unit developments.

Wireless Services

Specializes in wireless telecommunications planning and regulation, including review services, drafting and approval of revised wireless regulations; assistance on assessments, leases and proposed buyouts.

Parks and Recreation Planning

Completes Parks and Recreation Master Plans meeting MDNR requirements for a wide range of communities throughout Michigan. Targets grant programs for parks improvements and provides ongoing services to a Parks and Recreation Commission undergoing the implementation of their plan. Engages the public in the parks and recreation planning process through visioning sessions, online surveys, and presentations at public hearings.

Neighborhood Stabilization and Land Banking

Conducted analysis of land bank program in declining industrial city, investigating efficiency and effectiveness of program in reducing blight and spurring redevelopment.

Transportation

Provided consulting assistance on safety and operations for transit agencies in several major metropolitan areas; coordinates planning processes and grant applications for transportation enhancements, non-motorized pathways, and streetscapes.

PUBLICATIONS

“Smart Decline or False Hope? Evaluating the Genesee County Land Bank in Flint, Michigan.”
University of Pennsylvania, May, 2010



Danielle Bouchard

SENIOR PLANNER

EDUCATION

Bachelor of Science (with honors)

Urban and Regional Planning with Minor in Geographic Information Systems
Eastern Michigan University

PROFESSIONAL EXPERIENCE

Mapping/Geographical Information Systems

Developed property site maps. Researched, updated, and developed mapping applications for non-motorized transportation plan. Inventoried and developed mapping for farmland preservation projects.

Zoning Administration and Continuing Planning Services

Served as the planner and zoning administrator for communities throughout Michigan, including rural Townships, small towns, and large suburbs.

Transportation Planning

Developed a county-wide multi-modal transportation plan. Implemented and managed various non-motorized transportation projects. Developed an informational marketing website framework with corresponding interactive story maps for non-motorized transportation projects. Administered State grant award for regional non-motorized transportation project. Researched and developed framework for public transit study. Researched and developed reporting on metropolitan planning organization transportation planning processes.

Grant Writing, Administration, and Fundraising

Developed and processed annual Michigan Department of Transportation grants for various regional programs. Researched grant opportunities and submitted applications to fund a variety of projects. Processed and administered Michigan Department of Natural Resources Trust Fund grants. Secured a multitude of private sector donations. Planned and implemented speaker training events for planning professionals. Secured volunteers for community projects.

Environmental Planning and Sustainability

Created comprehensive water conservation plan. Assisted in implementation of various environmental advocacy projects in the City of Detroit.

MEMBERSHIPS

Michigan Association of Planning
American Association of Planning

SANDRA BLIESENER, LLA, ASLA, LEED AP PRESIDENT



35 YEARS
with OCBA

PARKS PLANNING AND MAPPING LEAD

Sandy will oversee the development of recommended capital improvements to the Township Parks, as well as the potential development of new parks. She will also be the lead for the CAD Mapping team

350 E. Michigan Avenue, Suite 415 · Kalamazoo, MI 49007 (OCBA Headquarters)
Ph: (269) 381-3357
Fax: (269) 381-2944
sbliesener@ocba.com

Sandy Bliesener is the President of O'Boyle, Cowell, Blalock & Associates, Inc. and a LEED Accredited Professional. Her specialty is graphic skills and communication in the early stages of analysis and design, and she has led many projects through implementation. Sandy has served OCBA as a designer and project manager since 1993 and has managed the firm's entire youth camp master planning portfolio over the last ten years. She has written articles and spoken at numerous conferences about camp master planning. She received a Bachelor of Landscape Architecture degree from Kansas State University and is a licensed Landscape Architect. Recent projects with which Sandy has been involved include the following:

- *Texas Township Parks and Recreation Master Plan Update*
- *City of Grandville Parks and Recreation Master Plan Update*
- *City of Grand Rapids Parks Department, Grand Rapids, MI*
 - Riverside Park, Sullivan Field, and Fourth Street Woods Improvements
 - Belknap, Lookout and Reservoir Park Improvements
 - Joe Taylor Park Improvements
 - Coit Park Improvements
 - Cambridge Park Improvements
 - Monument and Veteran's Memorial Parks Master Plan
 - Madison Square Park Master Plan
 - Riverside Park Master Plan
- *Nature-Based Play Area Design, Pierce Cedar Creek Institute*
- *Nature-Based Play Area Design, Centerpoint Church, Kalamazoo, MI*

PROFESSIONAL REGISTRATIONS

Licensed Landscape Architect: Kansas

EDUCATION

Bachelor of Landscape Architecture, 1986
Kansas State University

ACCREDITATIONS

LEED Accredited Professional

PROFESSIONAL MEMBERSHIPS

American Society of Landscape Architects (ASLA)

PREVIOUS PROFESSIONAL EXPERIENCE

Landscape Architect - The Dike Partnership, Irvine, California, 1987-1993
Designer - Brent Bowman & Associates, Architects, Manhattan, Kansas, 1986-1987
Landscape Architect Intern - Kansas State University Facilities Planning, 1985-1986

COMMUNITY ACTIVITIES

Southcentral Michigan Planning Council, C.E.D.S. Committee 2020
City of Parchment, Michigan
Brownfield Board Member since 2019
Planning Commission Member since 2010
Zoning Board Member, 2003-2019
Kalamazoo County, Michigan
Planning Commission Chairperson, 2021
Planning Commissioner since 2010
Parks Board Member since 2016
Rotary Club of Kalamazoo
Rotary Stage Committee Chair, 2020
Career Connections Chair, 2015
President 2013-2014
Board of Directors 2006-2008 & 2012-2015
Website Committee Chair 2005-2006
Editorial Committee Chair 2004-2005
Kalamazoo Institute of Arts Building & Grounds Committee Member since 2008 Present

PROFESSIONAL PAPERS/LECTURES

Monument Park Redesign, SITES Magazine, Spring 2019 Edition
Kids or Corporations; Who are you Planning For?
Camp Business Magazine, July 2018
Speaker, Therapeutic Garden Workshop, Mary Free Bed Rehabilitation Hospital, Spring 2018
The Fountain Plaza Renovation, SITES Magazine, Summer 2015 Edition
Speaker, Mid-American Camping Conference, Battle Creek, MI 2014
Master Planning with Your Major Donors, Camp Business Magazine, Sept. 2013



O'Boyle, Cowell,
Blalock & Associates
www.ocba.com

- *Kalamazoo County Parks Department, Kalamazoo, MI*
 - Cold Brook County Park Master Plan
 - Markin Glen County Park Master Plan
 - River Oaks County Park Master Plan
- *Envisioning Our River Workshop Facilitator, Parchment, MI*
- *City of Portage Parks Department, Portage, MI*
 - Ramona Park Master Plan
 - Lakeview Park Master Plan
- *City of Kalamazoo Parks & Recreation, Kalamazoo, MI*
 - Farmers' Market Master Plan
 - Hays Park Master Plan
 - Bronson Park Master Plan and Implementation
 - Dutton Street Park
- *The Highlands Master Plan, Grand Rapids, MI*
- *Southwest Michigan Land Conservancy, Kalamazoo, MI*
 - Bow in the Clouds Nature Preserve Access Plan, Kalamazoo
 - Pilgrim Haven Property Land Use Master Plan, South Haven
 - The Wau-Ke-Na Preserve Land Use Master Plan, Glenn
- *Grand Valley State University, Grand Rapids, MI*
 - 333 Michigan Street Plaza
 - Health Professions North
 - Allendale Lab Building
 - Seidman Riverwalk Sketches

DEBORAH MATTSON DAWE, ASLA

LANDSCAPE DESIGNER



1 YEAR
with OCBA

PARK PLANNING AND MAPPING / FIELD SUPPORT

Deborah will use her creative skill and deep knowledge of landscape design to help shape the parks planning and design. She will also use her graphic display skills to help create the CAD maps.

124 E. Fulton Street, Suite 6B · Grand Rapids, MI 49503
(Shared McKenna/OCBA Grand Rapids Office)
Ph: (269) 381-3357
Fax: (269) 381-2944
dmattson@ocba.com

Deborah Dawe serves as a landscape designer, providing design, drafting, and graphic support for a variety of projects. Deborah is proficient with a variety of tools including GIS, AutoCAD, Adobe CS, hand-rendering, Lumion, and model-making. Her experiential learning has included three internships in Michigan, Alaska, and Georgia, teaching assistant positions with the Ball State Department of Landscape Architecture, annual field studies across the US, and an undergraduate research fellowship. Her professional experience has developed her interest in heritage landscapes and restoration work, and the value of each component that impacts a landscape's resiliency.

Deborah received Bachelor of Landscape Architecture degree from Ball State University. Deborah is currently working on the following projects at OCBA:

- **City of Grand Rapids Parks Department**
 - Sweet Street Park Improvements
 - Nagold Park Improvements
 - 4th Street Woods Improvements
 - Midtown Green Improvements
 - Paris and Seymour Park Improvements
 - Heritage Hill Park Improvements
 - Hillcrest Park Improvements
- **Streetscape Improvement Projects, Grand Rapids, Michigan**
- **Western Michigan University**
 - Board of Trustees Fountain Plaza Renovation

EDUCATION

Bachelor of Landscape Architecture, 2020
Ball State University, Indiana

PROFESSIONAL MEMBERSHIPS

American Society of Landscape Architects (ASLA)

HONORS AND AWARDS

Landscape Architecture Foundation Olmsted Scholar 2020
Indiana ASLA Honor Award, 2020
Indiana ASLA Honor Award, 2020 - For the research and design of Pediatric Trauma Therapy Garden
Rundell Ernstberge & Associates Excellence in Landscape Architecture Scholarship, 2018-19
Ball State Keys-Litten-Smith Research Award, 2020 - For Pediatric Trauma Therapy Garden
Sigma Lambda Alpha Honor Society, president, 2018-2020
Phillip C. McMullan Memorial Scholarship, CSI Education Foundation, 2018
Ball State Keys-Litten-Smith Award, 2018 - For the design of A Piece of the Lumberlost

PREVIOUS PROFESSIONAL EXPERIENCE

Teaching Assistant - Ball State Landscape Architecture Department
Student Assistant - Ball State Architecture Library
Landscape Architecture Intern - Pond & Company, Atlanta, Georgia
Landscape Architecture Intern - Corvus Design, Juneau, Alaska
Cultural Landscape Intern - Sleeping Bear Dunes National Lakeshore, Empire, Michigan

COMMUNITY ACTIVITIES

Detroit Audubon Graphic Design, 2020-present
Ball State Cru - Secretary, Ministry Area Coordinator, Small Group Leader, 2016-2020
Ball State Associated Students for Historic Preservation - Vice President, 2018-2019
Ball State Honors College Fellow - HALS project, 2018



O'Boyle, Cowell,
Blalock & Associates
www.ocba.com



Carrie Leitner

ART DIRECTOR

EDUCATION

Bachelor of Fine Arts in Graphic Design
University of Michigan

Internet Professional Curriculum Courses
Washtenaw Community College

SOFTWARE EXPERTISE

Highly proficient in Adobe Creative Suite (InDesign, Illustrator, Photoshop) and Microsoft Office (Word, Powerpoint).

PROFESSIONAL EXPERIENCE

Document Design and Layout – Planning and Zoning

Designed and produced simple and complex layouts for documents including community master plans, zoning ordinances, and urban design plans.

Downtown and Retail Corridor Branding

Created brands and identities for private firms and Michigan downtowns and corridors. Developed multiple concepts for elaboration in a range of styles. Branding included downtown logos, document design, banners, brochures, and wayfinding signage.

Art Director Municipal Projects

Created initial design and messaging concepts for a multitude of high profile municipal clients, capital campaigns and annual giving initiatives.

Image Editing and Production

Edited complex photographic and illustration graphics using Photoshop and Illustrator for zoning ordinances and master plans. Managed elaborate projects including color correction, recreation plan renderings, and branding for municipal electrical energy use education.

Illustration and Visualization – Zoning, Planning, and Design

Produced graphic ideas quickly and successfully which conveyed the clients' vision. Rendered detailed zoning graphics, facade improvements, and corridor and neighborhood visualization using Adobe Photoshop.

Website Design and Implementation for Public Engagement

Planned website architecture to clearly deliver content for stakeholder use under simplified navigation. Formatted websites to include municipal documents for public review and comments.

Hand Renderings and Art Work

Created privately-commissioned portraits in pencil and charcoal. Created the first annual Charlevoix (MI) Venetian Festival poster in oil pastel. Appeared in the Charlevoix Waterfront Art Fair exhibiting pen and watercolor paintings of local street scenes and building sketches. Rendered several site and landscape concept plans with pen and marker.



Communities for real life.

What we did:

PLANNING

Parks and Recreation Planning
Public Engagement
Grant Writing

Parks and Recreation Plan and Natural Resources Trust Fund Grant

CITY OF GRANDVILLE, MICHIGAN

REFERENCE

Matt Butts
Assistant City Manager
3195 Wilson Avenue SW
Grandville, MI 49418
(616) 530-4981
buttsm@cityofgrandville.com

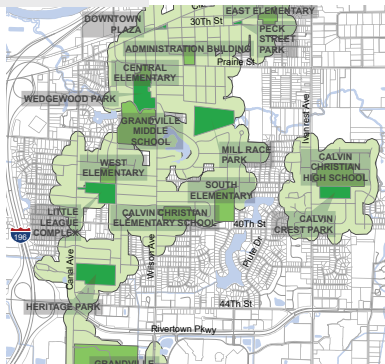
Dates of Service:
2019-2021

The City of Grandville, a historic community on the banks of the Grand River in West Michigan, is justly proud of its park system. The City features several large neighborhood parks, placed throughout the community so that most residents are in walking distance of green open space. A large and active Parks Board, appointed jointly by the City and School District, oversee the City's recreational inventory.

When McKenna, along with our partners at OCBA, was contracted to update the City's Five Year Parks and Recreation Plan, we knew that residents would watch the process with keen interest. We developed a comprehensive public engagement process, setting up a booth at the City's "Summer Kickoff Festival" to build excitement and receive feedback—and advertise an online survey. In addition to the dozens of people who participated at the Festival, several hundred residents took the survey.

We repeated this successful process again several months later, at the City's Vintage Festival. This time, our engagement was designed to receive feedback on proposed park improvements. Again, participation was very high, with hundreds of residents taking the online survey. It was also overwhelmingly positive.

Following the adoption of the parks plan, McKenna and OCBA assisted the City in applying for a Michigan Natural Resources Trust Fund Grant, to build out the Buck Creek Trailhead and Mill Race Park improvements, which key priorities of the plan.





MCKENNA

Communities for real life.

What we did:

PLANNING

Parks and Recreation Planning
Public Engagement

Parks and Recreation Master Plan

CITY OF BIRMINGHAM, MICHIGAN

REFERENCE

Carrie Laird
Parks and Recreation Manager
851 S. Eton Street
Birmingham, MI 48009
(248) 530-1714
claird@bhamgov.org

Dates of Service:
2018-2019

The City of Birmingham is one of Michigan’s premier communities, and part of its reputation and tradition of excellence is its longstanding commitment to world-class parks design and recreation provision. The City engaged McKenna to prepare a rewrite of its Parks and Recreation Master Plan, which—in Michigan—is the basis for access to State and other grants and loans for acquisition, design, and development of parks. Additionally, the Parks and Recreation Board wished to reexamine its overall planning priorities, as well as specific plans for each of its 26 parks, which cover more than 230 acres or 10% of the City’s total acreage.

McKenna designed a robust public engagement program; City leaders had desired to extensively engage residents, who are extremely passionate about Birmingham parks. Throughout the multi-pronged engagement process, which included a “Field Day” at the Fall Harvest Farmer’s Market, a comprehensive online and paper survey, key stakeholder roundtable discussions, and public presentations, a significant number of residents indicated that the parks and recreation programs were key to their choosing to invest and stay in Birmingham.

McKenna’s beautifully-designed, easy to interpret Parks and Recreation Master Plan document included all information required by the State, as well as best practice and strategic recommendations on features that the City wished to investigate for future development, including restrooms in public parks, green stormwater handling, and other special planning topics.

City leaders are highly satisfied with the process and resulting document, and are incorporating the plan features into their other robust planning and design priorities city-wide for a comprehensive, coordinated program of community planning and design excellence.





MCKENNA

Communities for real life.

What we did:

PLANNING

Parks and Recreation Planning
Public Engagement

Parks and Recreation Master Plan

CITY OF KALAMAZOO, MICHIGAN

With more than 30 parks scattered around a city of over 75,000 people, the Kalamazoo Parks Department knew its five-year recreation plan update process would not be a simple capital improvements plan update. It needed to engage with residents, capitalize on the recently adopted Imagine Kalamazoo Master Plan, and ensure quality recreational amenities in all neighborhoods.

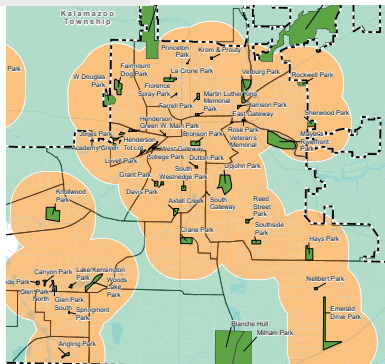
Working with McKenna and our partners at OCBA, the Parks Department divided the City into sub-regions, to make it easier to determine the level of parks service in each neighborhood. We then developed a metric to determine whether park service was adequate—"All residents should be no more than a 10-minute walk from a park worth walking 10-minutes to get to."

With that goal in mind, the project team initiated a comprehensive public engagement program, including holding summer 'pop up' events in the parks themselves. Based on the community feedback, we developed recommendations for improvements to every park in the City, with most parks planned for improvements in under five years, and the rest upgraded in under ten years.

REFERENCE

Sean Fletcher
Parks and Recreation Director
251 Mill Street
Kalamazoo, MI 49048
(269) 337-8191
fletchers@kalamazoo-city.org

Dates of Service:
2018-2019





Communities for real life.

What we did:

DESIGN
Urban Design

PLANNING
Master Planning
Parks and Recreation
Placemaking

Additional Ingham County Experience

Recreation Planning

VILLAGE OF WEBBERVILLE AND LEROY TOWNSHIP, MICHIGAN

VILLAGE OF WEBBERVILLE

Hon. Brad Hitchcock
Village President
115 S. Main Street
Webberville, MI 48892
(517) 521-3984

LEROY TOWNSHIP (INGHAM COUNTY)

Hon. Earl Griffes
Supervisor
1685 N. M-52
Webberville, MI 48892
(517) 521-3729



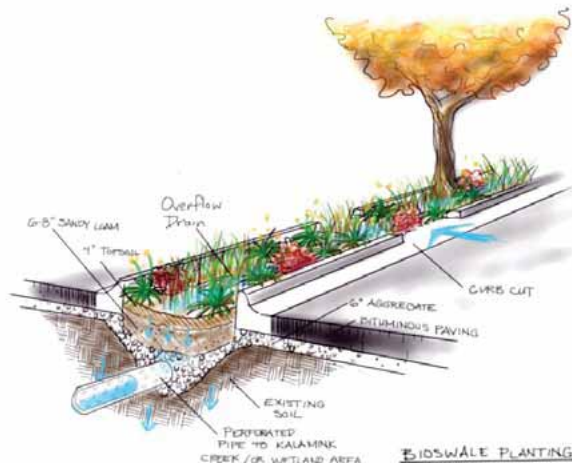
The Village of Webberville, in Ingham County, struggled for years to articulate a vision for itself, operating for over a decade without a Master Plan. The Village Administration decided that the time had come to plan for the future, and called McKenna.

While the Plan included all the traditional elements of a Master Plan, it also went further, including a Parks and Recreation Plan to meet the Michigan Department of Natural Resources (MDNR) criteria for grant funding. The Parks and Recreation Plan identified a need for a new recreational facility in or around Webberville.

Soon after the completion of the plan, a resident of Leroy Township, which surrounds the Village, donated a plot of land just outside the Village limits. McKenna assisted as the Township, supported by the Village in their efforts, planned out the build out of the new Simmons Memorial Park.

The Township's plan was also submitted to MDNR for approval, with a grant application to follow. In the meantime, Leroy began build-out of the park, filling the need determined by Webberville's Master Plan.

McKenna continues to work with both communities on recreation, land use, and economic development issues.



Select Additional Parks and Recreation Experience

McKenna has helped craft Parks and Recreation Master Plans for dozens of other communities throughout Michigan, including the following:

- City of Roosevelt Park
- City of Westland
- Lyon Charter Township
- Oshtemo Charter Township
- Oakland Charter Township
- City of Mt. Pleasant



SELECT OCBA PARK DESIGNS

4TH STREET WOODS

Preliminary Concept 1



This concept shows one replaced play element, nature play built into the slope, and improved entrances to the playground.

Proposed

- A** remove chainlink fence along west and north sides
- B** replace existing monkey bar structure
- C** nature play built into wooded slope
- D** replace plastic curbing with concrete curbing
- E** park sign and planting bed at corner
- F** extend chainlink fence north around picnic area with gate
- G** improved entrances to playground
- H** bench within playground area
- I** concrete pad for bike loops



Existing

- 1** playground
- 2** chainlink fence



HERITAGE HILL PARK

Preliminary Concept 2



This concept offers a formal garden setting with seating and an art piece.

Plant Palette Concept



Dwarf English Boxwood hedge

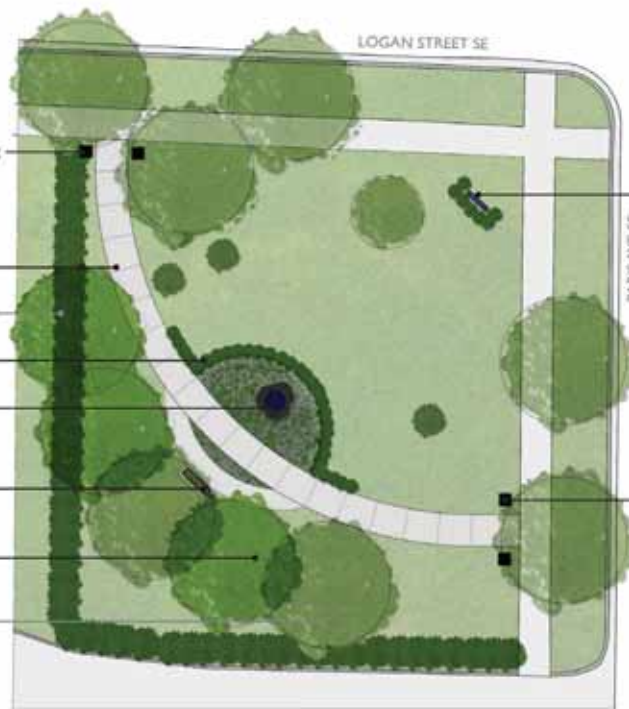


Gold Flame spirea



Apple Serviceberry

- keep existing pineapple pedestals
- replace existing concrete path
- existing hedge along back boundary
- low (2') ornamental hedge
- garden with central art piece
- secondary concrete path and bench
- backdrop of small ornamental trees along path
- existing trees
- park sign and plant bed
- pineapple pedestals to match



HILLCREST DOG PARK Preliminary Concept



This concept shows a primary connector path, an optional woodland nature path, and several improvements to the dog park and other amenities.

Proposed

- A** nature path along ridgeline
- B** upgrade dog agility equipment (dog "nature play")
- C** kids' nature play
- D** concrete connector path from Fuller Park to Lyon St with optional wooded switchback
- E** reconfigured dog park entrance area with drinking fountain and doggy bowl
- F** picnic tables
- G** bike loops
- H** expand large dog area southward with secondary entrance
- I** bench along path
- J** brush removal along wooded edge



MIDTOWN GREEN Preliminary Concept I



This concept shows nature play along the west side, an internal walking path with seating, and a combined community gathering and picnic area in the northeast corner.

Proposed

- A** pollinator garden
- B** community gathering space with seat wall, drinking fountain, and electric pedestal
- C** picnic area along pathway under canopy trees
- D** park sign on slope
- E** benches along concrete path
- F** nature play along wooded edge
- G** bike loops

Existing

- 1** trees along edge
- 2** "Welcome to Midtown" sign
- 3** sidewalks along roads



SELECT OCBA PARK DESIGNS

NAGOLD PARK Preliminary Concept



This concept shows an internal path connecting Nagold and 4th Street with pollinator plantings, seating along the path, and a park sign.

Plant Palette Concept



Pollinator Plantings



New Jersey Tea



Arceuthobium

Proposed

- A** install new picnic table(s) along walk
- B** replace and fill in evergreen shrubs along existing 10' fence
- C** benches along concrete path
- D** pollinator plantings and shrubs along path
- E** painted electrical boxes
- F** boulder barrier and park sign at Nagold St
- G** boulder barrier and park sign at Nagold St
- H** park sign at 4th Street



Painted electrical box example (E)

Existing

- 1** 6-10' chainlink fence around park
- 2** raised planter beds and community garden

SWEET STREET Preliminary Concept



This concept depicts more accessible spaces with fewer curbs, new play equipment (swings and ages 2-5), and an improved picnic area.

Proposed

- A** sunset view backless bench
- B** landscape beds with shade-loving shrubs
- C** swing set, wood mulch play surfacing
- D** picnic tables on crushed limestone
- E** reconfigured play area, ages 2-5 yrs, with benches
- F** bike loops on concrete pad
- G** install accessible ramp and landing system
- H** remove seating area
- I** replace HMA path with concrete path
- J** park sign and plant bed



Existing

- 1** 3' brick wall and chainlink fence
- 2** play equipment
- 3** chainlink fence

Scope of Work



We have designed the following work plan for Cascade Township to engage the public and create a dynamic plan that builds upon the Township’s existing assets and positions community leaders for sustainable future success. We will perform the work plan in accordance with our understanding of the Township’s goals, as described in the Township’s Request for Proposals.

Not only do we have extensive experience in developing parks and recreation plans for a multitude of communities all around the State, but we also have a deep knowledge of Cascade Township and the West Michigan region. As you know, we have been working with Cascade Township Staff and the Township Board (as well as others) over the last several months on the Cascade Township Strategic Plan project. This Parks and Recreation Plan update comes during an opportune time while the Township is undergoing a robust multi-phase public engagement endeavor. McKenna is well-positioned to develop both the Strategic Plan and Parks and Recreation Plan in tandem to ensure that all goals, objectives, priorities, projects, programs, responsibilities, and budgets are aligned with one another and reflect a consistent vision determined by residents, the Parks Committee, and Township staff and officials.

There is significant overlap between the Parks and Recreation planning process and the ongoing Strategic Planning process that McKenna is currently assisting with in the Township. We have designed this Scope to take advantage of that overlap. We have provided parks design and public engagement options that could make use of the resources freed up by the overlapping services – or the Township could simply use the efficiency for cost savings.

Further, activities and discussions held during the strategic planning process can be utilized for the Parks and Recreation Plan, such as the Parks Committee workshop, and discussions regarding parks and public gathering space locations, park expansions, property acquisitions, public programming, river recreation, and more.

We further understand that your goal for the 5-Year Parks and Recreation Plan is to incorporate the thoughtful discussions and considerations of Cascade Township staff, Township Board, and Parks Committee to create a realistic yet visionary plan. The McKenna/OCBA team is prepared to work closely with the stakeholders to build

the plan update around the Township’s goals so that it reflects a realistic approach to park improvements over the next five years. This plan will also serve as the framework for decision-making moving forward so the accuracy of any proposed action plans is critically important to the future of Cascade Township Parks.

Our scope of work, based on our team’s deep experience, expertise, and relationships with Cascade Township, includes the following elements that go above and beyond the minimum MDNR requirements for Parks and Recreation Plans.

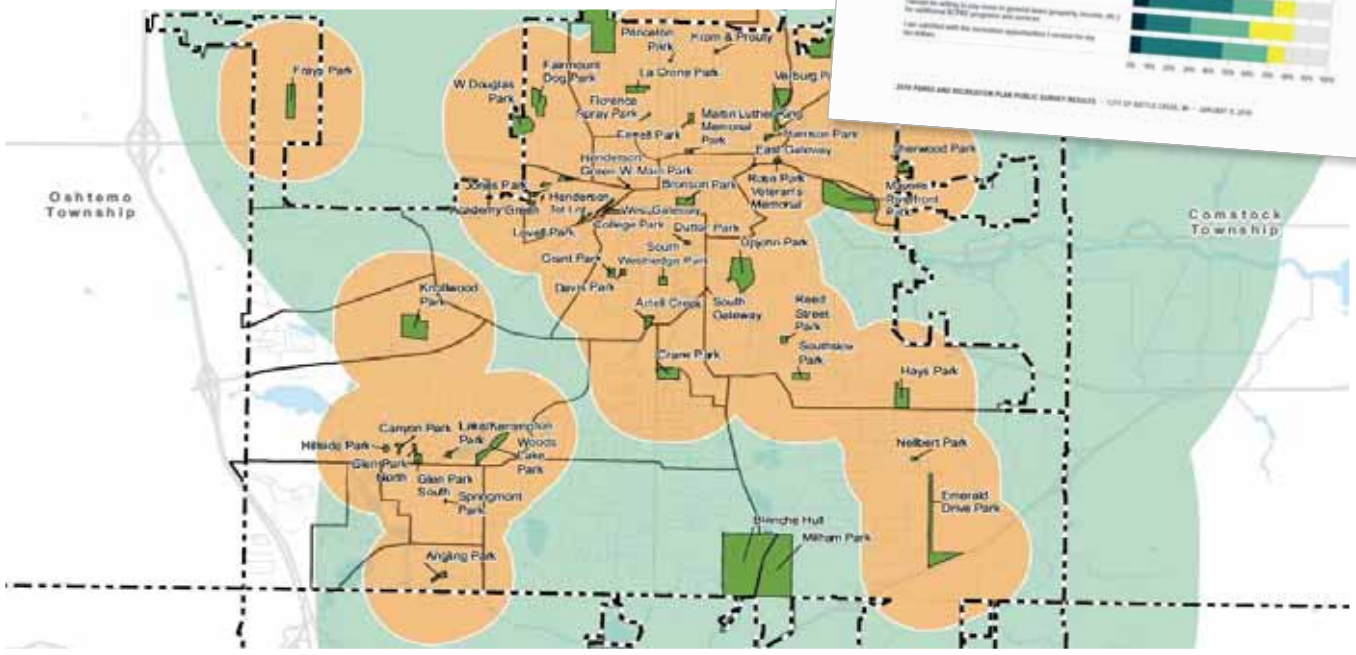
- A Parks Master Planning process that has achieved a 100% approval rate from MDNR.
- A proven process to complete a competitive and thorough MDNR grant application immediately following adoption of the Master Plan.
- **A comprehensive, yet graphically interesting and easy to use document that will lead to the efficient implementation of improvements that benefit the entire Cascade Township community.**

STEP 1. PROJECT INITIATION & INVENTORY ANALYSIS

We will conduct an initial meeting with the Township’s Parks Committee to receive initial input and direction on the work plan, and to finalize a structure for review and management of the plan process.

We will 1) establish a working relationship, 2) reach an understanding of expectations, 3) answer questions, 4) make mutually agreed upon adjustments in the work plan, 5) identify preferred method of communication (i.e. email, mail, etc.), and 6) review the initial Goals and Objectives set by the current plan. We will also tour Township facilities with staff.

During this time, we will also begin the parks and trails inventory mapping process by photographing and touring parks and recreation amenities. Additionally, during this step, we will begin building the Township’s demographic, socio-economic, and existing physical conditions analysis.



STEP 2. ROBUST, AUTHENTIC PUBLIC ENGAGEMENT

We understand that Cascade Township Staff have already completed several public engagement activities, such as an online survey and public open house. We have the knowledge, expertise, and experience to further develop public engagement activities as requested by the Township.

Additionally, as previously stated, we are already working on the Township's Strategic Plan. The Township's Parks and Recreation Plan can be easily and seamlessly added to the strategic planning process to ensure accuracy and consistency among all the Township's planning and priority documents.

However, if the Township wants to take public engagement to the "next level", we are also suggesting the following option:

OPTIONAL: "Cascade Township Field Day:" Cascade Township has heavily used and cherished park and recreation amenities. In communities with similar properties and usage, we have found that taking the public participation events "to the field" is an effective and engaging way to receive public input. Thus, we propose the option to add an "Cascade Township Field Day" event to be held at to-be-determined parks or other facilities in Cascade Township, at which we will survey and engage visitors.

This would be a "public meeting", but it would have more authenticity and resonance because we propose to take them to the people, rather than expecting the people to come to us.

The event will be publicized in advance and will have snacks and fun engagement activities that can be completed in as much or as little time as community members are able to give. Our team will assist the Township in devising the publicity methods and materials, scheduling the event, and other necessary elements to make it a sweeping success.



STEP 3. DETERMINE APPROPRIATE RECREATION INVESTMENTS

Our team will work closely with the Township to evaluate the range of desired recreational uses at each park. The results of the public input will be paramount in the decision-making process. Uses will be evaluated based on a series of criteria that will balance the desire for the facilities along with the feasibility of developing the facilities. Criteria will include the relationship with existing facilities, permitting requirements, the ability to finance and construct facilities, and other factors.

STEP 4. DRAFT FIVE-YEAR RECREATION MASTER PLAN

After comparing the goals and objectives to existing facilities and programs and identified needs, our team will then prepare the planning elements as follows:

Short-Range Action Plan and Capital Improvement Program (Years One to Five)

Our team will work with the Parks Committee and Township staff to develop a chronology of projects to be implemented over the next five years. The Short-Range Action Plan will include supporting justification and a five-year Capital Improvement Plan (CIP), which will describe and prioritize anticipated recreation developments through year five of the plan. The Action Plan will include (at a minimum) specific recommendations for changes to existing programs and facilities, any acquisition of new properties, protection of natural resources, expansion of trails/bike lanes/etc., and maintenance of all parks and recreation assets.

The CIP will be prepared as a separate section/chapter to be included in the final Parks and Recreation Master Plan. It will include and reflect the Township's current operating budget and recommendations for future budgets including identification of viable funding sources and contacts. The CIP will be portrayed in table form and will include the following information, at a minimum and as necessary:

- Project description.
- Project location.
- Budget with cost estimates and method of funding.
- Year(s) to be implemented.
- Identify partnerships within Township departments that will lead to improved efficiency in delivery of recreational services.
- Any recommendations for improving the visual appearance of all recreation facilities and parks.
- Maintenance plans, including opportunities for partnership on maintenance.
- Any program considerations.



Map Inventory of Existing Park, Recreation, and Open Space Land

The Parks and Recreation Master Plan will include a mapped inventory of all existing parks and trails facilities. These maps will show all of the Township's parks and recreation facilities, as well as public land designated for long-term preservation, as applicable. The Township can use these maps and the accompanying database for operations and administrative and planning purposes. Included will be a recommended timeline and suggestions for the continued modernization and maintenance of facilities over the next five years, as part of the Action Plan.

OPTIONAL: Park Design Concept Plans

For a per-park fee, our team can create concept plans of the Township's park facilities, showing proposed upgrades in a visual and easy-to-understand format.

The graphics can also show effective ways to connect the assets to other Township facilities, improvements or modifications to existing park and recreation amenities within the parks, and other important spatial elements, to be determined.

The concept plans could also be expanded to include the surrounding areas, especially parks where connections to nearby areas are very important, like Leslie Tassell Park.

STEP 5. PUBLIC REVIEW AND ADOPTION

First, we will present the Draft Parks and Recreation Master Plan to Parks Committee for input. We will then make revisions as requested and then return to the Board with a draft ready for distribution and eventual adoption.

A. Present Draft Master Plan to Township Board.

Our team will present the draft Parks and Recreation Master Plan to the Township Board for input and recommendation to distribute.

B. Required Distribution and 30-Day Public Review Period.

Our team will finalize the draft plan to be made available to the public for the required MDNR 30-day review period. We recommend that copies be made available at Township offices, libraries, recreation facilities, and other community facilities - and on the Township's website.

C. Public Hearing and Adoption Meeting with Township Board.

Our team will transmit the final Parks and Recreation Master Plan, based on input received during the 30-day comment period, prior to the Public Hearing of the Township Board. We will present the plan during the required Public Hearing at the Township Board meeting and assist with adoption. This meeting will take place around June 2022, as noted in the RFP.

D. Prepare and Submit Final Master Plan.

The Final Plan will be prepared as a written report covering the process from goal development through implementation recommendations. The report will include text and high-quality graphics, maps, charts, and tables explaining planning work. All detailed background material will be included in the appendix.

Our team will work with Township staff to prepare the final plan to meet all required elements of the MDNR, including the completed checklist, to be submitted to the MDNR by the Township.

Proposed Schedule

We propose to complete the Parks and Recreation Master Plan process by July 29, 2022, in time to submit the plan to MDNR prior to the February 1, 2023 deadline. Please note that to meet these deadlines, the Parks Committee may need to meet several times throughout the process.

WORK TASK	MONTH						
	Jan	Feb	Mar	Apr	May	Jun	Jul
Project Initiation	PC						
Existing Conditions & Public Engagement Analysis							
Optional Field Day			FD				
Goals and Objectives			PC				
Action Plan				PC			
Mapping							
Optional Concept Plans							
Full Draft Review and Revisions				PC			
Comment Period, Public Hearing, and Adoption						TB	TB

PC = Parks Committee

FD = Field Day (optional)

TB = Township Board Meeting

Proposed Fee

McKenna will prepare the Cascade Township Parks and Recreation Plan as detailed in the Request for Proposals for the following lump sum amounts:

Additional meetings and/or projects tasks requested by the Township in writing will be invoiced per McKenna's professional fee schedule for hourly rated services.

Please note that we are happy to adjust our scope and/or approach, and corresponding budget amount, to best meet your needs.

Work Products	Proposed Fee
Project Initiation and Inventory Analysis	\$3,500
Determine Appropriate Recreation Investments	\$1,000
Draft Plan	\$7,500
Review and Adoption	\$3,000
Base Fee	\$15,000
<i>Optional Field Day Public Engagement</i>	<i>\$3,000</i>
<i>Optional Park Concept Plans</i>	<i>\$3,000 per park</i>



CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)
12/03/2020

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER MCNISH GROUP INC 35355490 26622 WOODWARD AVE SUITE 200 ROYAL OAK MI 48067	CONTACT NAME:		
	PHONE (248) 544-4800 (A/C, No, Ext):	FAX (248) 544-4801 (A/C, No):	
	E-MAIL ADDRESS:		
	INSURER(S) AFFORDING COVERAGE		
INSURED MCKENNA ASSOCIATES, INC. 235 E MAIN ST NORTHVILLE MI 48167	INSURER A : Hartford Casualty Insurance Company		29424
	INSURER B : Hartford Fire Insurance Company		19682
	INSURER C :		
	INSURER D :		
	INSURER E :		
	INSURER F :		

COVERAGES**CERTIFICATE NUMBER:****REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE		ADDL INSR	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/Y YYY)	LIMITS	
A	<input checked="" type="checkbox"/>	COMMERCIAL GENERAL LIABILITY	X		35 SBA RU2022	01/01/2021	01/01/2022	EACH OCCURRENCE	\$2,000,000
		<input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR						DAMAGE TO RENTED PREMISES (Ea occurrence)	\$300,000
		General Liability						MED EXP (Any one person)	\$10,000
		GEN'L AGGREGATE LIMIT APPLIES PER:						PERSONAL & ADV INJURY	\$2,000,000
	<input type="checkbox"/> POLICY <input checked="" type="checkbox"/> PROJECT <input type="checkbox"/> LOC							GENERAL AGGREGATE	\$4,000,000
	OTHER:							PRODUCTS - COMP/OP AGG	\$4,000,000
A	<input checked="" type="checkbox"/>	AUTOMOBILE LIABILITY			35 SBA RU2022	01/01/2021	01/01/2022	COMBINED SINGLE LIMIT (Ea accident)	\$2,000,000
		ANY AUTO						BODILY INJURY (Per person)	
		ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRING AUTOS <input checked="" type="checkbox"/> NON-OWNED AUTOS <input checked="" type="checkbox"/>						BODILY INJURY (Per accident)	
								PROPERTY DAMAGE (Per accident)	
A	<input checked="" type="checkbox"/>	UMBRELLA LIAB EXCESS LIAB	<input checked="" type="checkbox"/>		35 SBA RU2022	01/01/2021	01/01/2022	EACH OCCURRENCE	\$1,000,000
		DED <input checked="" type="checkbox"/> RETENTION \$ 10,000						AGGREGATE	\$1,000,000
B	<input type="checkbox"/>	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY	Y/N	N/A	35 WEC PN2013	01/01/2021	01/01/2022	<input checked="" type="checkbox"/> PER STATUTE <input type="checkbox"/> OTHER	
		ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH)						E.L. EACH ACCIDENT	\$1,000,000
		If yes, describe under DESCRIPTION OF OPERATIONS below						E.L. DISEASE -EA EMPLOYEE	\$1,000,000
								E.L. DISEASE - POLICY LIMIT	\$1,000,000
A	<input checked="" type="checkbox"/>	EMPLOYMENT PRACTICES LIABILITY			35 SBA RU2022	01/01/2021	01/01/2022	Each Claim Limit	\$5,000
								Aggregate Limit	\$5,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

Those usual to the Insured's Operations.

CERTIFICATE HOLDER**CANCELLATION**

FOR INFORMATIONAL PURPOSES ONLY	SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.
	AUTHORIZED REPRESENTATIVE <i>Susan L. Castaneda</i>

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CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)

10/12/2021

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an **ADDITIONAL INSURED**, the policy(ies) must be endorsed. If **SUBROGATION IS WAIVED**, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER Professional Concepts Insurance Agency, Inc. 1127 South Old US Highway 23 Brighton MI 48114-9861	CONTACT NAME: Kathryn Lance PHONE (A/C No. Ext): (800)969-4041 E-MAIL ADDRESS: klance@pciaonline.com	FAX (A/C No): (800)969-4081
	INSURER(S) AFFORDING COVERAGE	
	INSURER A: XL Specialty Ins. Co.	NAIC # 37885
INSURED McKenna Associates, Inc 235 East Main Street Suite 105 Northville MI 48167	INSURER B :	
	INSURER C :	
	INSURER D :	
	INSURER E :	
	INSURER F :	

COVERAGES

CERTIFICATE NUMBER: 21-22 PL


REVISION NUMBER:

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS	
	COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC OTHER:						EACH OCCURRENCE	\$
							DAMAGE TO RENTED PREMISES (Ea occurrence)	\$
							MED EXP (Any one person)	\$
							PERSONAL & ADV INJURY	\$
							GENERAL AGGREGATE	\$
							PRODUCTS - COMP/OP AGG	\$
								\$
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> NON-OWNED AUTOS						COMBINED SINGLE LIMIT (Ea accident)	\$
							BODILY INJURY (Per person)	\$
							BODILY INJURY (Per accident)	\$
							PROPERTY DAMAGE (Per accident)	\$
								\$
	UMBRELLA LIAB <input type="checkbox"/> EXCESS LIAB <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS-MADE DED RETENTION \$						EACH OCCURRENCE	\$
							AGGREGATE	\$
								\$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	Y/N	N/A				PER STATUTE	OTH-ER
							E.L. EACH ACCIDENT	\$
							E.L. DISEASE - EA EMPLOYEE	\$
							E.L. DISEASE - POLICY LIMIT	\$
A	Professional Liability			DPR9984321	10/1/2021	10/1/2022	Each Claim	\$ 1,000,000
							Aggregate	\$ 2,000,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

CERTIFICATE HOLDER**CANCELLATION**

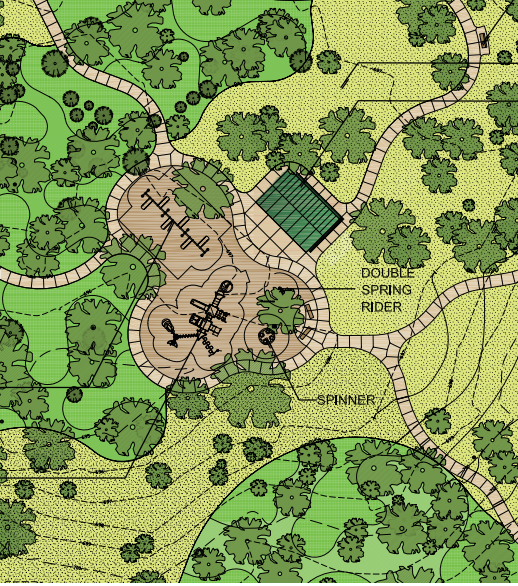
FOR INFORMATIONAL PURPOSES ONLY	SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.
	AUTHORIZED REPRESENTATIVE Mike Cosgrove/SUNNY 

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**WHITE PINE TRAIL
COMSTOCK PARK**



**MASTER PLAN
CITY OF WYOMING**



**COLLINS PARK
EAST GRAND RAPIDS**



**VETERANS PARK
CITY OF KENTWOOD**



**ORIOLE PARK
CITY OF WYOMING**



CONSULTING SERVICES PROPOSAL FOR:
**TOWNSHIP PARKS, RECREATION
& OPEN SPACE PLAN**

CASCADE CHARTER TOWNSHIP

Contact:
Tiffany Smith
Phone: 616-451-3346
Email: tas@mcsagroup.com





Letter of Interest

CASCADE CHARTER TOWNSHIP

Parks, Recreation and Open Space Plan

November 17, 2021

Mr. Brian Hillbrands, Township Planner
Cascade Charter Township
5920 Tahoe Dr SE
Grand Rapids, MI 49546

Dear Mr. Hillbrands,

MCSA Group, Inc. is pleased to provide Cascade Township with our proposal for professional Consulting Services to Develop the Parks, Recreation and Open Space Plan.

In our proposal we have illustrated our extensive experience with 5 Year Recreation Plans.

In the last two years we have completed (5) Five Year Recreation plans for communities of varying types and sizes. They include the City of East Grand Rapids (2020, Population 11,559), Holland Charter Township (2021, Population 38,360), the City of Coopersville (2021, Population 4,396), Lowell Charter Township (2021, Population 6,702), and the City of Kentwood (2021 Population 51,693). We are currently working on the 5 Year Recreation Plans for the City of Zeeland (2022, Population 5,572), the Village of Lake Isabella (2022, Population 2063), Brownstown Township (2022, Population 31,910), the City of Muskegon (2022, Population 37,633) and Ada Township (2022 and 14,717).

We have a good understanding of local communities around Cascade Township including Ada Township, East Grand Rapids, City of Kentwood, and Lowell Township.

Our offices are located 4.5 Miles from the Township limits.

We would welcome the opportunity to assist Cascade Township on this project with the same high level of professional services we have provided numerous communities throughout Michigan.

If you have any questions, or if we can provide any clarifications, please feel free to contact us at any time.

Sincerely,

Tiffany A. Smith
President

MCSA Group, Inc.
A Certified Woman Owned Business





Master Plan

CASCADE CHARTER TOWNSHIP

Parks, Recreation and Open Space Plan

FIRM PROFILE AND DESIGN PHILOSOPHY

M. C. Smith & Associates, Inc. was formed in March 1977 by Michael C. Smith. The firm provides award winning Landscape Architectural and Architectural services. Principals include Kathleen G. Waters, RA; Jolanta Stecka, RA; Melinda R. Whitten, RLA; and Tiffany A. Smith, RLA. Michael C. Smith is the firm's Creative Director. On March 15, 2017, MCSA Group, Inc. (M.C. Smith Associates and Architectural Group, Inc.) turned 40 and became a Woman-Owned Business.

The firm's office is located in East Grand Rapids, Michigan. MCSA Group, Inc. provides Architectural and Landscape Architectural services for the following types of projects: Public Housing; Federal, State and Municipal Government; Park and Recreation Architecture; Sports Facilities; Historical Rehabilitation; Private and Commercial Buildings; Streetscapes and Plazas; Community and Neighborhood Parks; Waterfront Parks; Sports and Athletic Facilities; Boardwalks, Decks and Bridges; Trails and Linear Parks; Playgrounds; Site and Street Lighting; Signage Design; Site Planning; Community Recreation Plans; Grant Applications and Facility Assessments.

In addition to our professional staff of Architects and Landscape Architects, MCSA Group, Inc. has excellent consultants for specialized portions of specific projects. These consultants extend our team capabilities by providing such disciplines as: surveying, soils analysis, structural engineering, mechanical and electrical engineering, and traffic engineering.

By offering a full range of professional services through the entire planning, design, engineering, and development process, MCSA Group provides each client with comprehensive services. Our diversity ensures a responsiveness to the wide range of issues and concerns facing each client. Our experience enables us to develop solutions that are creative, yet sensitive to each project's specific goals and objectives.

Our professional services are based upon the principle that if a project cannot be appropriately implemented within mutually agreed upon budget parameters, then we have not succeeded. This follows that we do not believe that design principles, as well as sound engineering, need be compromised in any manner. We have demonstrated that outstanding award-winning projects can be achieved without needing to be designed beyond budget limitations.

Our construction documents for every project are complete and comprehensive, detailing all components and systems of the construction. Our plans provide contractors a solid base for bidding, resulting in excellent bids. Construction based upon our plans is completed with minimal change orders and in accordance with the established schedule. We provide complete construction administration for all projects.

Parks, Recreation and Open Space Plan

We practice a high level of sustainable design and believe that both facility development and environmental conservation and preservation can be structured side-by-side and if properly designed and implemented will enhance each other.

Our clients, as end users, are most often members of the public. The public facilities and spaces that we design optimize individual and collective experiences, providing positive and enjoyable outcomes for all users. We strive to optimize designs that are easily maintained, have long life cycles, and do not overly tax Owner's budgets for maintenance, management or support.

PROJECT TEAM

MCSA Group, Inc. has a team of highly qualified professionals who, by combining their individual talents, will create a new 5 year Parks and Recreation Plan for Cascade Township of the highest quality and appropriateness. By providing services as a carefully coordinated team of diversely specialized professionals, we are able to bring the broadest perspective to the project while maintaining the highest degree of understanding of the community's needs. We utilize effective project organization, direct client involvement, careful evaluations, and creativity for every aspect of every project.

The capability of MCSA Group, Inc. to produce recreation plans that can effectively be used as a resource for the community and as a basis for grant applications is evidenced by our experience with numerous recreation plans and the success of our grant applications. The majority of our Recreation Plan clients are repeat clients, illustrating the quality of our work.

MCSA Group, Inc.'s current staff includes four Graduate Landscape Architects and three Architects. For each project, many staff members are involved in some manner since we continually strive to work as a team providing all our clients with the diversity of our talents.

Our team for the Cascade Township Parks, Recreation and Open Space Plan includes: Tiffany Smith, President of MCSA Group, Inc. as the Project Director. Tiffany has a wide range of experience in Park and Recreation Planning, creative report writing and grant writing and has been with MCSA Group for 18 years.

Assisting Ms. Smith with primary project management responsibilities will be Melinda Whitten, Principal and Landscape Architect. Melinda will assist Tiffany with the project planning. Melinda has a wide range of experience in Park and Recreation Planning, and is a Principal at MCSA Group, Inc. Emaley Brusveen, Staff Landscape Architect, will assist on all aspects of this project. Julie Estes, Executive Assistant, will also be assisting with clerical and reporting.



Tiffany Smith
Project Director
Park and Recreation Planning



Melinda Whitten
Project Manager
Park and Recreation Planning



Emaley Brusveen
Park and Recreation Planning



RECREATION MASTER PLAN EXPERIENCE



MCSA Group, Inc. provides a comprehensive range of park and recreation services. Currently, with our staff of 11, including landscape architecture and architecture and park & recreation planning specialists, we are involved in the planning, design and development of numerous park and recreation projects totaling millions of dollars in development costs. We have assisted communities with over 100 Park Grant Projects. The majority of these projects are funded by the various Michigan Department of Natural Resources Funding Programs. For most of these projects we prepared the Five-Year Parks and Recreation Plan and assisted with the applications for the funding grants. Among our numerous community park and recreation plans, the following offer a representative listing of successful plans. Most of these plans have resulted in the acquisition of grants for these communities.

Byron Township, Michigan (2012, 2019)

City of East Grand Rapids, Michigan (1992, 1997, 2002, 2012, 2020)

Georgetown Charter Township, Michigan (2010, 2015)

Heath Township (2013, 2019)

Holland Charter Township, Michigan (1983, 1989, 1996, 2003, 2008, 2013, 2021)

City of Kalamazoo, Michigan (2008, 2013)

Park Township, Michigan (2005, 2014)

Zeeland Area Recreation, Michigan (2008, 2014, 2022)

REFERENCES

Ada Township

Mark Fitzpatrick
City Manager
(616) 457-2340

City of Zeeland

Kevin Plockmeyer
Assistant City Manager
(616) 772-0871

City of Kentwood

Val Romeo
Parks and Recreation Director
(616) 656-5275

Holland Charter Township

Steve Bulthuis
City Manager
(616) 396-2345

See attached **Community Parks and Recreation Plans** brochure.

PROJECT WORK PLAN AND SCOPE OF SERVICES

Statement of Understanding

M. C. Smith Associates and Architectural Group, Inc. will work closely with the Cascade Township staff members and representatives to produce and update their Parks, Recreation and Open Space Plan. The plan will re-evaluate, assess and make recommendations regarding parks, recreation, non-motorized trails, and open space needs for the Township. Within our Work Plan, we will conduct a Public Workshop session to review the planning process with all interested community members and solicit their opinions and suggestions on the goals, objectives, and future direction for the park system for the Township.

We will review results of the open house and online survey performed by the Township from August 31, 2021 to October 19, 2021.

The updated plan will be prepared in conformance with the guidelines for the Development of Community Park, Recreation, Open Space and Greenway Plans, as provided by the Michigan Department of Natural Resources Grants Management (Revised 4/26/2021). The plan will be complete, comprehensive, and suitable for use for future grant applications, as well as a working tool for the Township of Cascade Recreation Staff.

Copies of the draft and final plan will be provided for distribution to Township staff and elected officials and for submission to the DNR, County and Regional planning entities. Our proposal includes providing five (5) copies of the final plan to the Township.

The following is an outline of the individual tasks involved in preparing the plan. We would expect to meet with Township staff and representatives at regular intervals during the time that we would allocate for the preparation of this plan.

Scope of Services

Task I: PROGRAM REVIEW AND DEVELOPMENT

1. Meet with Planner, Community Development Assistant, Township Manager, Township staff, and Parks Committee to obtain a thorough understanding of the existing recreation and park system and expectations for the planning process.
2. Review existing Recreation and Parks Master Plan in relation to new DNR guidelines and accomplishments achieved in the previous 5 Year planning period.
3. Develop a detailed schedule for planning and public meetings and final plan adoption.

Task II: INVENTORY AND ANALYSIS

1. Review Public Input documentation and results.
2. Prepare CAD-mapping of the inventory of existing public park, recreation and open space land in the Township, based on information provided by the Township.
3. Create the map showing the location of the existing recreational facilities within the Township and a matrix summarizing the facilities provided in each location.
4. Evaluate and identify future park properties or areas within the Township where additional property should be considered for future park development, non-motorized trails, and open spaces.

Parks, Recreation and Open Space Plan

Task III: NEEDS AND DEFICIENCIES

1. Compare current existing facilities and program opportunities with the current and future needs of the community based on demographic characteristics, and geographic distribution.
2. Identify deficiencies in park and recreation system, including accessibility issues.

Task IV: PUBLIC INPUT AND PLANNING PROCESS

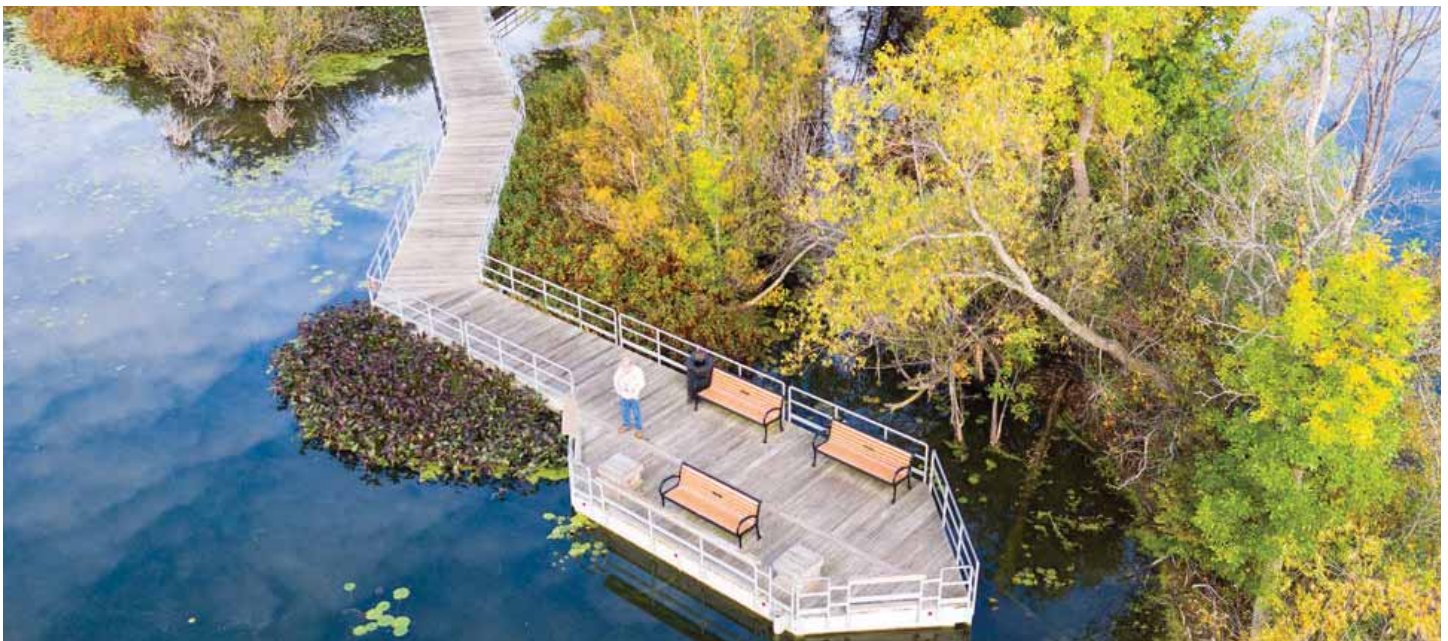
3. Review and collect all notices, photographs and results of the public input performed by the Township from August 31, 2021 to October 19, 2021.
4. Provide copies of the Draft Plan for public review and comment. Assist with effective advertising of the plan availability. Receive and review any public, Township representative, and Township staff comments and make any changes to the final plan as deemed appropriate.

Task V: GOALS, OBJECTIVES AND ACTION ITEMS

1. Analyze the data collected in Tasks I through IV to identify the improvements needed in the park and recreation system, respond to deficiencies in the system, and meet the community's needs considering current and emerging trends.
2. Develop a series of long range, broad goals (ten years or longer) for the future planning of the Parks, Recreation and Open Space system within the Township.
3. Develop specific short-range objectives for achieving these goals within the next five years.
4. Develop a strategy to work towards achieving the stated goals and objectives over the next five years. Review the existing Capital Improvement Schedule and update with completed and add proposed projects identified by year with list of improvements and order of magnitude cost projections for each project including development and acquisition. Consider potential funding sources and develop a strategy for making use of available grant funding opportunities.

This scope assumes that the Township will complete the following:

1. Status reports for all grant-assisted parks and recreation facilities as required by the Michigan DNR.
2. Post-completion self-certified reports for existing grant-funded facilities.
3. Preparation, posting and publication of required public notices for draft plan availability and public hearing.



4. Preparation of Township Board resolution of plan adoption.
5. Transmittal letter and mailing of plan document to regional planning agencies.
6. Submittal of plan to Michigan DNR as required for grant eligibility.

PROJECT SCHEDULE

START-UP MEETING: Background Information Required from Twp.; Project Schedule and Meetings; Current Recreation Facilities Inventory; Review of previous Parks and Recreation Plan	January/February 2022
SITE INVENTORY COMPLETE: Site review and Township analysis	Weather Permitting
PROGRESS MEETING: Recreation/ Inventory; Needs and Deficiencies	March April 2022
PUBLIC INPUT MEETING:	May/June 2022
PROGRESS MEETING: Goals and Objectives; Action Program; Capital Improvement Schedule; Draft Plan	July/August 2022
PUBLIC REVIEW: Draft of Final Plan available for 30-day Public Review as required by the DNR	August 11, 2022- July 11, 2022
PUBLIC HEARING: Public Hearing & Adoption of Plan by Township Board	July 20, 2022
PLAN COMPLETION AND DNR SUBMITTAL:	July 29, 2022

Parks, Recreation and Open Space Plan

PROFESSIONAL FEES

In accordance with our Work Plan and Scope of Services, we would propose to assist Cascade Township with updating the existing Parks, Recreation & Open Space Plan for a professional fee not to exceed \$19,900.

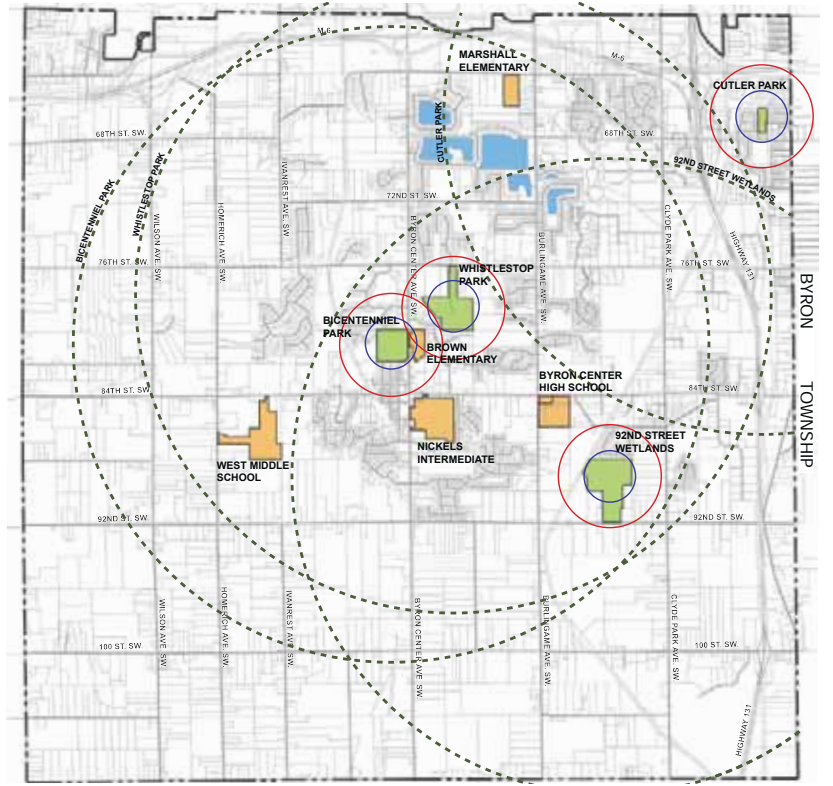
A summary of our hourly breakdown and professional fees is as follows:

	Principal Landscape Architects	Staff Landscape Architects	Executive Assistant
PROGRAM REVIEW AND DEVELOPMENT	10 HOURS	10 HOURS	6 HOURS
INVENTORY AND ANALYSIS	30 HOURS	15 HOURS	6 HOURS
NEEDS AND DEFICIENCIES	20 HOURS	10 HOURS	6 HOURS
GOALS AND OBJECTIVES AND ACTION ITEMS	20 HOURS	5 HOURS	6 HOURS
PRINCIPAL LANDSCAPE ARCHITECTS	80 HOURS @ \$145 PER HOUR = \$ 11,600.00		
STAFF LANDSCAPE ARCHITECTS	40 HOURS @ \$90 PER HOUR = \$ 5,400.00		
EXECUTIVE ASSISTANT	24 HOURS @ \$60 PER HOUR = \$ 1,440.00		
REIMBURSABLE EXPENSES	\$ 1,450.00		
(INCLUDES ALL PRINTING, COPYING AND 5 PRINTED/ BOUND COPIES OF THE ADOPTED PLAN)			





Maplewood Park Improvements, Georgetown Township
MNRTF Development Grant Recipient



Park Vicinity Map and Services Areas
Byron Township Parks and Recreation Master Plan 2018



COMMUNITY PARKS AND RECREATION PLANS



Quincy Park Playground, Holland Charter Township
MNRTF Development Grant Recipient



Paw Paw River County Park, Berrien County
MNRTF Development Grant Recipient

**MCSA GROUP PROVIDED
COMPREHENSIVE
PROFESSIONAL ASSISTANCE
WITH THE FOLLOWING MNRTF
DEVELOPMENT GRANT
PROJECTS**

Allegan County

Bysterveld Park
New Richmond Bridge
West Side Park Improvements

Berrien County

Galen River County Park
Paw Paw River County Park
Rocky Gap Park
Silver Beach

Cass County

Dodd Park Water Trail

City of East Lansing

White Park Trail Improvements

City of East Grand Rapids

Reeds Lake Waterfront Park

City of Hastings

Riverwalk Development

City of Holland

DeGraaf Nature Center
Hienz Waterfront Walkway
Kollen Park
Smallenburg Park

City of Wyoming

Oriole Park

City of Zeeland

Splashpad Improvements

Georgetown Charter Township

Maplewood Park

Holland Charter Township

H.B. Dunton Park
Helder Park
Quincy Park

Ingham County

McNamara Landing

Park Township

Keppel Forest Trail Improvements

Port Sheldon Township

Windsnest Park
Kouw Park

Mason County

Campground Entry

COMMUNITY PARKS AND RECREATION PLAN EXPERIENCE

MCSA Group, Inc. has produced numerous Community Park and Recreation Plans throughout the State of Michigan over the past 30 years. Many of our clients are repeat customers and most of these plans have resulted in the award of numerous grants for land acquisition or site development.

These plans follow the Michigan Department of Natural Trust Fund Guideline for Community Park, Recreation, Open Space and Greenway Plans. The plans generally include a thorough inventory of parks, open spaces and natural resources, a community profile, needs and deficiencies analysis, goals and objectives, and an action program for achieving these goals and objectives. Plans include significant Community participation and input, such as public meetings, workshops and resident user surveys. MCSA Group, Inc. facilitates these public meetings and evaluates the comments and results of surveys to ensure the plan is responsive to the Communities needs.

These plans culminate in a itemized Capital Improvement Schedule that guides Community Development for the next 5 years and beyond.



CAPITAL IMPROVEMENT SCHEDULE

The following projects have been identified for improvements and will occur as funds are identified and ARE listed in order of priority.

Project	City	Other Funds*	Total Project Costs
<u>Remington/Hodenpvl Trail Improvements</u> Up-grade trails to provide barrier-free access with wetland and lakefront overlooks and a connection to Waterfront Park	\$200,000	\$150,000	\$350,000
<u>Steketee Woods</u> Provide accessible trail linking to Reeds Lake Trail, including a hilltop terrace, lake viewing area and boardwalk ramp/stairs	\$260,000	\$300,000	\$560,000
<u>Schroeder Property</u> Provide a trail through park to lakefront with viewing decks.	\$150,000	\$150,000	\$300,000
<u>Hodenpvl South Trail</u> Provide barrier-free trail south of Reeds Lake Boulevard with lake overlook decks.	\$75,000	\$75,000	\$150,000
<u>Property Acquisition</u> Acquisition of additional park property as it becomes available	TBD	TBD	TBD

*Other funds include Michigan Natural Resources Trust Fund (MNRTF), Passport to Recreation; Michigan Land and Water Conservation Fund; other State or Federal funding sources; Foundation Grants; Private Contributions; WMMBA; School District; and others. Maximum available funds from MNRTF currently \$300,000 per project

	ACRES	Active Recreation										Amenities						Trails/Natural			Other	
		Playground	Baseball Fields	Softball Fields	Soccer	Football	Volleyball	Basketball	Tennis Court	Lacross Field	Open Play Field	Parking	Restroom	Concession Building	Picnic Shelter	Picnic Tables	Benches	Grills	Natural Area	Natural Trail	Paved Walking/ Multi-Purpose Trail	
CITY PARKS																						
Mary Triangle	1.0															2				X	Undeveloped Open Space	
Schroeder Property	1.5																			X		
San Lu Rae Triangle	1.6								1							4						
John Collins Park	2.7										1				8	34				X	Fishing/launch ramp	
Griffiths Park	3.5																	X		X	Undeveloped	
Beechwood	4.7																	X			Undeveloped	
Waterfront Park	17.3									1					2	14				X	Lakefront Boardwalks and Fishing	
Steketee Woods	9.0																	X			Undeveloped/Lakefront	
Remington Park	16.0		1							1	1	1			1	3		X	X			
Manhattan Recreation Area	46.3	1	1	2	3		4		2*	3	3	2	1	1	1	14	4	2	X	X	X	Sledding Hill
Hodenpyl Woods	43.9																	X	X			Lakefront
PUBLIC SCHOOLS																						
Lakeside Elementary	3.1	2		2				1	2*			2										
Breton Downs Elementary	5.1	2		2	1			1	2*			2										
Wealthy Elementary	4.7	2		1		1		1	2*			2		1								
Middle School	6.4				1				3	1		2	1	1								
High School	7.9					1				1		3	2	1			8					Stadium with Track
Woodcliff (Canepa)	4.5	2			2				8		1	2	1	1	1	2	12					
Total	179.2	9	2	7	7	2	4	3	19	5	5	17	7	5	3	27	81	2				*Striped for Pickleball

Recreation Facility Matrix
East Grand Rapids



Manhattan Park Master Plan
East Grand Rapids



Collins Park Inventory
East Grand Rapids



Reeds Lake Waterfront Park
MNRTF Development Grant Recipient

EAST GRAND RAPIDS COMMUNITY PARKS AND RECREATION PLAN

MCSA Group, Inc. has provided comprehensive park and recreation planning services to the City of East Grand Rapids for over twenty years and has completed their last five plans. The 2020 Community Parks and Recreation Plan incorporated graphic designs and cost estimates for many of the City's Parks.

Extensive public input was sought for the development of these plans, including five public meetings. These meetings were well attended and public comments and suggestions were incorporated into the final plan.

In addition, an online survey was compiled using Survey Monkey. Written surveys were also distributed at the Recreation Center, Library and City Hall. 536 households completed the survey.



Burton Park Trail, Photo RJM Design

RESPONSE TO CASCADE CHARTER TOWNSHIP REQUEST FOR PROPOSALS

5-YEAR PARKS, RECREATION AND OPEN SPACE PLAN

NOVEMBER 23, 2021

Submitted By:
RJM Design, Inc.
1971 East Beltline Avenue NE, Suite 217
Grand Rapids, MI 49525

November 23, 2021

Brian Hilbrands, Township Planner
5920 Tahoe Dr. SE
Grand Rapids, MI 49546
Phone: 616-949-1500

RE: CASCADE CHARTER TOWNSHIP REQUEST FOR PROPOSALS Five-Year Parks, Recreation and Open Space Plan

Dear Mr. Hilbrands:

RJM Design is pleased to submit the following proposal to assist Cascade Charter Township with updating its Five-Year Parks, Recreation and Open Space Plan.

Executive Summary

For this project, RJM Design offers Cascade Charter Township depth of experience, local roots, and creativity. RJM Design has assisted numerous West Michigan municipalities with planning through implementation of recreation facilities over the last 24 years. From this experience, we understand what is required to undertake these efforts in a timely, cost-effective, public-supported manner. We understand the crucial role the Five-Year Plan plays in the identification and prioritization of projects to meet the community's recreation needs. We understand the importance the Five-Year Plan plays in establishing the Township's eligibility for Michigan Department of Natural Resources grants which provide a valuable funding opportunity. Most recently, we assisted Ada Township in the development of their 2018 Recreation Needs Assessment and the subsequent development of a 2020 Master Plan and 2021 Grant Proposal for Leonard Field Park.

The last year and a half, during COVID, has highlighted the need for a multi-faceted outreach effort including: targeted online surveys, in-person surveys at scheduled outdoor events, and phone conversations with key stakeholders. COVID poses restrictions for large in-person gatherings but opens the opportunity for more nuanced one-on-one approaches.

Located in Grand Rapids, we are responsive and readily available. We have an understanding of the Township through our planning and design efforts and our personal use of the Township's recreation facilities. Our Recreation Assessment for Ada Township included a review and analysis of Cascade Township's recreation amenities. Recently RJM Design provided design and Township Board approval assistance for a private project along 28th Street in the Township.

We are excited to work with the Township to develop a thorough, timely, and community-supported review and update of the Township's Recreation Plan. Thank you for the opportunity to assist in fostering and preserving the Township's valuable parks and open space!

Sincerely,

R. James Morgan, PLA, ASLA
President

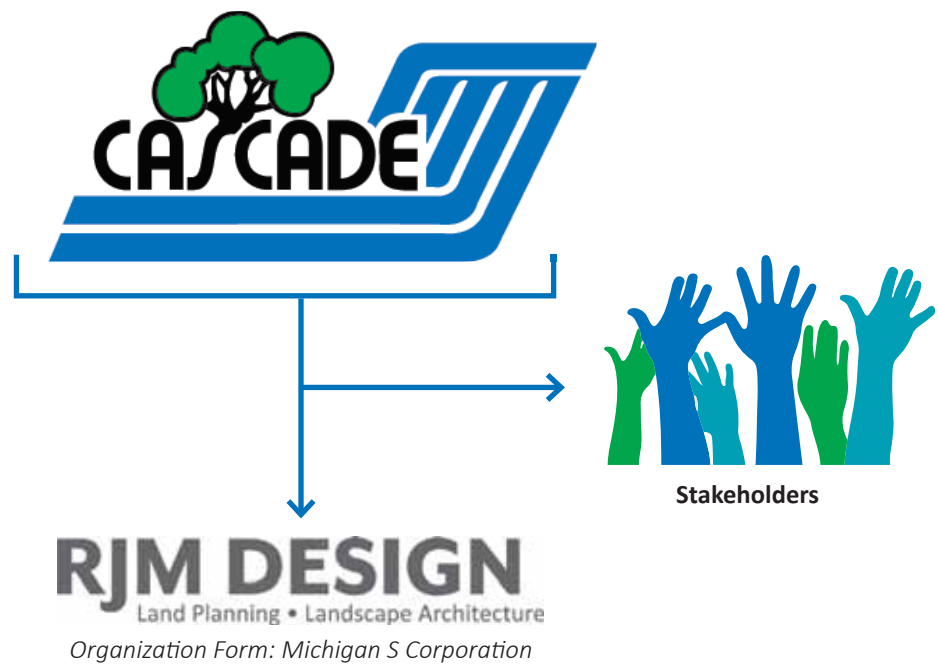
Katy C. Hallgren, PLA, ASLA
Vice President

01 FIRM OVERVIEW & ORGANIZATION CHART

RJM Design is an established West Michigan design firm providing landscape architectural services for a wide range of public and private projects. We are a group of highly skilled professionals with unique backgrounds and experiences that we bring to every project.

RJM Design’s effort will be lead by Katy Hallgren as project manager who will be responsible for overall project completion. Jim Morgan will provide high-level review drawing on his 30+ years working with West Michigan communities. Paula Lawrence will provide vital support carrying out a variety of tasks. Qualifications for each team member are further detailed in individual resumes on the following pages.

The organizational chart below outlines the reporting structure within the team and with the Township.



R. James Morgan, PLA, ASLA
President
Role: Principal



Katy Hallgren, PLA, ASLA
Vice President
Role: Project Manager



Paula Lawrence, PLA, ASLA
Landscape Architect
Role: Designer



R. JAMES MORGAN PLA, ASLA

PRESIDENT

BACKGROUND

Jim is the founder and president of RJM Design. He is a Licensed Landscape Architect responsible for master plan development, project management, and general project oversight. As a designer and problem-solver, Jim has provided leadership for many design teams and demonstrated the ability to understand the client's vision and project goals. This understanding of teamwork and vision, combined with his creative skills, has allowed Jim to guide many projects through the various and often-complex stages of design. During the course of his career, he has designed many project types including community parks, college and high school campus master plans, waterfront developments, athletic facilities, commercial centers, residential communities and corporate centers. His goal on every project he undertakes is to work as an integral part of the design team to ensure that the site and the built environment function as a single harmonious unit.

EDUCATION

EDUCATION

Bachelor of Landscape Architecture,
Michigan State University, 1983

Associate in Science,
Grand Rapids Community College, 1979

PROFESSIONAL HISTORY

38 years Experience
RJM Design Inc., 1997 to date
Design Plus Inc., 1985 to 1997
M.C. Smith & Associates Inc., 1983 to 1985

SPECIAL EXPERTISE

Master Land-Use Planning
Parks and Recreation Design
Waterfront Development Design
Residential Master Plans

REGISTRATIONS & AFFILIATIONS

Licensed Landscape Architect # 1024,
State of Michigan

American Society of Landscape Architects,
Member

ASLA Parks & Recreation Committee,
Member

Michigan Chapter of the ASLA, Member

EXPERIENCE

- St. Johns 2016-2020 Recreation Master Plan, MI
- Ada Township Recreation Assessment, MI
- Leonard Field Ball Park Lighting, Ada Township, MI
- Steele Park, Ionia, MI
- Covell Dog Park, Grand Rapids, MI
- Eastern Park, Grand Rapids, MI
- Pleasant Park, Grand Rapids, MI
- Richmond Park, Grand Rapids, MI
- Leonard Field Park Master Plan, Ada Township MI
- Trailhead Park, Ionia, MI
- Connor Bayou Park Master Plan
- Harper Park, Ionia, Michigan
- Perry Park, Ionia, Michigan
- Robinson Park, Ionia, Michigan
- Whistlestop Park, Byron Township, MI
- Eighth Avenue Park, Georgetown Township
- Spring Grove Park, Jamestown Township, MI
- Allendale Community Park, Allendale Charter Township, MI
- Camp Lake Louise Master Plan
- Wedgwood Christian Services Master Plan, Grand Rapids, MI
- Metro Health Granger Village Green Master Plan, Wyoming, MI
- Cadillac Veteran's Park Master Plan



KATY HALLGREN PLA, ASLA

VICE PRESIDENT

BACKGROUND

As Vice President, Katy utilizes her sixteen years of design experience in landscape architecture, planning, and urban design projects to develop unique solutions that capitalize on a site's features and context. Katy's project portfolio spans a wide range of scale and scope both domestic and international. She strives to understand each client's needs and what is required to help them realize their vision.

Katy holds a Bachelor of Landscape Architecture from Oklahoma State University and is a Licensed Landscape Architect in the State of California. During the first part of her career, Katy worked at EDSA Inc., in their Santa Monica, Baltimore, Shanghai, and Fort Lauderdale offices. Katy is motivated by a desire to continually explore and learn, to gain new inspiration, and to ensure that she is well-equipped to provide the best design possible.

Oklahoma State University, Bachelor of Landscape Architecture, 2005

PROFESSIONAL HISTORY

16 years Experience
RJM Design Inc., 2018 to date
EDSA Inc., 2005 to 2018*

SPECIAL EXPERTISE

Urban Design
Community Planning
Resort and Hospitality Design
Institutional Design
Waterfront Design

REGISTRATIONS & AFFILIATIONS

Licensed Landscape Architect # 3901046963,
State of Michigan

Licensed Landscape Architect #5484,
State of California

Downtown Grand Rapids Inc, GR Forward
Goal 2 Alliance, Member

ULI SE Florida/Caribbean Women's Leadership
Initiative Committee, Co-chair, 2017-2018

EXPERIENCE

- Ada Township Recreation Assessment, MI
- Leonard Field Park Grant Assistance, Ada Township, MI
- Leonard Field Park Master Plan, Ada Township, MI
- Fred Thwaites Trail Grant Application, Ionia, MI
- Ionia Wetland Park CDBG Grant Application, MI
- Harper Park Renovation, Ionia, Michigan
- Covell Dog Park, Grand Rapids, MI
- Eastern Park, Grand Rapids, MI
- Pleasant park, Grand Rapids, MI
- Richmond Park, Grand Rapids, MI
- Camp Lake Louise Master Plan
- Trailhead Park, Ionia, Michigan
- Cadillac Veteran's Park Master Plan, Michigan
- Cleveland County Complex Master Plan, Norman, Oklahoma
- City of Pahokee Vision Plan, Florida
- Ru'A Al-Haram Concept Master Plan Competition, Saudi Arabia
- Wuhan East Lake Greenway, China
- Dubai Opera, Downtown Dubai, United Arab Emirates
- Qatar Public Realm and Landscape Design, Doha, Qatar
- Beijiao Marina, Foshan, China
- Fort Howard, Brinklow, Maryland
- Inner Harbor Floating Wetlands, Baltimore Maryland
- Khalifa City A & B, Abu Dhabi, United Arab Emirates
- Mohammed Bin Zaid City, Abu Dhabi, United Arab Emirates



PAULA LAWRENCE PLA, ASLA

LANDSCAPE ARCHITECT

BACKGROUND

Paula's portfolio combines landscape architecture with larger planning and design concepts. She is involved in campus and community master planning, site planting design, urban design and streetscapes, multiple-use developments, site analysis, user circulation studies, rendering and presentation graphics, as well as zoning and project approvals. Her passion for horticulture lends to careful consideration of plant palette selections. Paula brings a keen eye for design to every project, including thoughtful observation and planning, and an understanding of spatial relationships and human interaction.

EDUCATION

Michigan State University, Bachelor of Landscape Architecture, 2011

PROFESSIONAL HISTORY

10 years Experience
RJM Design Inc., 2019 to date
Progressive AE, 2012 to 2019
Design Plus, 2011 to 2012

SPECIAL EXPERTISE

Park Planning & Design
Community/Master Planning
Planting Design
Student Housing
Multi-Use Developments

REGISTRATIONS & AFFILIATIONS

Licensed Landscape Architect #1604,
State of Michigan

Environmental Design Research Association,
Full Member

EXPERIENCE

- Grand Rapids Parks & Recreation Strategic Master Plan: Parks Inventory
- Leonard Field Park Master Plan, Ada Township, MI
- Ada Village Master Plan, Ada, Michigan
- Legacy Park, Ada, Michigan
- Richmond Park Grant Assistance, Grand Rapids, MI
- Hale Park Grant Application, Ionia, MI
- Balice Park Grant Application, Ionia, MI
- Steele Street Corridor Landscape Plan, Ionia, MI
- Covell Dog Park, Grand Rapids, MI
- Eastern Park, Grand Rapids, MI
- Pleasant park, Grand Rapids, MI
- Richmond Park, Grand Rapids, MI
- Harper Park Renovation, Ionia, Michigan
- Holland Energy Park, Holland, MI
- Central Park, Greenville, MI
- Lynne Sherwood Waterfront Stadium, Grand Haven, MI
- Downtown Market, Grand Rapids, MI
- 11th St Corridor Closing at Hope College – Holland, MI

03 SCOPE OF SERVICES & SCHEDULE

Based on our experience and our understanding of the Township's needs in developing an updated 5-year Recreation Plan, we propose the following tasks further outlined below in our **SCOPE OF SERVICES**:

- Task 1** Kick-off Meeting
- Task 2** Existing Material Review & Updates
- Task 3** Additional Early Public Input (If Needed)
- Task 4** Recreation Inventory
- Task 5** Draft Plan Development
- Task 6** Draft Plan Public Review
- Task 7** Final Plan Adoption & Submittal

SCOPE OF SERVICES

The tasks outlined below address the services necessary to develop an updated 5-Year Recreation Plan (Plan) for the Township. The updated Plan will inventory the Township's existing facilities, identify community recreation and open space needs, develop goals and objectives, and set a plan of action for the next five years. The Plan will meet the Michigan Department of Natural Resources Grants Management (MiDNR) requirements for approval and eligibility for Land and Water Conservation Fund, Michigan Natural Resources Trust Fund and waterways grants.

TASK 1: PROJECT KICK-OFF | JANUARY 2022

RJM Design will conduct a kick-off meeting with the Township Parks Committee and Staff (Committee) to:

- Review the 2014-2019 Township recreation plan to identify completed projects, discuss new projects, and review the goals and objectives and action program.
- Review public input collected by the Committee.
- Establish public input goals.
- Review public input stakeholders.
- Review public input process.
- Review community profile, demographics, and population growth.

Task 1 Deliverables:

A digital copy of meeting notes will be distributed via email to the Committee.

Task 1 Meetings:

- 1. Kick-off Meeting** - RJM Design will conduct a kick-off meeting with the Committee. This meeting will take place in early January 2022. Depending on the Committee's preference, this meeting can be virtual or in-person at the Township Offices.

TASK 2: EXISTING MATERIAL REVIEW & UPDATES | JANUARY 2022

RJM Design will undertake the following items during this task. It is anticipated that these items will take place over the course of two months.

Planning Document Review

RJM Design will review existing planning documents to establish a baseline of current conditions and planning in place. This includes but is not limited to a review of the 2014-2019 Parks, Recreation and Open Space Plan; Master Plans for existing parks and recreation areas; and the Pedestrian Pathway Map.

Community Description Review & Update

RJM Design will update the Township's description and profile, including its physical characteristics and demographic and socio-economic conditions and trends. This information will assist with the review of recent public input results to ensure

03 SCOPE OF SERVICES & SCHEDULE

all segments of the population are included in development of the Plan.

Administrative Structure Review & Update

RJM Design will work with the Committee to update the narrative describing the administrative structure including, the roles of boards and commissions, staffing, current and projected budgets, current funding sources, roles of volunteers and organizations, and inter-agency relationships.

Recent Public Input Review

RJM Design will review and analyze the most recent public input collected by the Committee. Based on the RFP, it is our understanding that this input includes a community-wide survey and an open house. Our review of the most recent public input will include an analysis of both the responses and the respondent demographics (if available). Depending on the response type (open- or close-ended) we will employ a variety of methods to analyze and categorize the results to identify recurring themes. Respondent demographics will be compared with Township demographics to identify segments of the population that may have been overlooked. We will summarize our findings and identifying any additional public input that may be needed. If it is determined that additional input is needed, RJM Design will work with the Committee to develop and oversee the process. Task 3 outlines potential input methods based on what has been recently completed by the Township and our experience on similar projects.

Task 2 Deliverables:

A summary of the planning document review, an updated community description and structure, and a summary and recommendations of recent public input will be distributed via email to the Committee.

Task 2 Meetings:

1. Review Meeting - RJM Design will conduct a meeting with the Committee to review the deliverables. It is anticipated that this meeting will take place the end of January or early February. Depending on the Committee's preference, this meeting can be virtual or in-person at the Township Offices.

TASK 3: ADDITIONAL EARLY PUBLIC INPUT (IF NEEDED) | FEBRUARY & MARCH 2022

A successful Plan is contingent on community members and key stakeholders having easily accessible, ongoing opportunities to share their insight and ideas. This includes early public input prior to the development of the Draft Plan. If our review and analysis of recent public input identify additional engagement is needed to gather additional information and facilitate participation from all segments of the population, we propose the following input targeted methods: online survey, stakeholder meetings, and a public open house.

Public Input Preparation

RJM Design will work with the Committee to finalize identification of key stakeholders that have not been reached, refine the public input process, and develop targeted input questions. This will expand on the review of these items completed during the Kick-off Meeting and the Recent Public Input Review completed in Task 2.

Online Community Survey

An online survey will be conducted over four weeks to dive deeper into responses received in recent public input and to target segments of the population and have not been reached. The survey will be advertised through local media and newspaper press release, social media, Township's website, and targeted invitations.

Stakeholder Meetings

Key individuals, community groups, recreation providers, private and public partners and regional organizations identified in Task 2 will be invited to participate in an in-person or phone interview.

Public Open House

A public open house will be held to share the results of the recent and updated public input and solicit feedback from the

03 SCOPE OF SERVICES & SCHEDULE

community on specific issues identified during the public input review and analysis.

Task 3 Deliverables:

Meeting notes summarizing comments, discussion items, and common themes for each input method will be distributed via email to the Committee. RJM Design conduct meetings with the Committee to review final results from outreach efforts.

Task 3 Meetings:

- 1. Results Meeting** - Following completion of Early Public Input and submittal of meeting notes, RJM Design will meet with Committee to review the input summary. Depending on the Committee's preference, this meeting can be virtual or in-person at the Township Offices.

TASK 4: RECREATION & NATURAL RESOURCE INVENTORY | APRIL 2022

Recreation Inventory

RJM Design will work with the Committee to develop an updated recreation inventory of all parks, natural areas, other public spaces, and recreation facilities used by Township residents. RJM Design will create a map locating these facilities and other relevant information such as green infrastructure and trail plans, differentiating between those owned or operated by the Township and those owned and operated by others.

RJM Design will conduct a physical visit to properties and facilities owned and operated by the Township, including: Burton Park, Cascade Peace Park, Cascade Township Park, Leslie E. Tassell Park, Michael McGraw Park, and Museum Gardens Park. These visits will be conducted to confirm the type, number, quality, age and condition of each facility. For each park, an accessibility assessment will be performed using the ADA checklist developed by the New England ADA Center as a guide. RJM Design will prepare a map for each of the properties and facilities owned and operated by the Township. The map will include the park name, size, description of general purpose, primary service area, and type, number, condition of recreation and support facilities.

Natural Resource Inventory

RJM Design will work with the Committee to develop an inventory identifying ecologically significant natural resources and features such as wetlands, flood plains, ground water recharge areas, woodlands, farmlands, wildlife habitat, rare species, and scenic view sheds. This inventory, when overlaid with the recreation inventory, will assist the Township in identifying desirable lands for acquisition.

Task 4 Deliverables:

Draft inventory and maps will be distributed via email to the Committee.

Task 4 Meetings:

- 1. Review Meeting** - RJM Design will present and facilitate an open discussion of the draft recreation inventory and maps to receive feedback from the Committee. Depending on the Committee's preference, this meeting can be virtual or in-person at the Township Offices.

TASK 5: DRAFT PLAN DEVELOPMENT | MAY 2022

Per Michigan MiDNR requirements, the Draft Plan will include: Community Description, Administrative Structure, Recreation Inventory, Natural Resource Inventory, Description of the Planning Process, Description of the Public Input Process, Goals and Objectives, and Action Program.

Develop Updated Goals & Objectives and Action Program

Based on the status of current planning efforts, public input, recreation inventory, natural resource inventory, review of the Township's demographic and physical/environmental characteristics, and input from the Committee and Township staff RJM Design will develop updated recreation Goals and Objectives.

03 SCOPE OF SERVICES & SCHEDULE

Develop Updated Action Program

RJM Design will work with Committee to develop an Action Program that identifies how to meet or work toward meeting the updated goals and objectives over the next five years. This includes the identification of specific projects. If applicable, the action program will include organizational, staffing, programming, public information, operation and maintenance actions, as well as land acquisition and facility development. RJM Design will work with the Committee to develop a capital improvement schedule for park development projects outlining the type of improvement, the estimated cost, funding sources and a schedule of construction.

Task 5 Deliverables:

A Draft Plan will be distributed via email to the Committee for review.

Task 5 Meetings:

- 1. Goals & Objectives and Action Program Meeting** - RJM Design will meet with the Committee to review goals and objectives and the action program. Depending on the Committee's preference, this meeting can be virtual or in-person at the Township Offices.
- 2. Draft Plan Review** - RJM Design will present the Draft Plan to the Committee and facilitate an open discussion for Committee input. Depending on the Committee's preference, this meeting can be virtual or in-person at the Township Offices.

TASK 6: DRAFT PLAN PUBLIC REVIEW | JUNE & JULY 2022

RJM Design will work with Committee to solicit public input during a 30-Day Public Review Period and at a Public Hearing.

30-Day Public Review Period.

RJM Design will update the Draft Plan based on comments received from the Committee and Township Staff. Upon completion of the updates, the Draft Plan will be posted for a 30-day public review period. It is anticipated that this review period will occur from June 1st to June 30th. RJM Design will coordinate with Committee to ensure notice of the 30-day review period is published and documented according to MiDNR requirements.

RJM Design will provide a 30-day review period comment summary and update the Draft Plan based on Committee and Township Staff input.

Public Hearing

RJM Design will present the updated Draft Plan at a Public Hearing to be held during the July 13th Township Board meeting. RJM Design will coordinate with Committee to ensure notice for the public hearing is posted and documented according to MiDNR requirements.

Public Hearing minutes will be provided by the Committee.

Task 6 Deliverables:

An updated Draft Plan will be distributed via email to the Committee following the 30-day Public Review Period. Comments received during the Public Hearing will be addressed in the following task.

Task 6 Meetings:

- 1. Progress Meeting** - RJM Design will present 30-day review period progress results at the June 20th Parks Committee meeting.
- 2. Public Hearing** - RJM Design will present the Draft Plan at a Public Hearing held during the July 13th Township Board Meeting.

03 SCOPE OF SERVICES & SCHEDULE

TASK 7: FINAL PLAN ADOPTION AND SUBMITTAL | JULY 2022

RJM Design will update the Draft Plan based on the July 13th Public Hearing comments and Committee and Township Staff input. RJM Design will present the Final Plan at the July 27th Township Board meeting for the Resolution of Adoption. Following Adoption of the Final Plan, RJM Design will assist the Committee with final compilation and submittal of the Adopted Plan to Michigan DNR using the MiGrants system.

MidNR requires approved/clerk-certified minutes from the Meeting to Pass a Resolution of Adoption. It is assumed that minutes from the July 27th Meeting to Pass a Resolution of Adoption will be certified at the August 10th Township Board meeting.

Task 7 Meetings:

- 1. Township Board Meeting** - RJM Design will present the Final Plan for the Resolution of Adoption at the July 27th Township Board meeting.

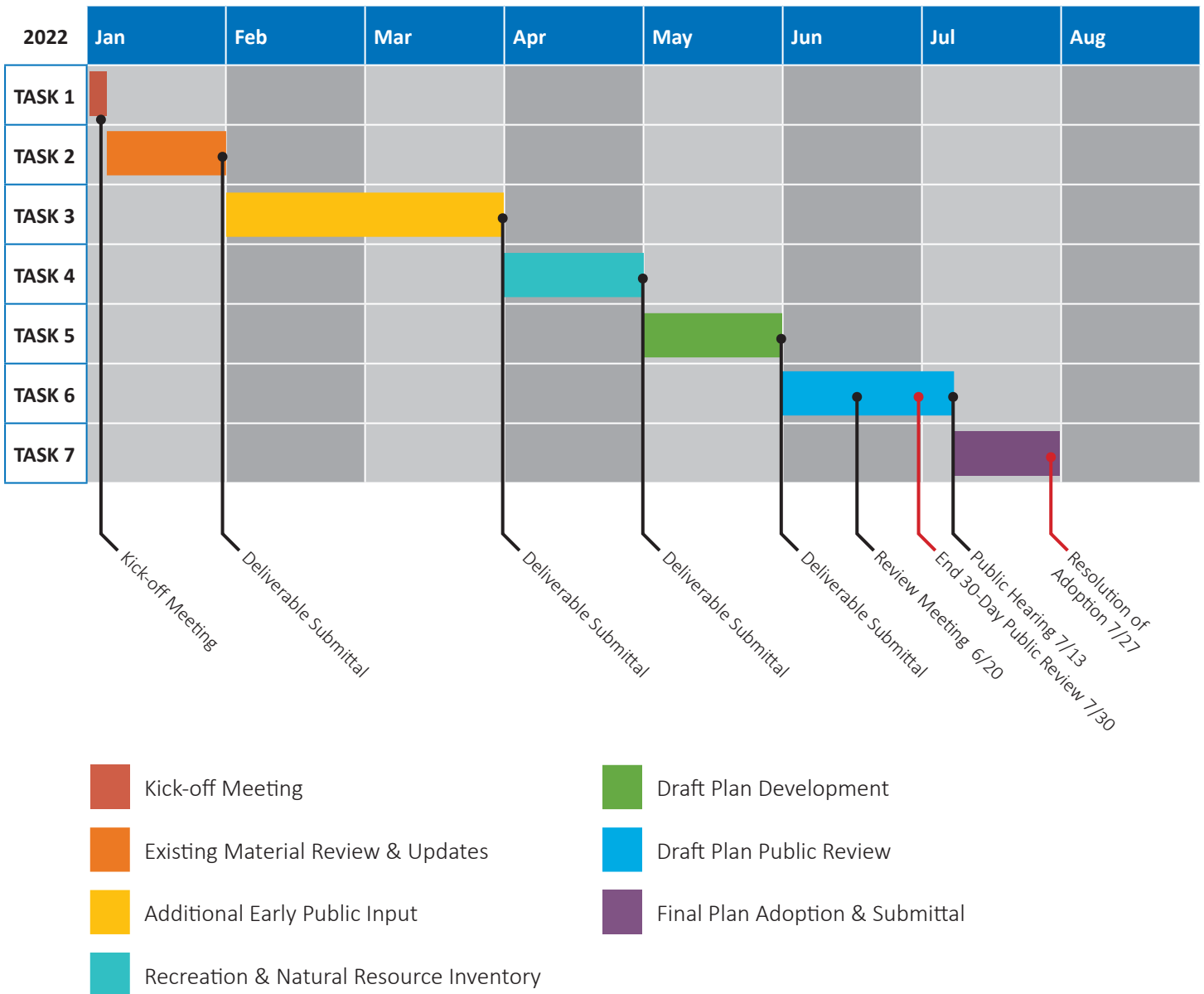
Task 7 Deliverables:

RJM Design will provide five (5) printed/bound copies and a digital PDF of the Adopted Plan.

03 SCOPE OF SERVICES & SCHEDULE

SCHEDULE

RJM Design has prepared the following schedule illustrating the time frame for completing major tasks and products in the development of an updated 5-Year Recreation Plan. The schedule is based on an Adopted Plan completion at the end of July 2022 and submittal to MiDNR in August 2022, allowing sufficient time for public input, achieving milestones in conjunction with scheduled Committee meetings, and scheduled Township Board meetings for the Public Hearing and Resolution of Adoption.



04 PROJECT EXPERIENCE & REFERENCES

The following are projects RJM Design has completed that are most similar to the Cascade Charter Township project area and scope:

1. 2018 Ada Township Recreation Assessment
2. St. Johns 2016-2020 Recreation Master Plan
3. Grand Rapids FY 2020 Parks
4. Steel Street Corridor Re-Development Plan

Similar to what is required for updating the Township's Recreation Plan, each of these projects required review of previous planning documents, robust public input, inventory of existing conditions, development of goals and objectives, and development of an action program to guide meeting the goals and objectives.

2018 ADA TOWNSHIP RECREATION ASSESSMENT | Ada, Michigan

Contact: Mark Fitzpatrick, Director, Ada Township Parks & Recreation Department, P: 616.676.0520

Scope: RJM Design led a Recreation Assessment for Ada Township in collaboration with the Township Parks, Recreation and Land Preservation Advisory Board and community input. The Assessment included three forms of stakeholder engagement including: Community Remarks®, a map-based public engagement portal; Leadership Workshop Café, an invitation-only event where community leaders were asked to provide comments; and Workshop-in-a-Box, a self-guided input method completed by three civic groups representing a cross-section of the population of Ada Township.



BECOME A PART OF THE DISCUSSION
Ada Township Recreational Needs Assessment

The Township is undertaking a **Recreational Needs Assessment** and desires your input. The Township's goal with this Assessment is:

To Develop a Guide for Future Recreation Amenities, Programs, and Support Services that Addresses the Unique Needs of Ada Residents.

COMMUNITY REMARKS®
Put your ideas on the map

Scan QR Code to access Community Remarks®

On **July 3rd 2018**, the Township will launch Community Remarks®, an interactive online tool that enables citizens to submit recreational comments and ideas on a map of the Township and engage with others who submit comments. In addition to the map-based questions, several questions regarding Recreational facilities and programs in the Township will be featured on the Community Remarks® web site.

ADA TOWNSHIP WOULD LIKE TO HEAR FROM YOU!

- ▶ Access the Community Remarks® tool by visiting: <https://communityremarks.com/adatownship>
- ▶ Submit comments during: **July 3 through July 22, 2018**
- ▶ A link to the Community Remarks® website will also be available as a link on the Ada Township Facebook page, and the Ada Township web site: www.adatownshipmi.com

If you have questions regarding the Community Remarks® online tool, or the Recreational Needs Assessment, please contact:

Mark Fitzpatrick, Parks & Recreation Director
Ada Township
616-676-0520
mfitzpatrick@adatownshipmi.com

RJM DESIGN
Land Planning • Strategic Architecture

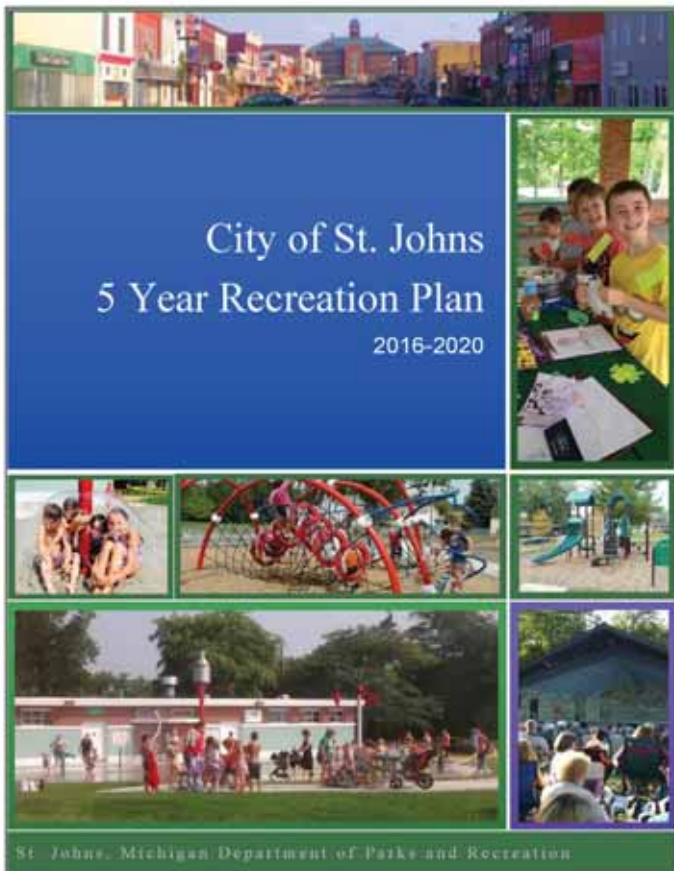


04 PROJECT EXPERIENCE & REFERENCES

ST. JOHNS 2016-2020 RECREATION MASTER PLAN | St. Johns, Michigan

Contact: Bill Schafer, Recreation Director, City of St. Johns, P: 989.224.8944 x227

Scope: RJM Design developed an updated St. Johns 2016-2020 Recreation Master Plan for grant eligibility. This included full site inventory and analysis, evaluation of current programs, public engagement via survey and public meetings, synthesis of public input, outlining of program and site improvements based on public input, and delivering a full and complete master plan document to meet MiDNR standards.



RECREATION INVENTORY

RJM Design Inc.
LAND PLANNING • LANDSCAPE ARCHITECTURE

Methods

The recreation inventory began with a review of the City of St. Johns 2011-2015 Recreation Masterplan. Significant changes in the park system, such as the new spray park and other improvements, were recorded and updated. A tour of all City park facilities was conducted, comparing the previous plan's inventory to the existing park facilities. The inventory was updated accordingly.

Location Map



Figure 6: St. Johns Recreation Locations



RJM Design Inc.
Land Planning • Landscape Architecture

3. How frequently do you or members of your household use each park?

	2 times a week or more	Twice a month	A few times a year	Never	Total
St. Johns City Park	22% 50	37% 85	41% 96	0% 1	232
St. Johns Depot	6% 12	12% 23	52% 97	29% 55	187
Kibbee Street Park	7% 11	7% 11	27% 45	59% 97	164
Jaycee Park	5% 8	6% 10	33% 56	56% 95	169

04 PROJECT EXPERIENCE & REFERENCES

GRAND RAPIDS FY 2020 PARKS | Grand Rapids, Michigan

Contact: Kari Enriquez, PE, Project Manager, Grand Rapids Department of Parks and Recreation P: 616.456.4281
Scope: RJM Design is currently working with the City of Grand Rapids Department of Parks and Recreation on improvements to four existing City parks: Covell, Pleasant, Eastern, and Richmond. Scope includes conceptual design through detailed design and bidding assistance. A thorough public engagement process was used to determine desired improvements and solidify the detailed design scope of work. Improvements to the parks are scheduled to be completed by the fall of 2021.



What's There Today:

PRESERVE

ENHANCE

TRANSFORM

What Could It Be?

P.E.T. - PRESERVE - ENHANCE - TRANSFORM

COVELL DOG PARK

526 Covell Ave NW Grand Rapids, Kent County, Michigan

CITY OF GRAND RAPIDS

RJM DESIGN
Landscape Architecture
P.E.T. EXERCISE JUNE 2019

04 PROJECT EXPERIENCE & REFERENCES

STEELE STREET CORRIDOR RE-DEVELOPMENT PLAN | Ionia, Michigan

Contact: **Matt Painter, Director of Parks and Recreation, City of Ionia P: 616.523.1800 x2**

Scope: RJM Design collaborated with the City of Ionia and Main Street Planning to develop the Steele Street Corridor Redevelopment Plan as part of the City's 2019 Master Plan. The project goal was to establish a plan for the long-term redevelopment of the Steele Street corridor including, commercial and residential development; and recreational opportunities. The plan includes elements identified through a robust public input process including: a complete streets road diet, trail connections, wetland park, outdoor recreation athletic fields, dog park, plaza/special event gathering area, multi-use recreation building, re-purposed silo building residential, commercial, and a gateway park. The road diet was completed in 2021. The recreation fields, wetland park, dog park, and trail improvements are currently in progress with RJM Design's involvement.



05 FEE PROPOSAL

For the completion of an updated Ada Township 5-Year Recreation Plan, RJM Design proposes a fee not-to-exceed **\$22,210**. This fee includes all tasks, staffing, and reimbursables necessary to achieve the tasks requested in the RFP and laid out in our **Scope of Services**.

LABOR HOURS		Jim Morgan	Katy Hallgren	Paula Lawrence	Total	Fee
TASK	DESCRIPTION	HRS	HRS	HRS	HRS	TOTAL
1	Kick-off Meeting	-	4	4	8	\$880
2	Existing Material Review & Updates	-	16	16	32	\$3,520
3	Additional Early Public Input (If Needed)	1	16	16	33	\$3,630
4	Recreation Inventory	-	8	24	32	\$3,520
5	Draft Plan Development	2	24	24	50	\$5,500
6	Draft Plan Public Review	1	16	8	25	\$2,750
7	Final Plan Adoption & Submittal	-	4	12	16	\$1,760
Total Labor		4	105	94	211	\$ 21,560
REIMBURSABLES						TOTAL
Mileage (Meetings & Recreation Inventory visits)						\$200
Online Survey						\$200
Stakeholder Meeting Handouts						\$50
Five (5) Printed/Bound Copies of Adopted Recreation Plan						\$200
Total Reimbursables						\$650
TOTAL NOT TO EXCEED FEE						\$22,210



In every project we undertake we ensure planning and design solutions are creative, appropriate, economical, and successful for both the client and the community.

RJM DESIGN
Land Planning • Landscape Architecture

PROPOSAL FOR:

**CASCADE TOWNSHIP PARKS, RECREATION AND
OPEN SPACE PLAN**

Submitted to: Cascade Charter Township

NOVEMBER 23, 2021



4345 44th Street SE, Suite A
Kentwood, MI 49512 | 616.272.7125



ROWE PROFESSIONAL SERVICES COMPANY

Large Firm Resources. Personal Attention.™

November 23, 2021

Brian Hilbrands, Township Planner
Cascade Charter Township
5920 Tahoe Dr. SE
Grand Rapids, MI 49546

RE: Cascade Township Parks, Recreation and Open Space Plan

Dear Mr. Hilbrands:

ROWE Professional Services Company is pleased to provide this proposal for the update of the Cascade Charter Township Parks, Recreation and Open Space Plan. We are excited to assist in formulating the vision for the township recreational facilities for the next five-years and beyond. We have assembled a team of professionals who provide high-quality service and have a track record of delivering successful projects.

ROWE can provide the township with expertise in several areas which will aid in delivering this project successfully. These include:

- **Expertise in Recreation Plans.** ROWE has assisted communities including Charlotte, Northville, Au Gres, Ithaca, Swartz Creek, Meridian Township and the Genesee County Parks and Recreation Commission through the recreation plan process.
- **Expertise in Master Planning.** ROWE has led numerous Master Planning projects which have been made possible with grant funding and eventual successful projects.
- **Expertise in public input.** We will evaluate the township's gathered public input, assemble our findings, and suggest additional approaches, if necessary.

ROWE is currently supporting the professional consulting needs of more than 50 communities throughout Michigan. The success we have enjoyed with our clients is the result of our service philosophy, "*Our clients' needs come first.*" Project team members carefully monitor our clients' needs through frequent communication and face-to-face contact. This connection ensures a prompt response to all inquiries and a high-quality work product, resulting in successful projects.

Based on our past performances, we are confident you will be satisfied with our services and quality. If you have any questions on our qualifications, or require additional information, please feel free to call either of us at (616) 272-7125.

Sincerely,

ROWE Professional Services Company

Jeffery A. Miller, PLA
Project Manager
JMiller@rowepsc.com

Rick A. Freeman, PE
Director of Engineering / Principal in Charge
Authorized Negotiator
RFreeman@rowepsc.com




Proposal for:

Cascade Township Parks, Recreation and Open Space Plan

Presented to:

Cascade Charter Township, Michigan

- 
- A large, light gray watermark of the word "ROWE" is centered on the page, partially overlapping the table of contents. The letters are bold and blocky, with a slight shadow effect.
- I. Business Organization**
 - II. Executive Summary**
 - III. Project Proposal**
 - IV. Public Input**
 - V. Project Staffing**
 - VI. Pricing Methodology**
 - VII. Authorized Negotiations**
 - VIII. References**

ROWE



Introduction

ROWE Professional Services Company (a Michigan corporation) is a professional services consulting firm who combines large-firm resources with broad expertise to deliver the personal service and attention you deserve. Our staff of more than 200 professionals in Michigan and South Carolina strives for 100 percent client satisfaction. Specialties include:

ENGINEERING ■ SURVEYING ■ AERIAL PHOTOGRAPHY/MAPPING
LANDSCAPE ARCHITECTURE ■ PLANNING

Office Locations

Corporate

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Flint, MI 48502
Ph. (810) 341-7500
Fax (810) 341-7573

www.rowepsc.com

Jeffery A. Miller, PLA
(616) 272-7125
JMiller@rowepsc.com

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Fax (810) 664-3451

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Fax (989) 773-7757

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Fax (989) 348-5416

FARMINGTON HILLS
27280 Haggerty Road
Suite C-2
Farmington Hills, MI
48331
Ph. (248) 675-1096
Fax (800) 974-1704

MYRTLE BEACH, SC
6009 N. Kings Highway
Myrtle Beach, SC 29577
Ph. (843) 444-1020
Fax (843) 448-3936

Beyond Technical Excellence

You expect technical expertise and broad experience from a capable consulting firm. At ROWE, we go one step further, combining expertise and experience with dedication to provide unsurpassed personal service. Our commitment to personal service focuses on:

- Building and maintaining long-standing client relationships and treating clients as partners in developing and improving the communities in which we work and live.
- Being available to our clients at a moment's notice to give project advice, answer questions, or address concerns.
- Educating and informing our clients of the latest technology, trends, and regulations.
- Enhancing our communities.

Project Approach and Personnel

After more than five decades of service, our satisfied clients include large and small municipalities, corporations, private individuals, and governmental bodies alike. Our approach is simple - we listen to our clients and tailor project teams to meet the specifics of each job. Our clients can rely on their project manager for the technical skills, experience, and education necessary to successfully complete the job on time, within budget, and to their satisfaction. Our corporate resume continually grows as challenging projects present new opportunities.

Summary

ROWE Professional Services Company is enthusiastic about working with you to achieve your goals. In business for more than 59 years, we have built a strong foundation from which our knowledge and experience has grown. We use the current technology you find in large firms but remain small enough to deliver our trademark personal service.



Our Specific Capabilities

Civil Engineering

Our 50 licensed professional engineers are experienced in design and construction engineering for:

- Bridges
- Roads
- Water Systems
- Traffic Engineering
- Sewer Systems
- Pumping Stations
- Parks & Recreation Facilities
- Land Development
- Signal Design
- Demolition
- Wastewater Treatment
- Parking Lots

Surveying

Fifteen licensed professional surveyors and 16 field crews use state-of-the-art equipment to provide:

- Topographic Mapping
- Right-of-Way
- Construction Staking
- Aerial Control
- Retracement
- Government Corners
- Control
- Aerial Mapping
- ALTA
- Cadastral / Boundary
- Remonumentation
- Mobile and Static LiDAR Collection and Data Extraction

Planning

Our planner, certified by the American Institute of Certified Planners (AICP), and planning staff work closely with community representatives to provide:

- Master/Land Use Plans
- Parks & Recreation Plans
- Downtown Development Plans
- Tax Increment Finance Plans
- Strategic Plans
- Zoning Ordinances
- Urban Design
- Feasibility Studies
- Capital Improvement Plans
- Neighborhood Plans

Landscape Architecture

Respect for natural resources enhances every facet of our designs, with creativity and imagination the only rules. Our two licensed, professional landscape architects and staff provide design services including:

- Streetscapes
- Parks
- Historic Landscapes
- Transportation Corridors
- Recreation Areas
- Walkways and Trails
- Waterfronts
- Residential Development
- Parks & Recreation Plans
- Site Enhancements
- Campus Planning
- Sensitive Environments

Aerial Photography/Mapping

Using a variety of airborne sensors and cameras we can provide:

- Vertical & Oblique Photography
- Photo Reproductions
- Analytical Aerial Triangulation
- DTM-DEM Surface Modeling
- Volumetrics
- Airport Surface Analysis
- Digital Orthophotography
- GIS Base-Mapping
- UAS Imaging & Mapping*

* ROWE employs five FAA-licensed DRONE pilots.

Quality Assurance and Control Ensures Accuracy

Effective quality assurance and control is key to every project and is the final gate our projects pass through before reaching the home stretch – presentation to the client.

We review each project at key milestones to ensure it meets our standards. This review is completed by qualified personnel not directly involved with the project to guarantee accuracy.



ROWE Professional Services Company is pleased to provide this proposal for updating the Township Parks, Recreation and Open Space Plan for Cascade Charter Township. We are excited to assist Cascade Charter Township with updating the plan to formulate the vision for the township recreational facilities for the next five-years and beyond. We have assembled a team of professionals who provide high-quality service and have a track record of delivering successful projects.

ROWE has more than 59 years of experience and more than 200 employees with a diverse range of experience and expertise that affords us the opportunity to provide our client with a team that listens and produces. While the team for this project may be a small section of our company, they have numerous resources at their fingertips throughout our many departments.

We will begin by creating a questionnaire for distribution to the committee prior to the kick-off meeting to aid ROWE in meeting preparation. A kick-off meeting with township representatives (committee) will be held to review the process to ensure that the final plan meets the Michigan Department of Transportation's (MDNR) guidelines for the development of community parks and recreation plans.

The following is our anticipated schedule and topics covered:

December 2021

- Kick-off meeting questionnaire distributed

January 2022

- Kick-off meeting
- Public engagement if deemed necessary

February 2022

- Review and update plan information

March 2022

- Review findings with township
- Prepare draft plan

April 2022

- Draft plan review with township
- Begin 30-day review period

May 2022

- End 30-day review period

June 2022

- Final plan preparation
- Public hearing

July 2022

- Plan distribution and submit

The ROWE Team

The team will be led by **Jeffery Miller, PLA**, out of the Kentwood Office. Jeff has over 20 years of experience as a landscape architect. Jeff will be assisted by Blake Strozier and Jason Ball, AICP. Blake and Jason will assist with section updates and mapping. Sean Beckman, PE will be available for engineering questions that may arise through the process. Doug Schultz, PLA will provide quality control and quality assurance (QA/QC) to ensure the plan meets MDNR requirements. Additionally, as we strive to provide a small firm experience, the team will have multiple resources available through our diverse professional staff.

In the following sections, you will see that ROWE has proposed a framework to work with the township to update the plan that will provide a roadmap into the future.

Understanding

ROWE understands the township is requesting proposals to assist the Parks Committee and Township Board to update the Township Parks, Recreation and Open Space Plan in order to guide the development of township parks and recreation related property, facilities, and service over the next five years, and to maintain eligibility for MDNR administered grant programs for parks and recreation facilities. ROWE's scope of services to update the Parks, Recreation and Open Space Plan will include the following work plan.

Work Plan

Kick-Off Meeting Questionnaire

We will create a questionnaire for distribution to township members who will be involved through the plan process. The questionnaire will aid the team in formulating a pointed agenda for the kick-off meeting.

Kick-Off Meeting

Conduct a kick-off meeting with township board members and the parks committee members to review the project schedule, plan process, plan requirements, township gathered public input, township goals and objectives, and park development since 2014. There will also be a discussion about the creation of the Property Acquisition Template.

Public Engagement

In the Public Input section of this proposal, there are several public engagement techniques described. The advantages and disadvantages for each of the techniques are shown. Under the MDNR guidelines, the township is required to have two types of public engagement. The required public hearing may count as one of the types of public engagement. One of the public engagement sessions must take place within one year of adopting the plan or prior to adoption by the governing body.

We believe the public input that the township conducted is adequate to meet MDNR's criteria for public input. Further need for public input will be discussed and decided upon at the kick-off meeting and can be negotiated as an additional service if desired by the township.

Review the Goals, Objectives, and Actions

ROWE will review the updated information and the public input previously gathered by the township and any additional public input (as deemed necessary) and will generate goal and objective statements as well as an action plan. A draft of the findings and updates will be provided to the committee for comment.

Findings Meeting

ROWE will meet with the committee to present goals, objectives, and actions.

Draft Plan

A draft plan will be prepared for distribution to and for review by the Steering Committee. Based on input from this meeting, the plan will be revised for review by the committee.

Chapter Content

The following addresses the MDNR requirements as well as the scope identified in the RFP:

- Provide an introduction section to narrate the initial vision and rationale for the village to establish itself as a recreation provider.
- Community description including location, physical opportunities, and constraints.
- Administrative Structure: Description of how the park and recreation functions are carried out, including roles of commissions and boards, department organization chart, budgets, funding sources, roles of volunteer organizations, and relationships with public agencies in recreation.
- Recreation inventory of public facilities within the community including private, county, and regional locations. This will include undeveloped natural resource opportunities which can be expanded on in the future. This will also include an analysis of non-motorized conditions.
- Planning Process: The methodology and summary of findings from required public engagement will be described in this section.
- Goals/Action Plan: This will include narrative statements and scoping budgets. Design engineering or grant applications will not be included. Potential funding sources will be identified.



Draft Plan Review Meeting

ROWE will meet with the committee to review their comments.

30-day Review

Upon acceptance by the committee, the township will provide a legal public notice and display the plan for a 30-day review period. Upon completion, ROWE will review comments with the committee and revise the plan accordingly.

Public Hearing/Adoption

The township will provide a legal public notice for a public hearing on the plan. ROWE will attend and assist the committee at the public hearing meeting.

Township Adopts Parks and Recreation Plan

ROWE will attend the Township Board meeting where the parks and recreation plan is adopted. This is anticipated to immediately follow the public hearing.

Deliverables

Following adoption of the parks and recreation plan, ROWE staff will provide the township with five printed/bound copies and a digital copy (PDF) of the adopted plan including all the notices and other required documentation. Along with assisting with the work described in the above scope, ROWE staff will provide graphic, clerical, and other consulting particular to this project.

Parks and Recreation Plan Process

The MDNR's guidance on preparing a parks and recreation plan outlines the steps required in reviewing and adopting the plan. The township will be responsible for drafting all notices and resolutions, publishing the notice of public hearing, providing a location where the draft plan can be reviewed by the public, and providing ROWE with the signed resolutions, minutes, and affidavit of publishing. The process is outlined below:

Steps in the Parks and Recreation Process			
Steps	Action	Notice/Resolution	Responsible Party
1	Notice of public review and dates of public review and hearings published at least 30 days prior to the public hearing.	Notice of public review and dates of public review and hearings	Township
2	One or more locations are provided for the public to inspect a copy of the draft parks and recreation plan.	N/A	Township
3	Steering Committee reviews the plan and makes recommendation on plan to Township Board.	Township passes and signs resolution	Township: drafts, signs resolution and prepares copy of meeting minutes
4	Township holds public hearing and votes to adopt the Parks and Recreation Master Plan.	Township Board passes and signs resolution	Township: drafts, signs resolution and prepares copy of meeting minutes
5	Copies of the adopted plan are submitted to the County Planning Agency and the Regional Planning Agency.	Letter of transmittal	Township



Steps	Action	Notice/Resolution	Responsible Party
6	PDF of plan with attachments is submitted to the State of Michigan through their recreation portal.	PDF	ROWE: prepare PDF Township: submits plan
7	A PDF copy of the plan is prepared with the following attachments in the appendix.	Copy of: <ul style="list-style-type: none"> • Notice of Public Review and Hearing • Minutes of public meeting(s) • Resolution(s) of Adoption • Transmittal letter to county and region • Plan Certification Checklist • Post Completion Self-Inspection 	Township

Timeline and Meeting Schedule

Below is a table of the tentative schedule for the parks and recreation update. We understand the intent is to award the project in December 2021 and adopt the plan no later than July 2022.

Parks and Recreation Plan Update								
SCHEDULE	MONTHS							
	DEC	JAN	FEB	MAR	APR	MAY	JUN	JUL
Kick-off questionnaire to township	*							
Kick-off meeting with township		X						
Public engagement (optional)		X						
Review and update plan information			*					
Findings meeting with township				X				
Prepare draft plan				*				
Draft plan review with township					X			
30-day review period						*		
Public hearing							X	
Assistance with the adoption process							■	■
Distribution / Submit to MDNR								*

Key:
 ■ = Action
 X = Meeting
 * = Submit

It is understood that the township has gathered public input through an online survey and an open house event. In our review of the RFP, it appears that the gathered public input will meet the MDNR’s criteria for public input. We have included additional public engagement options within this section of the proposal for consideration. These will be reviewed as part of the kick-off meeting to determine if additional public engagement would provide vital information.

Public Engagement Options

Below is a list of different optional public engagement techniques the township may use in addition to the township’s online survey and open house. Advantages and disadvantages are listed for each.

Public Engagement	Advantages	Disadvantages
<p>Stakeholder Interviews Conduct a series of one-on-one meetings or phone interviews (30 minutes each/maximum of 10) with developers, property owners, and residents within the community.</p>	<ul style="list-style-type: none"> Detailed feedback Allows for a one-on-one conversation about the community Allows for follow-up questions 	<ul style="list-style-type: none"> Relatively low proportion of the community’s population involved
<p>Focus Group Interviews Conduct a series of group meetings (1 hour each/3-7 people per group/maximum of 7 groups). The focus groups can include groups with a variety of age groups (high school students, college age, young working people, seniors, etc.) that shop or otherwise visit the city that might not otherwise participate as well as other groups, such as local business organizations and neighborhood associations.</p>	<ul style="list-style-type: none"> Detailed feedback Ability of participants to build on one another’s ideas More members are included than the stakeholder interviews Allows for follow-up questions 	<ul style="list-style-type: none"> Small groups are sometimes dominated by one or two people
<p>Town Hall Meeting Citizens attend a meeting to discuss their thoughts and bring up ideas for the plan.</p>	<ul style="list-style-type: none"> Relatively low cost This can be facilitated in a web-based forum based on village policies to navigate COVID-19 social distancing requirements 	<ul style="list-style-type: none"> Somewhat low participation rate Not very detailed information
<p>Community Visioning Meeting Citizens attend a meeting and break into small groups to brainstorm on community issues and their vision of the community’s future.</p>	<ul style="list-style-type: none"> Very detailed feedback Ability of participants to build on one another’s ideas 	<ul style="list-style-type: none"> Relatively low participation rate Small groups are sometimes dominated by one or two people

Key Personnel

We have selected a project team of highly qualified staff who have experience with the park planning and design. This team will bring their experience to your recreation plan process along with the resources to work through any issues that arise and will deliver a quality project on time and on budget. All staff members will collaborate and hold regular progress meetings throughout the project.

ROWE understands the staff assigned to a project is the most important function of the successful completion of that project. Descriptions below highlight how each team member contributes to the achievement of a quality project. Detailed resumes for team members are included.



Jeffery A. Miller, PLA
Project Manager

Jeff joined ROWE in 2019 with more than 20 years of experience designing projects including parks, sports fields, campus traffic circulation, streetscapes, natural resources access, and non-motorized pathways.

Jeff has been involved in a multitude of projects from concept development through contract administration. This includes facilitating design charrettes, presenting designs to clients and/or public, refining design, seeing them through to construction documents, and construction observation and contract administration.



Rick A. Freeman, PE
Principal in Charge

Rick will facilitate coordination of tasks and ensure the project remains on schedule for delivery. He has worked at ROWE for 21 years and is the Director of Engineering. Rick has managed and provided QA/QC on several road and underground utility projects and is available at any time the township wants to discuss the project.



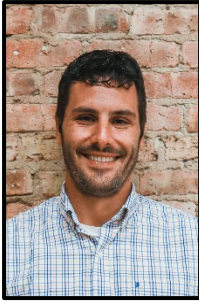
Douglas R. Shultz, PLA
Quality Assurance / Quality Control (QA/QC) Manager

Doug came to ROWE 19 years ago with nine years of professional experience. He has extensive experience with gathering public input and engaging the public through a variety of avenues. Doug will work as a team resource to share input and review the plan at key milestones in the process. He has extensive park experience throughout the state and will ensure the project meets the ROWE standards throughout the process.



Blake D. Strozier
Graduate Landscape Architect

Blake will assist the team with data collection, updating plan sections and graphics. Blake has worked on numerous parks and recreation plans across the state and will assist with concept design, plan graphics and production.



Jason K. Ball, AICP
Senior Planner

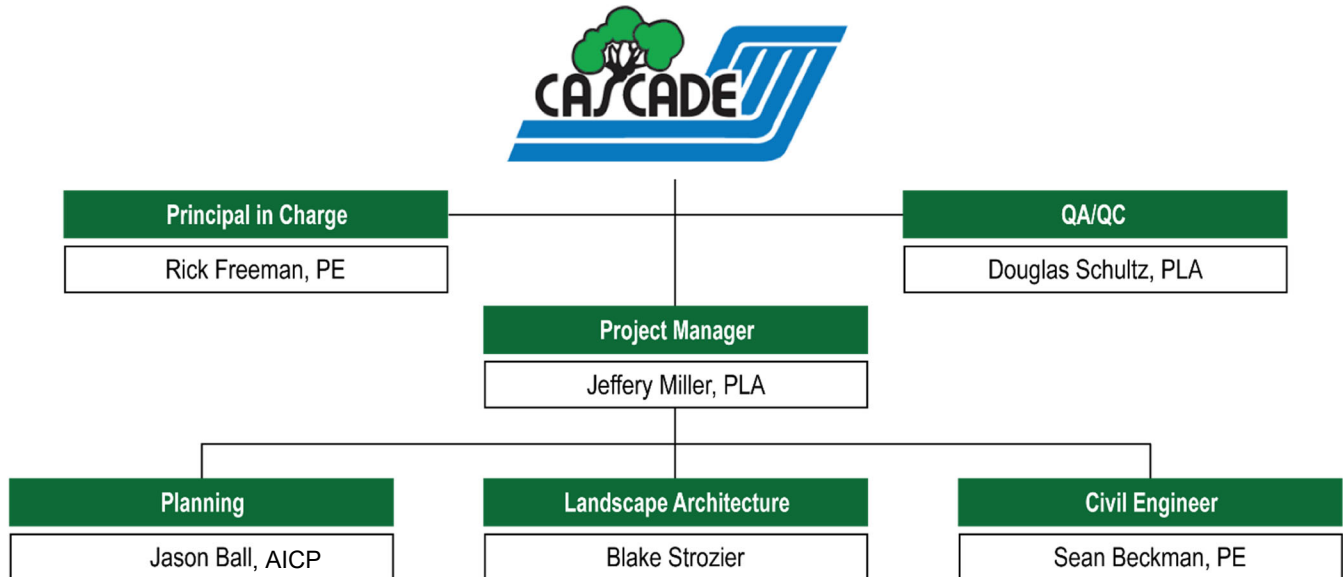
Jason joined ROWE in 2021 and has over 13 years' experience in planning and community development in Michigan, having completed projects in 80 of Michigan's 83 counties. Jason will serve as a team resource to field planning questions and review the plan at key milestones in the process.



Sean N. Beckman, PE
Civil Engineer

Sean has 10 years of project management and consulting engineering experience. He will assist in evaluation of existing utility infrastructure and development of proposed strategies to address deficiencies and support future growth. Sean will be available to the team to provide engineering support related to the plan.

Organizational Chart





Jeff joined ROWE in 2019 with more than 24 years of experience designing projects including parks, sports fields, campus traffic circulation, streetscapes, natural resources access, and non-motorized pathways.

Jeff has been involved in a multitude of projects from concept development through contract administration. This includes facilitating design charrettes, presenting designs to clients and/or public, refining design, seeing them through to construction documents, and finally construction observation and contract administration.

Education

Bachelor of Landscape Architecture (Michigan State University, 1995)

Registration

Licensed Landscape Architect
Michigan: 1999 (3901001280)

Relevant Project Experience

H2A Architects

- *Rochester Hills Fire Station #1 (Rochester Hills, MI)* Lead designer for the reconstruction of the parking lot serving the fire station. Responsibilities included layout and grading for the parking lot, preparation of plans and specifications, and coordination of permits. (2020)

City of Au Gres, MI

- *Marina and Park Plan:* Landscape architect for development of a site concept master plan including redevelopment of a harbor of refuge marina facility originally owned by the Michigan Department of Natural Resources that was turned over to the city. The plan includes a new pavilion, splash pad and themed play equipment, parking, kayak launch, restroom improvements, shade structures, and other park improvements (2019).

West Street Industrial Park - City of Cedar Springs, MI

- Design of infrastructure improvements that will enable the city to establish an industrial park. Project funded by the EDA and includes the design of roadways, storm sewer, sanitary sewer, sewer pump station, water main, earthwork and site restoration. Project also includes survey, permitting, grant administration, construction engineering and oversight services.

Brent Run Landfill Expansion, Montrose Township, MI

- Design of a new 10,000 square foot maintenance facility and 3,200 square foot office building. Project includes coordination of major haul roads, staff and visitor parking, leachate force main, wetlands and floodplains with EGLE, MDOT commercial drive approach, public utility connections.

Arrow Veterinary Clinic, Lowell Township, MI

- *Design of a new 5,400 square foot veterinary clinic.* Project includes coordination of wetlands and floodplains with EGLE, MDOT commercial drive approach, public sewer connection and private well.

Allen Edwin Homes, Byron Center, MI

- *Rolling Meadows No. 5 & No. 6 with 4 Metes & Bounds Parcel Splits, Jamestown Township:* Two new residential plats including 42 lots in a planned residential development. Project included public roads, water, sanitary sewer and stormwater management system. Significant tasks include balancing the final phases of the project and creating buildable lots in steep terrain.



- *Bluejay Crossing, Holland Charter Township:* New residential site condo with 22 sites. Project included a new private road, public water and sanitary sewer, and stormwater management. Significant tasks included balancing the site which was an old blueberry field (high ground water, low site).
- *Echo Valley East, Delta Township, Eaton County:* Two new residential plats including 72 lots. Project includes public roads, water, sanitary sewer and stormwater management. Significant tasks include balancing a 30-foot hill within the project phasing; wetlands permitting and addressing 100-year floodplains.

MEM Design, Grand Rapids, MI

- *The Office Outlet, City of Zeeland, MI:* A 10,000 square foot industrial expansion in the downtown core. Project included provisions for truck access, stormwater management on a tight site, and building concerns with zoning and adjacent railroad.

Stelma Properties, Cedar Springs & Solon Township, MI

- *White Pine Trails Residential Development:* Conceptual design and feasibility study for approximately xx-acres in the city and Township. Tasks included exploring water and sanitary sewer alternatives, traffic alternatives and potential wetlands impacts. Study determined that what was once thought 'unbuildable' could be developed into 130-residential lots.

Argo Kayak Livery Site Improvements, City of Ann Arbor, MI

- Design assistance for an accessible kayak launch, parking lot, fishing boardwalk, pathways, rain garden, and signage improvements for successful MDNR grant application. One of the state's busiest kayak liveries.

Harbor Park Improvements, Village of Port Sanilac, MI

- Design assistance for accessibility improvements at the Village's lakeside park. Project connected the municipal boat launch, parking, restroom, playgrounds and other community resources. Project funded through grants and community donations.

Oakland County Parks - Red Oaks Splash Pad, Madison Heights, MI

- Design assistance for improvements to Splash Village, Lazy River Ride and associated maintenance facilities and guest spaces. Project included protecting existing attractions; updating mechanical facilities; and expanding and enhancing the splash pad. Project completed as part of the Parks Departments \$28-million 2020 budget cycle.

Consumers Energy

- *VS Replacement, Gun Plain Township:* Design and permit assistance for 2020 improvement projects to CE's Plainwell Valve Site Pressure Limiting Device (PLD) and building. Tasks including site plan and county agency approvals relating to new 580 square foot building and entry drive. Particular care was given to screening neighbors during construction activities.

Following is Experience with Other Firms

Michigan Department of Technology, Management and Budget/Michigan Department of Natural Resources, Cadillac, MI – LeRoy, MI

- *White Pine Trail State Park Paving:* Project manager for non-motorized linear park paving. The construction included paving the White Pine Trail from Cadillac to Leroy Michigan (14 miles). The project included coordinating with stakeholders: DNR, DTMB, MDOT, impacted municipal agencies, and trail organizations, designing the trail for snowmobile use, intersection design, creating construction documents (MDOT format), construction observation, and contract administration.



Rick joined ROWE as a project manager in 1998 with 12 years' experience. He was promoted to deputy director of engineering in 2000, named an associate (owner) in 2002, a principal in 2006, and director of engineering in 2018. He utilizes his extensive experience on various planning and infrastructure projects, including site design, hydraulics and hydrology, drain, sanitary and storm sewer, and water main. He also works extensively with MDOT and local agencies on highway and bridge projects.

Education

B.S., Civil Engineering (Michigan State University, 1986)

Registration

Professional Engineer

Michigan: 1990 (no. 6201036056)

Wisconsin: 1998 (no. 33034)

Indiana: 1998 (no. PE19800455)

Minnesota: 1998 (no. 26195)

South Carolina: 2008 (no. 26486)

Continuing Education

Graduate of Community Leadership Program for Flint and Genesee County

Affiliations

- Michigan Society of Professional Engineers, Flint Chapter (Past-President)
- National Society of Professional Engineers
- Society of American Military Engineers, Detroit Post
- Community Foundation, Greater Flint (Member of former Energy Committee)

Relevant Project Experience

City of East Tawas, MI

- *Cruise Ship Feasibility Study*: Principal in charge/ senior project manager for complete structural and docking feasibility study for improvements to Tawas Harbor Pier for developing a "port-of-call" for Great Lakes cruise ships. Worked with United Design Associates (UDA) and regulatory agencies (MDEQ, MDNR, and USACE) to develop cost estimates and conceptual plans (2009).

City of Au Gres, MI

- *Marina and Recreation Plan*: Principal in charge for development of a five-year recreation master plan including redevelopment of a harbor of refuge marina facility the city received from the Michigan Department of Natural Resources (2018).

The Roxbury Group, Ann Arbor, MI

- *Broadway Park Development Traffic Study*: Principal in charge for project that included redevelopment of a former DTE site on Broadway Street; access to the site is limited to one driveway onto the Broadway Street. ROWE ensured adequate operation of the single access point and good site circulation by identifying traffic impacts of the development on adjacent streets and intersections, pedestrian circulation and facilities, parking requirements via a shared parking analysis, and overall site roadway geometry. (2018-2020)

City of Vassar, MI

- *Cass Avenue Reconstruction and Moore Drain Wall Repair*: Principal in charge for design and construction engineering for reconstruction of Cass Avenue, from M-15 to Oak Street, with concrete curb and gutter, HMA pavement, and new sidewalks. Includes storm sewer system improvements and the design and construction engineering for repair of the western retaining wall along the Moore Drain north of M-15. Project utilized CDGB funding obtained through the Cool Neighborhoods program (\$215K construction; 2010).

City of Owosso Downtown Development Authority, MI

- *As-Needed Landscape Architecture Services:* Principal in charge of project assisting city/DDA with project scoping, design, and implementation of a \$1M “Vibrant Cities” grant through MSHDA. Developed fast-track concepts for: improvements to riverfront area, parking lot, alleyway, and Farmers Market; development of a new town square; and streetscape reconstruction. Provided oversight to architectural subconsultant for a historic facade program to maximize impact for current funding. All new construction complied with current ADA guidelines. Coordinated a major historic building renovation with private stakeholders, in conjunction with the MSHDA grant that required SHPO review of facade concepts (2007-2008).

City of Beaverton, MI

- *Hydroelectric Dam Repairs:* Principal in charge for preparation of construction plans, specifications, and bid documents for installation of a steel cofferdam system, steel tainter gate repair, timber stop log replacements, gate seal replacements, and structural concrete rehabilitation. Coordinated project with the Federal Energy Regulatory Commission, Michigan Department of Environmental Quality, and Michigan Department of Natural Resources (\$1.4M construction; 2009).

City of Adrian, MI

- *Comstock Park Retaining Wall (Awarded 2014 Public Works Project of the Year, Structures Category [Small Cities / Rural Communities], Michigan Chapter, American Public Works Association):* Principal in charge for fast-track concept development and design for replacing 500 linear feet of retaining wall along the River Raisin. Strategic design reduced permitting impacts and associated costs, resolved utility and maintenance issues, and enhanced accessibility. Unique elements addressed a historic cobblestone wall and artesian well for replacement of a combined pedestrian and low-volume vehicular bridge providing access to a local park (\$675K construction; 2013).
- *Kiwanis Trail Bridge:* Principal in charge for scoping, concepts, funding, permits, construction drawings and construction assistance for 0.13 mile of trailway and elevated boardwalk design and 83-feet of prefabricated non-motorized bridge over the River Raisin. The project extended the city trail network and developed a parking lot and trailhead meeting ADA compliance within a flood prone area. Work coordinated with a separate sanitary sewer crossing (\$453 construction, 2010).

City of Adrian, MI / Blissfield Railroad Company

- *Railroad Bridge Inspections:* Detailed field inspection and measurements, MDOT bridge reporting, load capacity analysis on two railroad bridges in and around Adrian, Michigan. One bridge is a field stone and concrete arch supporting one rail line; the other is a deep pin connected truss, supporting one rail line. ROWE physically measured up both structures, including all critical members of the truss and completed a detailed load rating analysis using LRFD and a diesel train engine as the traveling vehicle. A finite element analysis was needed to complete this task. Upon completion of field work and load calculations, MDOT forms were completed along with a comprehensive bridge inspection report with recommendations for each structure (2008).

City of Fenton Local Development Finance Authority, MI

- *Shiawassee/Rounds Intersection:* Senior project manager overseeing project administration, coordination on design, detailing and construction engineering for Shiawassee Avenue/Rounds Street intersection improvements, including placement of a signal traffic light on a mast-arm mounting configuration. Project included lane widening, designated left-turn lanes, and enlarged turning radii. Also featured placement of concrete sidewalks at the intersection's four quadrants on Grant Street. MDOT Traffic and Safety personnel reviewed and approved the project, since Shiawassee Avenue is the business loop for US-23. This project used MDOT's Traffic and Safety practices and procedures (\$150K construction; 2008).

Doug joined ROWE in 2000, after nine years as a landscape architect with a Lansing-area multi-disciplined firm. As a senior project manager, Doug assists clients corporate-wide with quality of life issues on all projects, from concept to completion. He was named an associate (company shareholder) in 2003.

Education

B.L.A., Landscape Architecture (Michigan State University, 1991)

Registration

Licensed Professional Landscape Architect:

Michigan: 1994 (no. 1190)

South Carolina: 2007 (no. 1020)

Certifications / Continuing Education

- Fred Kolmann, CTCB course on Pursuing Excellence in Tennis Court Design (2019)
- AASHTO Bicycle Facility Design Training, MDOT (2020)
- Graduate of Community Leadership Program for Flint and Genesee County
- MDEQ Storm Water Management – Construction Site
- National Playground Safety Inspection

Relevant Project Experience

Midland County Parks and Recreation, Midland MI

- *Edenville Park Master Plan*: Project manager leading various public meetings to address local stakeholder issues on how to develop a newly acquired property along Sanford Lake. (2018)

Oscoda Township, MI

- *Iosco Exploration Trail Phase 3*: Project manager and lead landscape architect for the survey, design and grant assistance for a 5.3 mile new multi-use path to be included in the Iron Belle Trail System. The trail included an accessible crushed limestone surface and navigating a pedestrian and bicycle route through a constrained village location with right of way limitations. The design required coordination with the US Forest Service, MDNR, Road Commission and Consumers Energy for easements and license agreements for the proposed trail. Wetland delineation, T/E review and extensive historical archeological review and field investigations were coordinated as required for a project using federal funding. Plans included addressing EMR sensitive habitat areas. ROWE worked with NEMCOG and a trail committee to host public input as part of the design process and TAP grant application. (\$2.3M construction; on-going)

Midland Community Center Corporation, Midland, MI

- *Midland Tennis Center Master Plan (Midland, MI)*: Schematic design and concept development for future upgrades to a regional competitive outdoor tennis complex including spectator seating areas and expansion of clay courts. (2009)

Ruth Mott Foundation, Flint, MI

- *Flint River Trail –Gilkey Creek Extension*: Project manager coordinating with City of Flint, Mott Community College, and Applewood Estate to prepare a concept and enhancement grant application for a key 1.3-mile extension of the Flint River Trail. The project was a fast-track supplement to the \$2.5M flood mitigation project daylighting Gilkey Creek. Required close coordination with JJR, Inc. design team to coordinate design effort with a project nearly out to bid, as well as providing easement documentation and maintenance provisions for the trail. Also provided design options for navigating steep slopes and tight roadway conditions to meet ADA and AASHTO design guidelines and unprecedented pervious HMA surface (\$800K construction; 2007).

City of Farmington Hills, MI

- *Riley Archery Range* (Awarded 2016 Facility Design Award, Michigan Recreation and Park Association): Worked closely with city staff as a partnership to design a precedent-setting outdoor archery range and parking expansion. The concept and site design required extensive grading and sensitivity to the adjacent drain, historic art facility, and nearby nature center. Tasks were shared with city staff to minimize project costs (\$54K construction; 2014).

City of Northville / Northville Township, MI

- *Joint Five-Year Community Recreation Plan*: Project manager for creating a public engagement process involving both consultant and staff efforts. This was a joint plan between the city and township that also included the consideration of Wayne County and State of Michigan recreation facilities. The plan spanned extensive staff changes and transition from the city to township-centered park administration (2017).
- *Outdoor Archery Range*: Project manager and lead landscape architect responsible for developing a site plan, building details and schematic drawings for a grant application to MDNR for an outdoor archery range, accessible pathway, parking access and electrical service. (2020)

City of Stanton, MI

- *Veterans Memorial Park*: Worked with community groups to develop an 18-acre park facility plan including a veterans' memorial, sports fields, trail connection, and other adaptive use facilities to help build community spirit and embrace memories of the veterans. MDOT TAP and MDNR funds were approved for the project (2016).

City of Davison, MI

- *Park Master Plan*: Worked with city and stakeholder representatives to prepare concept plan alternatives and feasibility plan to expand Jack N. Abernathy Regional Park. Expansion would include new parking, safer pedestrian circulation, new sports fields, a spray park, and trail connections to township facilities. A storm water management / wetland feature was also included in the plan (2006).

City of Frankenmuth Parks and Recreation, Frankenmuth, MI

- *Cass River Water Trail*: Developed concept plans and three MDNR grant applications for development of a coordinated water access trail at three sites along the Cass River in the City of Frankenmuth, City of Vassar, and Tuscola Township (2009).

City of St. Johns, MI

- *Clinton Avenue Streetscape*: Assisted the city and its Downtown Management Board in preparing concept design and preliminary cost estimates for a multi-phase streetscape project, based on the design effort from the MSU STDI program. Project included site furnishings, lighting, pedestrian crossing, traffic-calming measures, landscaping, and coordination with historic depot reuse. Project also included a successful Transportation Equity Act (TEA-21) grant application. Completed work within a tight (five-to-six week) schedule (2001).

City of Jackson, MI

- *Loomis Park Master Plan*: Project manager for facilitating public engagement and completing a master plan for a 14-acre park and architectural evaluation of the Boos Recreation Center (\$8K contract; 2017).

City of Au Gres, MI

- *Marina and Recreation Plan*: Project manager for development of a five-year recreation master plan including redevelopment of a harbor of refuge marina facility the city received from the Michigan Department of Natural Resources (2018).



Blake D. Strozier **Graduate Landscape Architect**

Blake joined ROWE in 2013 and is responsible for preparing color renderings, concept drawings, construction documentation, and planting plans while aiding in overall site development, design, and construction observation and testing.

Education

B.S., Landscape Architecture (North Carolina Agricultural and Technical State University, 2011)

Certifications / Continuing Education

- Certified Concrete Field-Testing Technician (Michigan Concrete Association)
- Certified Density Technician (2014-2019) (Michigan Department of Transportation)

Affiliations

- Alpha Phi Alpha Fraternity, Inc. – Epsilon Upsilon Lambda Chapter
- Eureka Lodge No. 16 Prince Hall Affiliated (F&AM)
- Gamma Delta Kudos Alumni Mentor
- Tabernacle Missionary Baptist Church, Saginaw, MI (Senior Pastor)
- NAACP – Flint Chapter
- Flint Community Schools – Board of Education (Trustee)

Client Comments

- *“Blake is...a great listener and saw some of the ‘out of box’ concepts I was interested in. I really appreciated that. He is a wonderful representation of the kind of people I’ve come to know at ROWE over the last 20+ years.”* 2014, Vince Paris, Southern Lakes Parks and Recreation (Five-Year Parks and Recreation Plan)
- *“We are extremely pleased and grateful for the awesome work ROWE... was able to accomplish in such a time crunch.”* 2013, Steve Wolbert, Diplomat Specialty Pharmacy (honored by *Inc.* magazine as one of the nation’s fastest-growing companies for the fourth consecutive year) (MDNR Grant Applications)

Relevant Project Experience

Five-Year Community Recreation Plans

- Joint – City of Flushing, Flushing Charter Township, Flushing Schools (2015)
- Joint – City of Northville, Northville Township (2019)
- Cities of AuGres (2019), Beaverton (2019), Charlotte (2019), Dearborn Heights (2014), Livonia (2017), Omer (2013, 2018), Swartz Creek (2018)
- Villages of Port Sanilac (2018) and Sanford (2019)
- Imlay (2015), Meridian (2017), Mills (2018), Mundy Charter (2017) Townships
- Fenton Township amendment (2017)
- Shiawassee County Parks and Recreation Commission, 2016
- Southern Lakes Parks and Recreation (2014)

City of Charlotte, MI

- *Five-Year Parks and Recreation Plan:* Graduate landscape architect for the development of an MDNR five-year plan addressing development projects throughout the city and Carmel and Eaton townships as part of the Charlotte Area Recreation Cooperative (ongoing).

City of Caro, MI

- *Farmers Market Rendering:* Graduate landscape architect for rendering of the site, including 3D graphics, currently occupied by a tire shop (2019).

City of Farmington Hills, MI

- *Riley Archery Range*: Worked closely with city staff as a partnership to design a precedent-setting outdoor archery range and parking expansion. The concept and site design required extensive grading and sensitivity to the adjacent drain, historic art facility, and nearby nature center. Tasks were shared with city staff to minimize project costs (2014).

City of Au Gres, MI

- *Marina and Recreation Plan*: Graduate landscape architect for development of a five-year recreation master plan including redevelopment of a harbor of refuge marina facility the city received from the Michigan Department of Natural Resources (2018).

City of Dearborn Heights, MI

- *Five-Year Recreation Plan*: Graduate landscape architect leading committee through development of its five-year recreation plan, including goals, objectives, and action plan for various park facilities (2014).

City of Stanton, MI

- *Veterans Memorial Park*: Graduate landscape architect for working with community groups to develop an 18-acre park facility plan including a veterans' memorial, sports fields, trail connection, and other adaptive use facilities to help build community spirit and embrace memories of the veterans. MDOT TAP and MDNR funds were approved for the project (2016).

City of Jackson, MI

- *Loomis Park Master Plan*: Graduate landscape architect for facilitating public engagement and completing a master plan for a 14-acre park and architectural evaluation of the Boos Recreation Center. Also assisted with a grant application to secure funding for potential redevelopment efforts (\$8K contract; 2017).

City of Mt. Pleasant, MI / Charter Township of Union / Friends of the Dog Park

- *Mission Creek Dog Park / Hannah's Bark Park*: Graduate landscape architect for the completion of feasibility study, design concepts, and construction plans for a three-acre off-leash dog park that offers residents and their canine friends a place to have fun, socialize, and exercise. The park is fully fenced and includes separate areas for large and small dogs. It also has a safe double-gated key fob entry system, potable water service, benches, waste receptacles, a pavilion shelter, signage, concrete sidewalk, and concrete curb and gutter (\$117,600 construction; 2015).

Mundy Charter Township, MI

- *Five-Year Recreation Plan*: Graduate landscape architect leading committee through development of its five-year recreation plan, including establishing goals, objectives, developing an action plan, and assisting township in concept/site renderings for potential park properties (2016).

Delta Charter Township, MI

- *Non-Motorized Plan*: Graduate landscape architect crafting an extensive public input process and engineering analysis to prioritize routes and update long-range capital plan in conjunction with regional stakeholders, funding, and other strategic factors (2018).

Ingham County Parks and Recreation Commission, MI

- *Lake Lansing Park North Improvements*: Graduate landscape architect for survey, landscape architecture, engineering, and architecture design services for accessible parking, pathways, boardwalk replacement, drive improvements, and restroom building accessibility upgrades with JFR Architects, PC. Adjusted grant concepts to provide more cost-effective solutions for accessible routes. MNRTF grant-funded project (2019).

Jason joined ROWE's Planning Department in 2021 as a senior planner. Since beginning his career in community development in 2008, he has been responsible for a wide range of projects including community plans, corridor studies, economic development strategies, statewide reports, grant applications, and training programs. His responsibilities at ROWE include planning and zoning services with municipal clients, development of master plans, and supporting economic development and grant proposal development activities.

Education

M.U.R.P., Urban and Regional Planning (Michigan State University, 2008)
B.A., Political Science and Biology (Grand Valley State University, 2005)

Continuing Education/Certifications

- National Charrette Institute Certification
- Form-Based Code Certification
- American Institute of Certified Planners (AICP)
- Redevelopment Ready Communities Best Practices

Affiliations

- American Institute of Certified Planners
- American Planning Association
- Michigan Planning Association

Relevant ROWE Project Experience

Zoning Ordinance Updates

- Village of St. Charles
- City of Gladwin

Planning and Zoning Review/Administration Services

- City of Holly
- Village of Almont

Following is Experience with Other Firms

Community Plans

- City of Flint Choice Neighborhoods Plan
- Place-Based Targeting Strategies for housing investments in 76 Michigan counties

Corridor Plans

- Michigan/Grand River Avenue Alternatives Analysis

DDA Plans and Tax Increment Financing Plans and Reports

- Lansing/East Lansing Smartzone Plan

Reports and Strategies

- Defining & Advancing Social Enterprise in Michigan's Legacy Cities (2017)
- Accelerating Capital Strategy for Lansing's Capital Region (2015)
- Review of Michigan Critical Sand Dune Permits (2010)



Sean joined ROWE in 2019. He has 10 years of experience providing leadership in both private development (residential, commercial, educational and industrial) and public / municipal (roadway, MDOT LAP, utility) projects. His expertise includes roadway and bridge design, traffic signal and transportation signage, multi-model / shared-use path design, public utility infrastructure design / upgrade (water transmission mains, storm and sanitary sewers), landfills, marinas, embankment stabilization, soil erosion and sedimentation control, and storm water management.

In addition to his civil engineering expertise he has experience in conceptual planning, site planning, asset management and capital improvement planning, development of engineer's opinion of probable construction cost, plan development and scheduling, preparation of project specifications, permitting and grant assistance, construction administration, survey and construction staking. He is proficient with relevant software programs including AutoCAD™ Civil 3D, Microstation™ drafting programs, InRoads™, Microsoft Project™, Primavera P6™, WaterCAD™, HydroCAD™ and MERL™ among others.

Education

B.S., Civil Engineering (Michigan Technological University, 2011)

Registration

Professional Engineer

Michigan: (2015) (no. 6201062008)

Tennessee: (2018) (no. 00121438)

Affiliations

- American Society of Civil Engineers
- Michigan Society of Professional Engineers
- American Public Works Association

Project Experience

City of Jackson, MI

- *2020 Non-Motorized Trail*: Project manager for the design of a new 10-ft wide concrete non-motorized path and pedestrian bridge over the Sharp Drain. Project includes grading, drainage improvements, concrete path, ADA ramps, new sidewalk, pedestrian bridge, signage, and site restoration. Provided survey, design, permitting, grant administration, construction engineering, and oversight services. Project funded by Safe Routes to School and local funds. Project let through MDOT LAP.

City of Charlotte, MI

- *Safe Routes to School*: Project manager for the design and construction of 1.5 miles of new sidewalk in the City of Charlotte. Project includes pavement removal, new sidewalk, ADA ramps and restoration. Provided survey, design, permitting, construction engineering, and oversight services. Project let through MDOT LAP.
- *E. Harris Street Reconstruction*: Project manager for the reconstruction of E. Harris Street. Project includes pavement removal, storm sewer replacement/re-routing, sanitary sewer replacement, new watermain, ADA ramps, sidewalk repair, new curb and gutter, on street parking, and restoration. Provided survey, design, permitting, construction engineering, and oversight services. Project let through MDOT LAP.
- *Independence Boulevard Improvements*: Project manager for the reconstruction of Independence Boulevard. Project includes pavement removal, storm sewer, drainage improvements, new sidewalk, ADA ramps, and site restoration. Provided survey, design, construction engineering, and oversight services.
- *Parking Lot #1 Reconstruction*: Project engineer for the reconstruction of Parking Lot #1 in the Charlotte. Project includes pavement removal, storm sewer replacement/re-routing, sanitary sewer replacement, ADA ramps, stamped and colored concrete, landscaping, picnic area, new curb and gutter, and site restoration. Provided survey, design, permitting, construction engineering, and oversight services.

- *Local Street Resurfacing 2020:* Project manager for the resurfacing of Sheldon Street, First Street and Tully Brown Drive in Charlotte. Project included a mix of cold milling HMA surface, pavement removal, joint repairs, HMA crushing and shaping, ADA ramp upgrades and site restoration. Provided survey, design, permitting, construction engineering, and oversight services.

City of Cedar Springs, MI

- *West Street Industrial Park:* Project manager for the design of infrastructure improvements that will enable the City to establish an industrial park. Project funded by the EDA and includes the design of roadways, storm sewer, sanitary sewer, sewer pump station, water main, earthwork and site restoration. Project also includes survey, permitting, grant administration, construction engineering and oversight services (ongoing).

City of East Lansing, MI

- *2021 Major Street Improvements:* Project manager for design and construction services for a project that includes HMA base crushing and shaping, paving, sidewalk improvements, ADA ramps, storm sewer improvements, sanitary system spot repairs, water system improvements, permanent signage, and restoration. Project includes a TAP grant for lane diet to include bicycle lanes in both directions. Project let through MDOT LAP.
- *2020 Major Street Improvements:* Project engineer providing QA review services. Project includes HMA base crushing and shaping, paving, sidewalk improvements, ADA ramps, storm sewer improvements, permanent signage and restoration. Job No.:129976 & 129979, Control Section: 33000 (ongoing).

City of Frankenmuth, MI

- *Crosswalk Improvement Project:* Project engineer providing QA review services. Project includes concrete cold milling, pavement removal, pavement repairs, paving, sidewalk improvements, ADA ramps, drainage improvements, structure adjustments and restoration.

Nottawaseppi Huron Band of the Potawatomi, Fulton, MI

- *SAW Grant:* Project manager for the construction of pow wow ground improvements. Project includes construction of new driveway, pedestrian path with geogrid ground stabilization product, underdrains and site restoration.

Warner Norcross + Judd, LLP, Midland and Gladwin Counties, MI

- *Edenville and Smallwood Dam Sites:* In the role of an expert witness, provided Feasibility Study and Cost Estimates for two potential developments impacting federally regulated dams. One project included single-family homes, along with a proposed boating channel, marina improvements and other site improvements. The other project included a large campground (with lots ranging from extended stay to full hook-up to overnight guests), boat launch, hotel, restaurant along with related facilities and improvements. Services provided included review of available local, county and state resources; determination of need and feasibility of for various state and federal permits; as well as determination of federal guidelines pertaining to proposed developments. Cost estimates included estimations based on current bidding climate and assessment of overall project costs.

Oscoda Township, MI

- *2020 SRF and DWRF Project Plans:* Project engineer providing planning and engineering services to complete an SRF and DWRF project plan. Assisted the township with applying for SRF funding to improve fourteen sanitary system lift stations, fine screen at wastewater lagoon and a force main under the Au Sable River. Also assisted the township with applying for DWRF funding to expand the public water system over a five-year period to residents on private wells impacted by PFAS groundwater contamination.



Pricing Methodology

ROWE Professional Services Company proposes the following total project cost to the update the Cascade Charter Township Parks, Recreation and Open Space Plan.

Item	Cost
Meeting Preparations and Kick-Off Meeting	\$1,860
Public Input*	TBD
Draft Updates, and Findings Meeting with Township	\$3,080
Draft Plan to Township, and Review Meeting with Township	\$2,110
Draft Plan Revisions, and Submit Plan for Public Review.....	\$1,560
Final Plan, Public Hearing, and Deliverables to Township.....	\$1,090
Total	\$9,700

* Public Input will be discussed with the township at the project kick-off meeting. We can provide additional public engagement services as outlined in the Public Input section of this proposal.



Authorized Negotiations

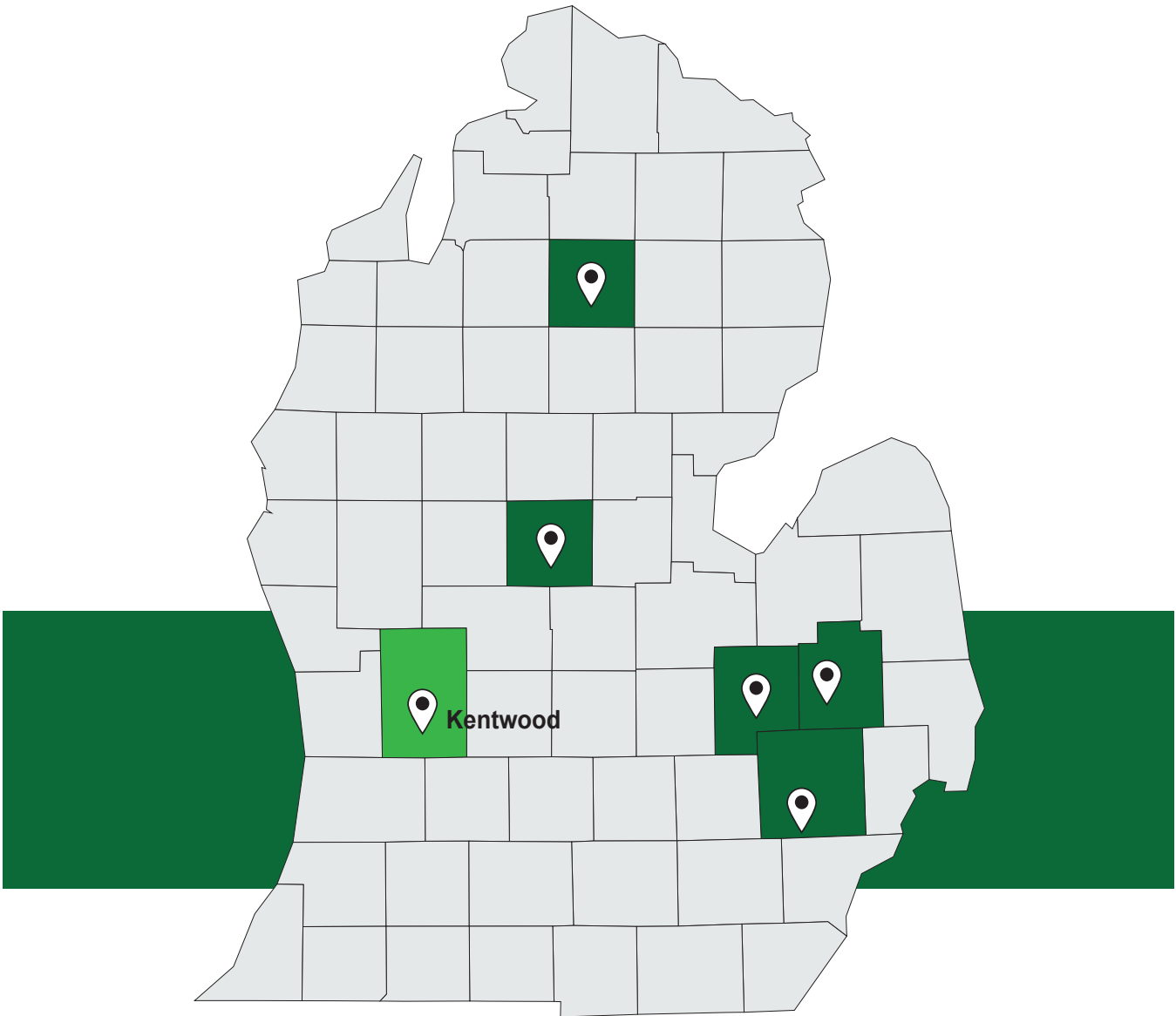
The person authorized to negotiate the proposed contract with the township's issuing office is:



Rick A. Freeman, PE
Vice President, Director of Engineering
540 S. Saginaw Street, Suite 200
Flint, MI 48502
Phone: (810) 341-7500
Fax: (810) 341-7573
Email: RFreeman@rowepsc.com

Client Information (Team Members)	Project Name, Location, and Date of Completion	Cost	Specific Challenges
<p>City of Au Gres Dale Wiltse, Manager (989) 313-0608 citymanager@cityofaugresmi.com (Douglas Schultz, PLA, and Blake Strozier)</p>	<p>Au Gres Parks and Recreation Plan, January 2019</p>	<p>\$6,500</p>	<ul style="list-style-type: none"> • Included unique public engagement methods including a brochure / survey, intercept surveys at high school game and campground
<p>Holly Township Parks Tony Brinker, Director (248) 634-1758 brinkert@hollyparks.org (Douglas Schultz, PLA, and Blake Strozier)</p>	<p>Holly Township Parks and Recreation Plan, January 2021</p>	<p>\$12,000</p>	<ul style="list-style-type: none"> • Planning process conducted during covid pandemic, included a park concept plan. • Defined separate role for township vs. park commission facilities within the same municipal boundaries
<p>Village of Port Sanilac Gale Travis, DPW Director (810) 622-9963 gale_d@att.net (Douglas Schultz, PLA, and Blake Strozier)</p>	<p>Port Sanilac Parks and Recreation Plan, January 2018</p>	<p>\$3,300</p>	<ul style="list-style-type: none"> • Limited scope required coordination with village to provide a majority of the documentation for the plan
<p>Mills Township Dan Bloom, Former Supervisor (989) 832-2293 (Douglas Schultz, PLA, and Blake Strozier)</p>	<p>Sanford Community Recreation Plan, January 2019</p>	<p>\$7,500</p>	<ul style="list-style-type: none"> • Development of the first recreation plan for the community. Provided a distinction from adjacent MDNR regional trail and county facilities.
<p>City of Northville, Northville Township Mark Gasche, Park and Recreation Director (248) 449.9941 mgasche@twp.northville.mi.us (Douglas Schultz, PLA, and Blake Strozier)</p>	<p>Northville Community Parks and Recreation Plan, January 2017</p>	<p>\$14,500</p>	<ul style="list-style-type: none"> • The plan was created during an administrative change from a shared parks department housed with the city to an independent township park department

The township has permission to contact any municipality or individual, whether offered as a reference or otherwise, to obtain information that will assist the township in evaluating this proposal.



ROWE OFFICE LOCATIONS

Flint (HQ) | Lapeer | Farmington Hills | **Kentwood** | Mt. Pleasant | Grayling | Myrtle Beach, SC

Proposal to Provide Professional Services To Cascade Charter Township For The Parks, Recreation, And Open Space Plan



PREPARED BY:



NOVEMBER 23, 2021



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Spicer Group, Inc.

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Byron Town Center
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Byron Center, MI 49315
Phone number: 616.458.8580

Project Manager

Cindy A. Todd, PLA
cynthia.todd@spicergroup.com
Office: 989-921-8940
Cell: 410-490-0413



Spicer Group is a full-service consulting firm providing professional community planning, engineering, surveying, geotechnical and architectural services to clients throughout Michigan. Our firm was founded in Saginaw, Michigan in 1944 by Clifford Spicer, a professional engineer and licensed surveyor. Since that time, we have grown to employ 280 employees in seven locations in Michigan and Georgia. Staff from our Michigan offices in Byron Center, St. Johns, Lansing, Manistee, Dundee, Traverse City, and Saginaw serve municipal, county, state, federal, private, industrial, commercial, and institutional clients across the country. Spicer Group is privately owned and incorporated in the State of Michigan.



Developing Michigan Department of Natural Resources (MDNR) approved 5-year Parks and Recreation Master Plans are a mainstay of Spicer Group's Planning Department. For the past two decades, our talented team of three AICP-certified planners, three licensed landscape architects, two AIA-certified architects plus additional technical staff, have provided parks and recreation master plans services for numerous communities.

We pride ourselves at Spicer Group in assisting local governments like Cascade Charter Township in the development of plans that are not only MDNR approved, but that can be implemented effectively and with the support of your citizens. The outcome of our planning process will be a Parks and Recreation Master Plan that will guide future park and recreation-related decisions and actions to be carried out by Cascade Charter Township.

In addition to parks and recreation plans, we help communities with grant writing, community master plans, zoning ordinances, park design and development and other planning related services. We are members of the Small Town and Rural Planning Division of the American Planning Association (APA), and we are three-time Small Town and Rural Planning Division award winners. Recently we have been awarded the National Association of County Park and Recreation Officials Trails and Corridors 2021 Class I Award for Ingham County's Parks trail wayfinding signage.

Spicer Group planners are technically proficient with graphics presentations, and our knowledge of software includes sophisticated applications such as Photoshop, Illustrator, InDesign, ArcGIS, and Google Earth Pro. We also have access to in-house architects and designers that use Sketch Up for 3-D renderings. We focus on producing graphics for reports and presentations that make them user-friendly and easy to understand.

Scope

The recreation planning process promotes the public interest in parks and recreation while maximizing community engagement with the plan. The Cascade Township Parks Committee has successfully used effective techniques to attract extensive and meaningful input from residents. The next step is for the Spicer Group team to review the gathered data and assist the Parks Committee and Township in analyzing the data and providing recommendations that are best for the Township. If after reviewing public input, it is determined that additional public input is needed, Spicer Group will assist in that process. In addition to reviewing public input Spicer Group will begin updates on the 2014-2019 plan including but not limited to demographics, administrative structures, inventory of existing parks, CAD-assisted mapping, working with the Park Committee and Township to develop goals and objective along with an action plan. We will work with the Township to prescribe useful and actionable goals that can be connected to future grant funding opportunities. We will prepare a draft plan for review and public comment along with final plan documents and copies.



Staff

The Spicer Group team will be led by Cynthia Todd working with Jennifer Stewart and Alan Bean, all very qualified and seasoned planners in the parks and recreation industry. This team has been delivering high-quality plans across the State for many years. Our office in Byron Center will be our location for plan preparation and development.

Schedule

A kickoff meeting in early January 2022 with the Parks Committee and Township staff will start the plan update process, monthly meetings and continual communication with the Township will effectively help Spicer conclude on the plan on or before the end of July 2022.



A unified, long-term vision for your parks and recreational facilities will be the cornerstone of the Cascade Charter Township Parks and Recreation Master Plan. We will ensure that strong connections are made with Township staff and the community to develop an effective and useful updated Parks and Recreation Master Plan.

We plan to meet with the Cascade Township Parks Committee throughout the planning process. We also anticipate several meetings with the Township's leadership and staff. The result of this Plan will be a document with targeted improvements that are achievable, complement existing Township initiatives, and respond to the needs and desires of the community.



Prior to discussing our approach and methodology, we feel it is important to recognize that some of our traditional processes may have to change or be altered due to the COVID-19 pandemic to fulfill the requirements listed in the MDNR publication titled, *Guidelines for the Development of Community Park, Recreation, Open Space and Greenway Plans* regarding meetings and public input. While it is our hope that we can hold public meetings in person, we will defer to the Township to modify our approach as necessary to ensure public safety. In this time of social distancing, Spicer Group is capable of coordinating and hosting meetings via Zoom, GoToMeeting, or Microsoft Teams.

Our services for this project are defined as follows:

Task 1 – Kickoff Meeting and Beginning the Plan

Spicer Group will meet with relevant Township staff to discuss the project goals and schedule. We will review and discuss any major park issues and developments that have occurred since the 2014 Plan was written. We will discuss the involvement of stakeholders, and we will discuss the online survey that was used for the 2014 Plan and review the current public input gathered by the Parks Committee.

Following the first meeting, Spicer Group will begin developing the draft of the plan document. Over the weeks following the kickoff meeting, we anticipate receiving certain information from Township staff regarding the Administrative Structure and Recreation Inventory sections. Much of this initial stage will simply be a review of the 2014 information to verify it is still correct. We will make changes as needed. We will also gather key information pertinent to the Recreation and Resource Inventory sections. This information will include:

- A map for the location of each park
- An accessibility assessment for each park and recreation facility
- A status report for any MDNR grant-assisted projects

We will begin integrating these components into the Plan along with the information previously collected regarding the background demographics, economic conditions, and physical characteristics of the community. Our analysis will include a detailed look at existing recreational opportunities compared to sources such as the most current U.S. Census data (population, age, household composition, disability status, income, etc.), recreation standards, barrier-free standards, and current trends. We will also integrate the various components of the Township's administrative structure information into the Plan.

Post Completion Certification Reports – The MDNR Requires that communities complete a post completion certification report for any past grant-funded activities. We will provide the Township with copies of the reports from the 2014 Plan and ask that they update them as needed. We will also take the required photos for the reports. These include a photo of the entrance sign to each park and the MDNR plaque.

Task 2 – Township Parks Committee Meeting One

Spicer Group will meet with the Parks Committee to discuss the project, the schedule, and the gathered public input, results, and data review.

Task 3 – Additional Public Input - Option

This task will only be used if, after previous gathered data is reviewed, it is determined that additional early public input is required for Plan update.

Task 4 – Township Parks Committee Meeting Two, Continue Writing Plan

Spicer Group will return to the Parks Committee to discuss the additional public input if gathered, and review goals, objectives, and the action plan. The goal of this meeting is to determine a foundation of public sentiment in terms of the general type of recreational development and improvements the Township would like to see. We will use this information as we review the existing Parks and Recreation goals and objectives to determine if adjustments are needed. We will review the progress on the action plan items from the 2014 Plan and determine what new items are needed. This section of the Plan can include recommendations for parks, open space, trail and recreation facilities, programs, possible acquisitions, and services. Overall, our experience has shown that the following factors help shape how community recreation needs are met and identified. These factors will form the foundation for the action items in the Plan:

- Demonstrated needs in the community
- Input from the community
- Identification of general recreation trends
- An ever-changing population, with special attention to the needs of senior citizens and people with disabilities
- Local resources and budgets to achieve recreational goals and priorities

After the meeting, Spicer Group will continue drafting the Plan, incorporating the public input results, goals, objectives, and action plan items into the document. We will relate the action plan items to the identified goals and objectives.

Task 5 – Prioritization of Action Plan Items, Completion of Draft

As Spicer Group finalizes the goals, objectives, and action plan items for the Plan, we will ask the Township to prioritize the action plan items with a 1 – 5 scale. This can be done by Township staff

or with input from the Parks Committee. Spicer Group will complete the draft Plan, inclusive of maps, illustrations, photos, and necessary appendices. The Plan will be completed according to the standards and guidelines established by the Michigan Department of Natural Resources (MDNR) in the “Guidelines for the Development of Community Parks, Recreation, Open Space, and Greenway Plans.”

Task 6 – Draft Plan Submitted for Review

Spicer Group will submit the draft Plan to the Township for review. We will incorporate any changes to have the completed draft ready for the required 30-day public review period.

Task 7 – Advertise for Public Review

Spicer Group can provide a sample advertisement for the 30-day review. We will provide a digital copy of the Plan that can be uploaded to the Township’s website along with one paper copy of the Plan for review at the Township.

Task 8 – Public Hearing

Spicer Group will present the Plan at the required public hearing. We will detail the Township’s parks, proposed improvements, and action plan. We can provide a sample advertisement for the hearing as well as providing draft resolutions for the Township Board.

Task 9 – Adoption by Township Board

The final step of the adoption process for the 5-Year Parks and Recreation Master Plan is adoption by the Township Board. Spicer Group will attend the meeting to present the Plan to the Board.

Task 10 – Final Submittals

Spicer Group will complete the MDNR Parks and Recreation Master Plan Checklist for the Township’s signature along with the final copy of the 5-Year Parks and Recreation Master Plan. To be eligible for 2023 DNR Grants, the 5-Year Parks and Recreation Master Plan must be uploaded to the DNR’s MIRecGrants website by February 1, 2023. Spicer Group will complete the final document and upload it for submittal. We will provide five bound copies of the Plan along with a digital version in PDF format. We will also prepare copies for submittal to the County and Regional Planning Agency, as required by the MDNR.



Schedule: 2022

	JAN.	FEB.	MAR.	APRIL	MAY	JUNE	JULY	AUG.	SEP.
TASK 01	Kick off and Beginning of Plan								
TASK 02									
TASK 03									
TASK 04									
TASK 05									
TASK 06									
TASK 07									
TASK 08									
TASK 09									
TASK 10									

Plan Development 

Adoption 

Spicer Group will follow the description of the Public Input Process in the Michigan Department of Natural Resources Guidelines for the Development of Community Parks and Recreation Plan, which describes the recommended methods to use to incorporate public input into the recreation planning process. Residents' opinions on recreation and open-space priorities are a key consideration in plan development.

We will be reviewing the early gathered public input for the following:

- The date of soliciting that the input was gathered; this must take place within a year of plan adoption by the governing body.
- If additional effort was made to solicit comments from residents living near future projects and from others who may be negatively affected by the projects.
- If special efforts were made to involve segments of the population whose concerns are often overlooked.
- Identify if the community has substantial minority, low-income, disabled, or elderly populations, and have their needs and concerns been identified.
- Methods of how input was gathered such as surveys, questionnaires, workshops, stakeholder meetings, focus groups, or visioning sessions.
- Determine if the responses received represented the whole community, groups that do not typically attend public meetings, the potential users for special-use areas and those who may be greatly affected by the recreation and open-space opportunities considered.
- Identify if input from other recreation providers, private and public partners and regional organizations was included with public input.

Results of the data review will be discussed with the Township. If supplemental data is required to meet the MDNR Guidelines prior to the drafting of the Plan, we will assist the Township in acquiring that data.



Spicer Group has put together an exceptional team of experienced professionals, and we are excited and ready to update and provide planning consulting services to help Cascade Charter Township to accomplish its goals. Our team has more than three decades worth of combined planning experience. Given our past success with developing Parks and Recreation Master Plans for other municipalities, we are exceptionally qualified to work with Cascade Charter Township. We have presented numerous times for the Michigan Parks and Recreation Association, garnered millions of dollars in grant funding for park projects and worked on hundreds of miles of multi-use pathways throughout the state. For Cascade Charter Township project, Cynthia Todd, PLA will be responsible for managing and supervising the tasks and relationships with Township staff.

Cynthia A. Todd, PLA – Project Manager/Landscape Architect

Ms. Todd has recently joined the Spicer Team as the Director of Planning. She has extensive experience in both public and private sector projects. While at Delaware State Parks (DNREC), she served as the Capital Program Administrator where she managed, budgeted, and oversaw all aspects of capital projects within the DNREC Park System which consisted of 17 parks totaling 26,071 acres, 151 miles of trails, and 619 facilities. She managed over \$12 million annually in park construction projects including campgrounds, piers, bathhouses, and trails. She worked closely with various community groups, municipal and county governments, and private developers. Ms. Todd managed and implemented the facility management plan, and coordinated the analysis and evaluation of usage, structures and other facilities, and equipment of the department. In addition, she planned, managed, and monitored the department's capital program for major and minor capital improvement projects. She also developed, conducted and/or coordinated planning studies related to short-and long-term capital needs of the department.

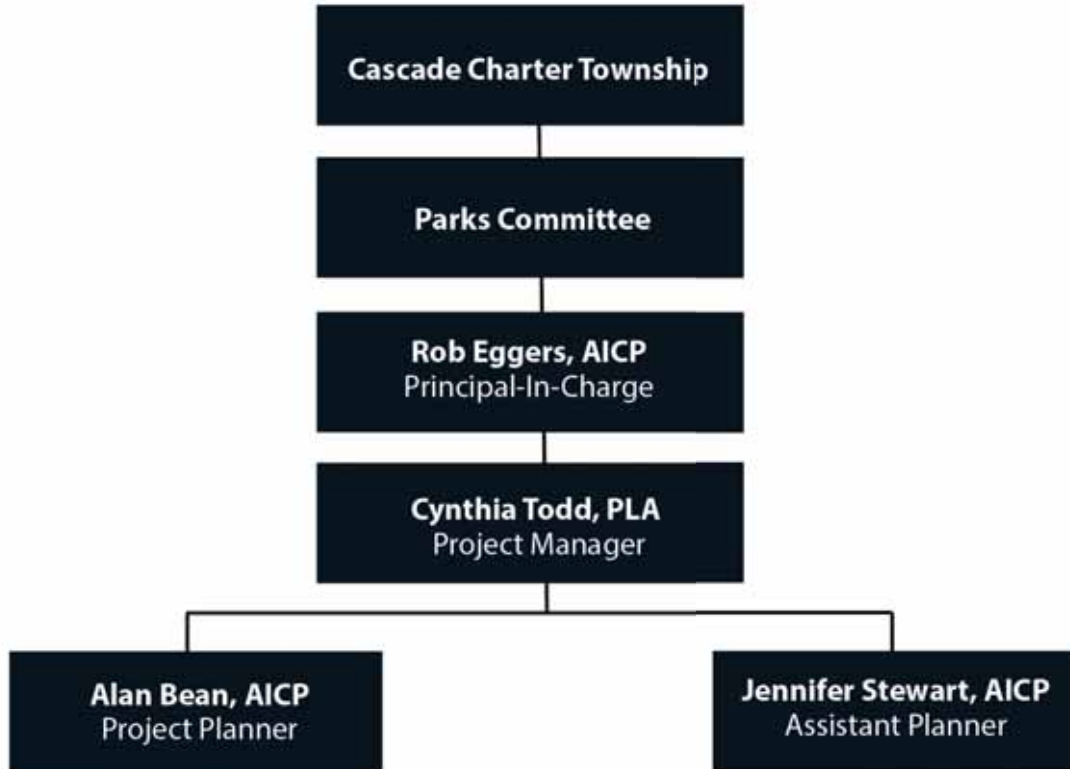
Alan R. Bean, AICP – Project Planner

Mr. Bean is a project planner with Spicer Group and provides parks and recreation planning services to communities throughout Michigan. His enthusiasm for the outdoors and respect for nature is an essential part of his work. Since receiving his undergraduate degree in natural resources and Master's of Urban Planning from the University of Michigan, he has been committed to creating opportunities that bring people closer to the natural world. He works closely with clients to develop plans that meet the DNR's guidelines for Park and Recreation Plans. He helps clients understand the desires of citizens to establish broad-based support for proposed initiatives. His expertise also includes the creation of digital renderings and concept plans that can help facilitate visualization and public discussion of complex issues. He is a clear writer, always giving thoughtful consideration of proposed initiatives or projects as they pertain to local funding and the availability of grants. When conducting meetings, such as presentations with local recreation committees, he is concise yet ready to discuss any issue in detail.

Jennifer L. Stewart, AICP – Assistant Planner

Ms. Stewart works as a Community Planner for Spicer Group and provides planning services to our clients throughout Michigan. She earned her bachelor's degree from Ball State University in Urban Planning and Development. She has worked on various projects regarding master planning, recreation planning, grant writing, zoning, and site development. She recently completed recreation master plans for Midland Township, Larkin Township, Arenac County, Plainfield Township, and the City of Bad Axe. Jeni has also written DNR grants for Independence Township, Hamburg Township, Larkin Township, the City of Bad Axe, and DeWitt Charter Township.

Organizational Chart



CYNTHIA A. TODD, PLA

ROLE ON THIS PROJECT: Director of Planning

YEARS OF EXPERIENCE: Spicer Group – 11 months | Other Firms – 29 years



GENERAL EXPERIENCE AND QUALIFICATIONS

Ms. Todd has 29 years of experience in project management, design, and planning for both the public and private sectors. She has extensive experience and a proven track record communicating project needs to staff, lawmakers, citizen groups, contractors, permitting agencies, and other professionals. She was the Capital Program Administrator for State of Delaware, Division of Parks and Recreation, which received the 2015 NRPA Gold Medal Award and monitored the use of 17 park facilities that included 25,000 acres with over 800 structures. Ms. Todd was also able to manage over \$12 million annually in park construction projects including campgrounds, piers, bathhouses, and trails and develop a master plan for Auburn Valley/National Vulcanized Fiber (NVF), a multi-million-dollar public-private partnership, which was a recipient of EPA's 2017 Pisces Award.

EDUCATION

Bachelor of Landscape Architecture, University of Illinois, Urbana-Champaign, Illinois

Master of Urban Planning, University of Michigan, Ann Arbor, Michigan

Golf Course Design, Harvard Graduate School of Professional Development, Cambridge, Massachusetts

Project Management, University of Delaware Professional Development, Dover, Delaware

Leadership John Kennedy Leadership Academy, Dover, Delaware

LICENSES/REGISTRATION

State of Maryland, Licensed Landscape Architect #3025

State of Delaware, Licensed Landscape Architect #0460

State of Michigan, Licensed Landscape Architect #1207

SIMILAR EXPERIENCE

<p><i>Ingham County Parks and Trails Comprehensive Plan and Recreation Plan Updates</i></p> <p>Year: 2021- present Location: Ingham County Vendor Role: Prime</p>	<p>Project Manager responsible for managing the development of the Recreation Plan and Comprehensive Trails and Pathway Report. Tasks included the management and development of the project from organizing stakeholder meetings and county meetings and assisting with the MDNR grant applications along with aiding the development of their wayfinding sign project. Due to our outstanding Trail Wayfinding System, Ingham County Parks and Spicer Group were awarded the <i>2021 Trails & Corridors Class I Award</i> by the National Association of County Park and Recreation Officials (NACPRO).</p> <p>Client Contact: Tim Morgan, Parks Director (517) 244-7191</p>
<p><i>Mason County Recreation Plan</i></p> <p>Year: 2017 - present Location: Mason County Vendor Role: Prime</p>	<p>Project Manager responsible for coordinating the survey and plan updates for the 2023 Mason County Recreation Plan update. The update was the required 5-year update and focused on gathering public input about parks and recreation in the City, updating the GIS maps within the plan, updating the goals and objectives, and updating the 5-year action program to reflect realistic projects for the next 5 years. We worked with the other local jurisdictions in Mason County to ensure the County Recreation Plan was supportive and inclusive of the local priority action items as well. Spicer Group has assisted Mason County with the update to their Recreation Plan three times.</p> <p>Client Contact: Daniel Rhode, Drain Commissioner (231) 757-9366</p>

SIMILAR EXPERIENCE	
<p><i>City of Grand Ledge Recreation Plan</i></p> <p>Year: 2017 - present Location: Grand Ledge, Eaton County Vendor Role: Prime</p>	<p>Project Manager responsible for organizing and leading the 2022 Grand Ledge Recreation Plan update. This update was the required 5-year update and focused on gathering public input about parks and recreation in the City, updating the GIS maps within the plan, updating the goals and objectives, and updating the 5-year action program to reflect realistic projects for the next 5 years.</p> <p>Client Contact: Adam Smith, Manager (517)627-2144</p>
<p><i>City of Saginaw Recreation Plan</i></p> <p>Year: 2020 - present Location: City of Saginaw, Saginaw County Vendor Role: Prime</p>	<p>Project Manager responsible for updating the 2016 City of Saginaw Recreation Plan. The update was the required 5-year recreation plan update to remain eligible for certain state and federal grant programs. The recreation plan was started shortly after the Master Plans drafts had been finalized to further connect the parks in recreation into the development that the Master plan outlines for the city of Saginaw. Responsible for the creation of a city and county wide survey and organization of public meetings in order to gather data to create the necessary elements to qualify for the state and federal grant programs.</p> <p>Client Contact: Bob Gollin, Urban Planner (989)759-1400</p>
<p><i>Haithco Recreation Area Splash Pad Development</i></p> <p>Year: 2020- present Location: Saginaw County Vendor Role: Prime</p>	<p>Project Manager responsible for all aspects of the project including feasibility grant writing & administration, concept design, preliminary design, final design, bidding documents, construction administration and oversight for the Haithco Recreation Area Splash Pad Development. Project includes a new splash pad, playground pathways, ADA parking, rain garden, utility shed, and park amenities such as benches and picnic tables.</p> <p>Client Contact: Saginaw County Parks, Brian Lechel, (989) 790-5200</p>
<p><i>Huron Lighthouse Park Improvements</i></p> <p>Year: 2021 - present Location: Port Hope Vendor Role: Prime</p>	<p>Project Manager responsible for all aspects of the project including grant writing and administration, concept design, final design, bidding documents, and construction administration. Project includes the improvement for an accessible canoe/kayak launch, replacement of fish cleaning station, upgraded woodland path, replacement of playground equipment, addition of accessible parking spaces, and interpretive signs and benches.</p> <p>Client Contact: Huron County Road Commission, Neal Hentschl, (989) 269-9320</p>
<p><i>City of Grand Ledge Park and Recreation Plan</i></p> <p>Year: 2021 - present Location: Grand Ledge Vendor Role: Prime</p>	<p>Project Manager responsible for overseeing Spicer’s second update process of the Parks and Recreation Master Plan that will reflect the projects and activities that the City of Grand Ledge wishes to undertake in the next 5-years. Project includes the assistance in developing a new Parks and Recreation Master Plan to maintain eligibility for the Michigan Department of Natural Resources (MDNR) Recreation grants. This Master Plan includes updating the following information: Community Description, demographic characteristics, mapping data, City Recreational Facilities, Regional Facilities, School Facilities, and Private Recreation Facilities.</p> <p>Client Contact: Public Services Superintendent, David Gutchess, (517) 627-2144</p>
<p><i>Lane Engineering LLC, Maryland</i></p> <p>Year: 2019- 2021 Location: Centreville, MD Vendor Role: Prime</p>	<p>Senior Landscape Architecture/Project Manager responsible for large-scale redevelopment projects, all phases of planning activities related to projects, including planning, design, entitlement work, permitting. Presenting at public hearings to regulatory agencies, community workshops. Also review and analyzing project reports and plans, engineering personnel, and regulatory agencies. Project also involved preparing schedules and establishing deadlines to ensure timely completion of development work.</p> <p>Client Contact: N/A</p>

ALAN R. BEAN, AICP

ROLE ON THIS PROJECT: Senior Project Planner

YEARS OF EXPERIENCE: Spicer Group – 19



GENERAL EXPERIENCE AND QUALIFICATIONS

Mr. Bean provides Professional Planning Services to communities throughout Michigan. He assists cities, villages, townships, and counties in preparing recreation plans, master plans, zoning ordinances, maps, site plan and rezoning reviews, grants, and assistance at Planning Commission meetings. For detailed analyses, his expertise includes GIS mapping with ESRI ArcMap for demographic analysis and natural features investigations. Creatively, he likes to craft digital renderings, concept plans, and specialized maps to help facilitate visualization and public understanding of complex issues. He is Spicer’s lead planner on many projects and works closely with clients to address park and recreation needs and land management issues. He is a clear writer, giving thoughtful consideration of local issues as they pertain to legal precedent and established laws.

EDUCATION

Master of Urban Planning, University of Michigan, Ann Arbor, MI, 2002

Bachelor of Science in Natural Resources Management, University of Michigan, Ann Arbor, MI, 1995

LICENSES/REGISTRATION

Certified Zoning Administrator, 2009, Michigan State University

American Institute of Certified Planners, 2005, # 019929

ADDITIONAL TRAINING

Advocate Academy for Non-Motorized Transportation, 2021, Norte

National Planning Conference, San Francisco, 2019, American Planning Association

Form-Based Codes 101, 2016, Planetizen

Leadership Saginaw County, 2015, Saginaw County Chamber of Commerce

National Planning Conference, Chicago, 2013, American Planning Association

SIMILAR EXPERIENCE

<p><i>City of Davison Planning</i></p> <p>Year: 2006 to present Location: City of Davison Vendor Role: Prime</p>	<p>Planner responsible for providing professional planning services to the City of Davison. Regular tasks include meeting with applicants, regular communication with the City Manager, review site plans, write staff reports and recommendations, attend regular Planning Commission meetings, address rezoning requests, text updates to the zoning ordinance, update to the Master Plan in 2013, assist the ZBA, and overall zoning administration assistance.</p> <p>Client Contact: Andrea Schroeder, City Manager/City Clerk, (810) 653-2191</p>
<p><i>Village of Capac Planning</i></p> <p>Year: 2006 to present Location: Village of Capac Vendor Role: Prime</p>	<p>Planner responsible for providing professional planning services to the Village of Capac. Regular tasks include meeting with applicants, regular communication with the Village President and Planning Commission Chair, review site plans, write staff reports and recommendations, attend Planning Commission meetings as-needed, regular updates to the zoning map and regular maintenance to the Village GIS parcel system, text updates to the zoning ordinance, update to the Master Plan in 2009, and overall zoning administration assistance.</p> <p>Client Contact: John Grzyb, Village President, (810) 395-4355</p>

SIMILAR EXPERIENCE	
<p><i>Kawkawlin Township Planning</i></p> <p>Year: 2015 to present Location: Kawkawlin Township Vendor Role: Prime</p>	<p>Planner responsible for providing professional planning services to Kawkawlin Township. Regular tasks include communication with the Planning Commission Chair and Supervisor, write staff reports and recommendations, attend monthly Planning Commission meetings, text updates to the zoning ordinance, update to the Master Plan, and training.</p> <p>Client Contact: Ric Fletcher, Planning Commission Chair, (989) 205-1828</p>
<p><i>City of Imlay City Planning</i></p> <p>Year: 2018 to present Location: City of Imlay City Vendor Role: Prime</p>	<p>Planner responsible for providing professional planning services to the City of Imlay City. Regular tasks include regular communications with the City Manager and Zoning Administrator, review site plans, coordination with applicants and City administration, write staff reports and recommendations, attend Planning Commission meetings as needed, address rezoning requests, and text updates to the zoning ordinance.</p> <p>Client Contact: Craig Horton, City Manager, (810) 724-2135</p>
<p><i>Williams Township Planning</i></p> <p>Year: 2019 to present Location: Williams Township Vendor Role: Prime</p>	<p>Planner responsible for providing professional planning services to Williams Township. Regular tasks include meeting with applicants, regular communication with the Planning Commission Chair, review site plans, write staff reports and recommendations, attend monthly Planning Commission meetings, address rezoning requests, and text updates to the zoning ordinance.</p> <p>Client Contact: Will Butterfield, Supervisor, (989) 662-4241</p>
<p><i>City of Mt. Pleasant Planning</i></p> <p>Year: 2013 to 2015 Location: City of Mt. Pleasant Vendor Role: Prime</p>	<p>Interim Planning Director responsible for providing professional planning services to the City of Mt. Pleasant. Tasks included regular communication with the Planning Commission Chair, Director of Community Services, and City Manager, review site plans, review rezoning requests, write staff reports and recommendations, attend monthly Planning Commission meetings, regular direct communication and coordination with applicants, text updates to the zoning ordinance, update to the Master Plan, assist with variance requests, and coordination with the Building Official.</p> <p>Client Contact: Bill Mrdeza, Director, Division of Community Services, (989) 779-5311</p>
<p><i>M-53 Corridor Plan</i></p> <p>Year: 2015 to 2016 Location: City of Imlay City Vendor Role: Prime</p>	<p>Planner responsible for developing a Corridor Plan for M-53 located in Imlay City. The M-53 corridor generally functions as a commercial strip in the city, running for 1.9 miles from I-69 in the south to Capac Road in the north. Effort included meetings with the project committee, inventory of corridor features, review of traffic data and traffic generators, right-of-way and zoning analysis, development of concept plans, community engagement, and delivery of final documents addressing implementation strategies and proposed improvements to the corridor.</p> <p>Client Contact: Craig Horton, City Manager, (810) 724-2135</p>
<p><i>Relevant Projects</i></p>	<p>Arenac County Recreation Plan – 2021 Waterford Township Recreation Plan – 2020 Davison Area Recreation Plan – 2019 Clinton Charter Township Park and Recreation Plan – 2018 Oscoda Charter Township Bicycle and Non-Motorized Pathway Plan – 2009</p>

JENNIFER L. STEWART, AICP

ROLE ON THIS PROJECT: Planner II

YEARS OF EXPERIENCE: Spicer Group – 6



GENERAL EXPERIENCE AND QUALIFICATIONS

Ms. Stewart earned her bachelor’s degree in Urban Planning and Development from Ball State University. She works as a Community Planner for Spicer Group and provides planning services to communities throughout Michigan. She has worked on various projects regarding planning services, master planning, recreation planning, zoning ordinance updates, grant writing, park improvements, utility-scale wind turbine reviews, and site development plans and review. Through clear and concise writing, she has the ability to transform a client’s wishes from ideas to a finished document, which can then be used as an effective tool in assisting the client in bringing their visions and goals to light. She is also adept in digital graphics and programs including Adobe Photoshop, Illustrator, InDesign, ArcMap, ArcGIS Online, Story Maps, Sketch-up, and Google Earth Pro.

EDUCATION

Bachelor of Urban Planning and Development, Ball State University, Muncie, IN, 2013

LICENSES/REGISTRATION

American Institute of Certified Planners, 2019, # 281761

Certified Zoning Administrator, 2020, Michigan State University

ADDITIONAL TRAINING

ArcGIS Story Maps, 2019, ESRI

SIMILAR EXPERIENCE

<i>Ingham County Parks and Trails Consulting</i> Year: 2017 to present Location: Ingham County Vendor Role: Prime	Planner responsible for providing professional parks and recreation planning services to Ingham County as a part of the parks and trails millage. Assistance has included development of the 2017 and 2022 Parks and Recreation Plan, millage grant administration and mapping, assistance with MDNR recreation grant applications, creating a wayfinding sign database, and implementing the wayfinding sign project. Client Contact: Tim Morgan, Parks Director (517) 244-7191
<i>Mason County Recreation Plan</i> Year: 2017 - present Location: Mason County Vendor Role: Prime	Planner responsible for updating the 2018 and 2023 Mason County Recreation Plan. The update was the required 5-year update and focused on gathering public input about parks and recreation in the City, updating the GIS maps within the plan, updating the goals and objectives, and updating the 5-year action program to reflect realistic projects for the next 5 years. We worked with the other local jurisdictions in Mason County to ensure the County Recreation Plan was supportive and inclusive of the local priority action items as well. Spicer Group has assisted Mason County with the update to their Recreation Plan three times. Client Contact: Daniel Rhode, Drain Commissioner (231) 757-9366

SIMILAR EXPERIENCE	
<p>City of Grand Ledge Recreation Plan</p> <p>Year: 2017 - present Location: Grand Ledge, Eaton County Vendor Role: Prime</p>	<p>Planner responsible for updating the 2017 and 2022 Grand Ledge Recreation Plan. Both updates were the required 5-year update and focused on gathering public input about parks and recreation in the City, updating the GIS maps within the plan, updating the goals and objectives, and updating the 5-year action program to reflect realistic projects for the next 5 years. Spicer Group is currently working with the City of Grand Ledge to update their Recreation Plan for 2022 approval.</p> <p>Client Contact: Adam Smith, Manager (517)627-2144</p>
<p>Saginaw Charter Township Recreation Plan</p> <p>Year: 2017 - 2018 Location: Saginaw Charter Township, Saginaw County Vendor Role: Prime</p>	<p>Planner responsible for updating the Township’s Department of Natural Resources Parks and Recreation Master Plan. The update was the required 5-year update and focused on gathering public input about parks and recreation in the Township, updating the GIS maps within the plan, updating the goals and objectives, and updating the 5-year action program to reflect realistic projects for the next 5 years. The projects were based on the community input and objectives from the Parks and Recreation Commission.</p> <p>Client Contact: Anthony Dier (989)791-9828</p>
<p>City of Saginaw Recreation Plan</p> <p>Year: 2020 - present Location: City of Saginaw, Saginaw County Vendor Role: Prime</p>	<p>Planner responsible for updating the 2016 City of Saginaw Recreation Plan. The update was the required 5-year recreation plan update to remain eligible for certain state and federal grant programs. The recreation plan was started shortly after the Master Plans drafts had been finalized to further connect the parks in recreation into the development that the Master plan outlines for the city of Saginaw. Responsible for the creation of a city and county wide survey and organization of public meetings in order to gather data to create the necessary elements to qualify for the state and federal grant programs.</p> <p>Client Contact: Bob Gollin, Urban Planner (989)759-1400</p>
<p>Davison Area Recreation Plan</p> <p>Year: 2019 - 2020 Location: City of Davison, Davison Township, Richfield Township, and Davison Schools Vendor Role: Prime</p>	<p>Planner responsible to the City of Davison, Davison Township, Richfield Township, and Davison Schools. The update of the plan included participation from three municipalities and the school district in the Davison area. Responsible for coordinating all communities for mapping, public input, recreation inventories, goals, objectives, specialized action plans, and adoption. This was second time Spicer Group assisted these communities in the Davison area with the update to their Joint Recreation Plan.</p> <p>Client Contact: James Slezak, Township Supervisor (810) 653-4156 ext. 7601</p>
<p>Bay County Recreation Plan</p> <p>Plan Year: 2018 - 2019 Location: Bay County Vendor Role: Prime</p>	<p>Planner responsible for providing professional planning services to Bay County for the update of the 2019 multi-jurisdictional Parks and Recreation Plan. The update of the plan included participation from 15 municipalities (13 townships and 2 cities) in Bay County. Responsible for coordinating all communities for mapping, public input, recreation inventories, goals, objectives, specialized action plans, and adoption. This was second time Spicer Group assisted Bay County with the update to their Recreation Plan.</p> <p>Client Contact: Cristen Gignac, Director of Recreation and Facilities (989)684-3883</p>
<p>Saginaw County Recreation Plan</p> <p>Year: 2018 - 2019 Location: Saginaw County Vendor Role: Prime</p>	<p>Planner responsible for updating the 2019 Saginaw County Recreation Plan. The update was the required 5-year update and focused on gathering public input about parks and recreation in the County, updating the GIS maps within the plan, updating the goals and objectives, and updating the 5-year action program to reflect realistic projects for the next 5 years. This was third time Spicer Group assisted Saginaw County with the update to their Recreation Plan.</p> <p>Client Contact: Brian Keenan-Lechel, Director (989)790-5200</p>

Spicer Group's proposed fee for the services described above is a lump sum of \$6,300.

We will bill you based upon our effort completed during the billing period. We will submit monthly invoices to you for our professional services and any additional authorized services not outlined in this proposal.

Certifications

For the duration of the contract, Spicer Group certifies that all licenses required by the State of Michigan will be maintained; all required insurances will be maintained; a project manager will be assigned, and the project will be completed in accordance with the proposed time frame unless mutually agreed upon otherwise.



Rob Eggers

President/CEO

Office: 9989-921-5568

Cell: 989-9288035

robe@spicergroup.com



Rob Eggers

Cynthia Todd

Director of Planning

Office: 989-921-8940 ext. 6311

Cell: 410-490-0413



Spicer Group has completed dozens of Parks and Recreation Master Plans for communities across Michigan. In many communities, we have completed two or more updates. Some of the communities we have assisted are listed below.

- City of Charlevoix
- Au Sable Township
- Oscoda Township
- Alabaster Township
- Arenac County
- Huron County
- City of Grand Ledge
- Davison Area Parks
- Bad Axe
- Bay County Area (including 14 jurisdictions within Bay County: City of Auburn, City of Bay City, Bangor Township, Beaver Township, City of Essexville, Frankenlust Township, Fraser Township, Hampton Township, Kawkawlin Township, Merritt Township, Monitor Township, City of Pinconning, Portsmouth Township, Williams Township)
- Branch County
- Bridgeport Charter Township
- Carrollton Township
- Carson City
- Charlevoix
- City of Davison
- City of Dearborn
- City of DeWitt
- City of Frankenmuth
- City of Saginaw
- City of St. Louis
- City of Vassar
- Clinton Township
- Davison Township
- DeWitt Area Recreation Authority
- DeWitt Charter Township
- Huron County
- Ingham County
- Kochville Township
- Larkin Township
- Lincoln Township
- Mason County
- Midland Township
- Montrose Township
- Saginaw Charter Township
- Saginaw County
- Saginaw Township
- Tuscola Township
- Tuscola Township
- Village of Ubyly
- Waterford Township
- City of Manistee Trust Fund Grant
- Village of Elberta – Penfold Park Plan
- Onekama Township – Portage Lake Plan
- Filer Township – Magoon Creek Park Plan



MASON COUNTY RECREATION PLAN

Spicer Group worked with the Mason County Parks and Recreation Commission to develop an updated Recreation Plan that met the Michigan Department of Natural Resources Community Park, Recreation, Open Space, and Greenway Plans guidelines. This Recreation Plan described the county's existing recreation facilities, including an inventory of natural resources. This inventory documented the number of inland lakes, rivers, streams, wooded areas, and sand dunes in the county. These resources included more than 27 miles of Lake Michigan shoreline, 9,700 acres of inland lakes, 59,000 acres of forest in the Manistee National Forest, approximately 238 miles of rivers and streams, and 6,440 acres of protected sand dunes.



Action items for the next five years described in the Mason County Recreation Plan were based on three opportunities for community input and participation, including an open house, a community input survey, and a project website. This process led to the development of goals that focused on improvements to existing facilities, paved non-motorized pathways, disc golf courses, developing accessible park amenities, protection of open space and natural resources, and cooperation with several local units of government.



FRANKENMUTH AREA RECREATION PLAN

(Frankenmuth City, Frankenmuth Township, School District)
 Spicer Group assisted the City of Frankenmuth on the update of its Recreation Plans. The Plans have helped the City capture numerous recreation grants, with the most recent award of \$225,000 to improve the Frankenmuth Memorial Park Boat Launch. These funds helped develop fishing facilities and renovated the only boat launch along the Cass River within eight miles. The site serves as a trailhead for the Cass River Water

Trail, a series of canoe/kayak launches along the river in Tuscola and Saginaw counties. Improvements included an expanded boat launch, parking lot, signage, access routes and an accessible fishing dock and overlook. The 2008 Recreation Master Plan update was developed as a multi-jurisdictional Plan among the City of Frankenmuth, Frankenmuth Township, and the Frankenmuth School District. The Plan included an online survey for community input, which garnered exceptional participation, receiving 287 responses. The Plan was developed to help the Frankenmuth area accomplish its Recreational goals for the next five years and help secure funding for their goals.

CITY OF GRAND LEDGE PARKS AND RECREATION MASTER PLAN

Spicer Group worked with the City of Grand Ledge to develop a Parks and Recreation Master Plan that met the Michigan Department of Natural Resources Community Park, Recreation, Open Space, and Greenway Plans guidelines. This Recreation Plan described the City's existing recreation facilities, including an inventory of natural resources. The Plan documented the existing park facilities, existing park plans, demographic and economic data and the physical features of the City of Grand Ledge. This plan is currently being updated. Action items for a five-year period described in the Grand Ledge Parks and Recreation Master Plan were based on opportunities for community input and participation, including a community survey that was published on the City's website, Facebook page, and in newsletter inserts. This process led to the development of goals that focused on improvements to existing facilities, paved non-motorized pathways, developing accessible park amenities, protection of open space and natural resources, and cooperation with several local units of government.

In addition to community goals, objectives, and action items, this Plan identifies grant sources to fund these future projects. As a policy document to guide the City of Grand Ledge over a five-year period to develop and improve its parks and recreational facilities, it also qualifies the City for grants that are administered through the Michigan Department of Natural Resources Grants Management Section.





CITY OF CHARLEVOIX PARKS AND RECREATION MASTER PLAN

In an effort to provide quality recreational opportunities for its citizens, the City of Charlevoix hired Spicer Group to assist in updating its Recreation Master Plan to be used as a tool to guide the development of recreation facilities from 2017-2021. This Plan represents an ongoing commitment by the City to establish recreational goals for the community. The

Plan provides Charlevoix eligibility for grants from the Department of Natural Resources to assist the City in reaching its recreational goals.

Spicer Group consultants met with the staff and the Recreation Advisory Board four times during 2017 while working on the Plan. Data was collected about the City of Charlevoix, including demographics, natural features inventory, and an inventory of the parks and facilities owned and operated by the City. This data was gathered from a number of resources, including City staff, the 2011 Charlevoix Recreation Master Plan, the Recreation Advisory Committee, and research of aerial images. Three opportunities for input and participation were provided during the development of this Plan. Based upon the existing information and the public input, City staff and the Recreation Advisory Committee developed goals for parks and recreation in the City of Charlevoix. The Recreation Advisory Committee also created an action program to accomplish the goals of the Plan.



SAGINAW COUNTY RECREATION PLANNING

The Saginaw County park system consists of five large county parks, the Saginaw Valley Rail Trail and a portion of the Great Lakes Bay Regional Trail. Spicer Group became actively involved with the Saginaw County Parks in 2002 when we completed the first study for the Saginaw Valley Rail Trail. This study led to the development of the 11.5 mile trail, funded by several grants written by Spicer Group. Since that time we have completed Recreation Plans in 2009, 2014, and 2019. The online survey that was used for public input in late 2018 received approximately 550 responses. This input and feedback from

staff helped the County to verify its current goals and update and refine its action program. Spicer has written four successful grants for Saginaw County Parks in the past 10 years as well as designed improvements for the projects that those grants funded.

**CITY OF DEARBORN
RECREATION MASTER
PLANS: 2005–2010 & 2010–
2015 AND GRANTS**

Spicer Group was hired in 2005 and again in 2010 by the City of Dearborn to develop a Recreation Master Plan that would help the City focus on aiding the Recreation Department in identifying the growing recreational and cultural needs within the community. As part of these plans, Spicer Group met with school administrators, community recreation providers and recreation stakeholders one-on-one and looked at different ways to implement cost sharing and recreation amenities sharing.



The Plans highlighted the outdoor recreation opportunities while building on the community's rich and diverse cultures. The plan assisted Dearborn in identifying long-range goals and needs, and at the same time helped to qualify the community for Michigan Department of Natural Resources Trust Fund Grants.

Spicer Group assisted the City of Dearborn with a grant for \$350,000 for improvements to Camp Dearborn. The grant was successful and work was completed. Spicer Group also assisted the City of Dearborn with a Trust Fund Grant and an MDOT Grant for the Rouge River trail extension. Both grants were awarded.

Client Contact: Tim Morgan, Director of Parks and Recreation

121 E. Maple St., Suite 102
Mason, Michigan 48854
Phone: 517.244.7191

Client Contact: Daren Kaschinske, Parks and Recreation Director

240 W. Genesee
Frankenmuth, MI 48734
Phone: 989.652.3440

Client Contact: Adam Smith, City Administrator

310 Greenwood Street
Grand Ledge, MI 48837
Phone: 517.627.2149

Client Contact: Kent Knorr, Recreation Director

210 State Street
Charlevoix, MI 49720
Phone: 231.547.7183

Client Contact: Brian Lechel, Saginaw County Parks and Recreation

111 S. Michigan Ave.
Saginaw, MI 48602
Phone: 989.790.5284

Client Contact: Andrew Niedzinski, City Manager

287 E Huron Avenue
Vassar, MI, 48768
Phone: 989.823.8517

Client Contact: Cristen Gignac, Director of Recreation and Facilities

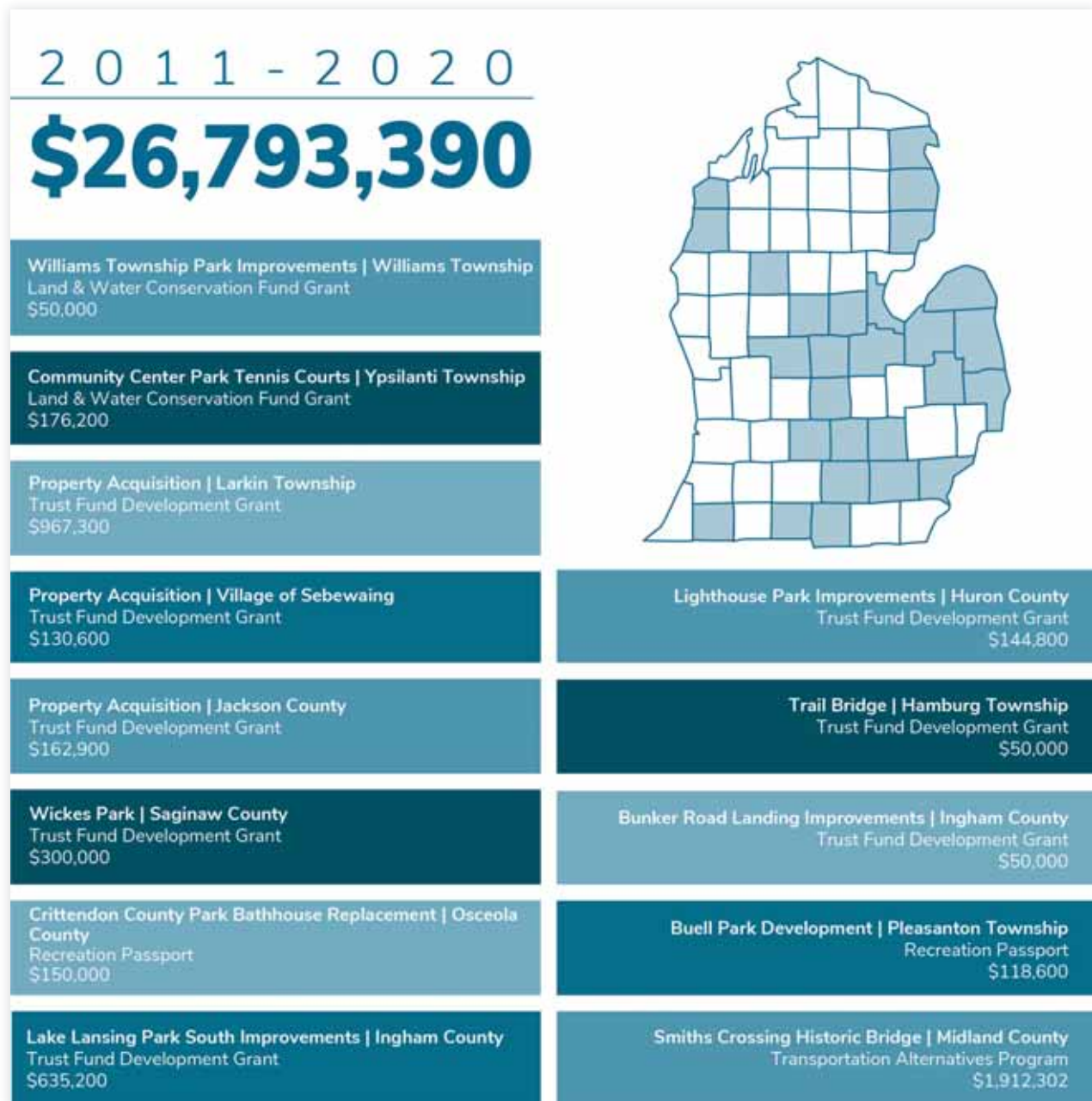
515 Center Avenue, Suite 403.
Bay City, Michigan 48708-5125.
Phone: 989.895.4130

Client Contact: Steve Begnoche, Mason County

102 East Fifth Street
Scottville, MI 49454
Phone: 231.690.0072

Grant Experience

Recreation plans are the key that opens the door to state recreation grant funding. Spicer Group has had great success in writing MDNR-approved recreation plans and working with those same communities to use their approved Recreation Plans to obtain grant funds for their park and trail projects. Grants are used for acquisition of park property and for improving existing parks. Since 2011, Spicer Group has written 96 successful MDNR grants through the Michigan Natural Resources Trust Fund, Land and Water Conservation Fund, and Recreation Passport Fund programs. These grants total over \$26 million dollars of funding for communities across that state of Michigan. We have also assisted several communities with cost estimates and concept plans for MDNR grants that they have written on their own. In addition to MDNR grants, we have assisted communities in obtaining recreation grant funding from MDOT, federal funding sources, private foundations, and public foundations. We have detailed knowledge of the grant process and procedures and understand the intricacies of each program’s funding system. This helps us know if a project will be successful.





CASCADE CHARTER TOWNSHIP

5920 Tahoe Dr. SE Grand Rapids, Michigan 49546

Date: December 15, 2021
To: Supervisor Lesperance and Township Board Members
From: Ben Swayze, Township Manager
Subject: Contract with Hope Network for Janitorial Services

FACTS:

Cascade Township has used two different models for janitorial services in the Township. Prior to 2018, the Township utilized the services of a janitorial contractor. The most recent contractor to provide services to the Township was Enviroclean. In 2017 Enviroclean had issues providing the Township with satisfactory services. At that time, a decision was made to sever the janitorial contract and to provide cleaning services with our Buildings and Grounds staff. One staff member was added to the Buildings & Grounds staff to accommodate the additional work.

The Township has had two different employees fill the janitorial role in the Buildings and Grounds Department since the work was brought in-house. The second employee assigned to these tasks left employment with the Township this past summer. After consulting with the Buildings and Grounds leadership and workers, it has been recommended that the janitorial work for the Cascade Library return to a contractor model. Cleaning for Township Hall and Parks facilities would remain in house for the time being. Fire Department facilities are cleaned by Fire Department staff.

The Township has engaged Hope Network to provide a proposal for janitorial services. Hope Network came highly recommended from several sources. In addition, Hope Network provides employment opportunities for individuals with disabilities in a supportive, team-oriented work environment. They provide on-site working supervisors monitoring and coaching crew members throughout their sites.

The Hope Network has provided a quote of \$41,311 per year (this will be reduced due to being closed on Sundays between Memorial Day and Labor Day) to provide the services outlined in their proposal. This includes daily, weekly, monthly and yearly tasks. The Township remains responsible for all consumables, Hope Network would provide equipment and chemicals.

Attached for your review is:

- Proposal from Hope Network for Janitorial Service
- "Stock" Agreement for Janitorial Services from Hope Network
- Hope Network Overview Pamphlet

ANALYSIS & CONCLUSIONS:

The proposal was reviewed by Township Staff, including HR leadership and Buildings and Grounds leadership, as well as Cascade Library leadership. The review included interview with the Manager of Janitorial Operations from the Hope Network as well as a facility walk through.

The consensus is we believe that engaging Hope Network for this work would be a positive benefit to the library and free up Buildings & Grounds staff to attend to other issues. If successful, a recommendation may be made at a future date to include other Township facilities in the contract. If approved, the commencement date target is January 3, 2022

The Personnel Finance Committee reviewed this at their December meeting and have forwarded a recommendation to the Township Board to approve the agreement.

FINANCIAL CONSIDERATIONS:

The proposal request calls for an annual amount of \$41,311. Under the final agreement, this will be reduced slightly to adjust for the library being closed on Sundays between Memorial Day and Labor Day. Billings will be reduced in circumstances where daily cleaning is not needed (i.e. snow days). The proposed contract amount has been included in the proposed FY2022 budget. In addition, one FT Buildings and Grounds employee has been removed from the budget (currently unfilled)

RECOMMENDED ACTION:

Approve the Janitorial Services Agreement with Hope Network, upon approval of the contract language by the Township Attorney, and authorize the Township Manager to execute the agreement on behalf of the Township.



November 1, 2021

Mr. Benjamin Swayze
Cascade Township Manager
5920 Tahoe Dr. SE
Grand Rapids, MI 49546

Dear Ben,

Hope Network is pleased to submit a quote to perform janitorial services for the Kent District Library - Cascade Township Branch located at 2870 Jacksmith Ave, SE Grand Rapids, MI 49546.

The annual amount is \$41,311. This amount includes the following; cleaning all horizontal surfaces, fixtures, vents, diffusers, and corners. Low dusting baseboards, chair legs, and table legs. Disinfect sinks, countertops, tables, toilets, the exterior of refrigerators, and microwaves. Sweep and damp mop all hard surface floors, spot clean carpets, vacuum carpets, and empty all trashcans and move debris to dumpster area and the periodic floor care services for extracting carpets, auto scrubbing floors and burnishing floors.

Cascade township to supply all consumables, i.e. toilet paper, paper towel, wax bags, soap, hand sanitizer, trash liners etc. Hope Network will supply all cleaning chemicals any additional equipment needed.

Hope Network would be more than happy to service any positive COVID exposure areas at this site with our Covid disinfecting fogger at a rate of .12cents/sf upon request.

Feel free to reach out to me should you have any questions.

Respectfully,

Loren Dunning

Loren Dunning
Manager of Janitorial Operations
ldunning@hopenetwork.org
(616) 286-0028

<u>The Wisner Center</u>	<u>Daily</u>	<u>Weekly</u>	<u>Monthly</u>																	
Restrooms (see above)	X																			
Clean and vacuum under desk/tables and touch down areas	X																			
Vacuum all carpeted areas	X																			
Disinfect high touch point surfaces																				
<u>Lower Level</u>	<u>Daily</u>	<u>Weekly</u>	<u>Monthly</u>																	
Dust stairwell and disinfect railings	X																			
Restrooms (see above)	X																			
Sweep and mop floors	X																			

NOTES:

- **High contact Surfaces** - Examples of solid, high contact surfaces in common and high traffic areas include but are not limited to: handrails, door knobs/levers/push bars, key card readers, light switches, touch screens, cabinets outside a workstation, break room/gallery area countertops, conference room table tops, courtroom table tops, security stations, water faucets and handles, elevator buttons and call button plates, sinks, toilets and control handles, restroom stall handles, toilet paper and other paper dispensers, door handles and push plates, water cooler and drinking fountain controls, automatic door opener buttons, digital touch screen directories, restroom stall handles and locks, soap dispensers, urinal flush valve handles
- **Elevators and Stairways** - All door tracks/thresholds will be clean and free of dirt and build-up. Surfaces will be clean and free of finger marks, smudges, and spills. All carpets and floors will be free of removable spots, dirt, and debris. All stairways, entrances, landings, railings, ledges, doors, radiators, and surrounding areas will be free of dirt, dust, litter, and debris.
- **Periodics** - Work may be incorporated into the daily work of employees, but the majority of Periodics, including major tasks such as carpet extraction or floor waxing, will be scheduled separately. Periodics will be scheduled in advance with the facility, with agreed upon service dates. The Periodics items will be scheduled a minimum of two weeks in advance if required. The Site Supervisor will be responsible for reviewing the status and quality of periodic work, along with scheduling tasks, inspecting quality results, and documenting the completion of work.

PERIODICS SCHEDULE: Kent District Library ~ Cascade

PROJECT WORK	JAN	FEB	MAR	APRIL	MAY	JUNE	JULY	AUGUST	SEPT	OCT	NOV	DEC
MONTHLY												
SPOT CLEAN ALL WALL SURFACES	X	X	X	X	X	X	X	X	X	X	X	X
SWEEP ALL STORAGE AREAS	X	X	X	X	X	X	X	X	X	X	X	X
WASH ALL WASTE RECEPTACLES	X	X	X	X	X	X	X	X	X	X	X	X
AUTOSCRUB FLOORS	X	X	X	X	X	X	X	X	X	X	X	X
QUARTERLY CLEANING *												
WASH INTERIOR WINDOWS	X			X			X			X		
SPOT CLEAN ALL WALLS DOORS AND WOODWORK		X			X			X			X	
SEMI ANNUAL CLEANING *												
EXTRACT CARPET			X							X		

Notes: Floor Care

- **Carpets and Rugs, Extraction** – Build-up and spills are to be removed along with spots. Cleaned areas of carpets and rugs will be reasonably blended with surrounding carpets. There will be no areas of deterioration as a result of harsh brushing or scrubbing.
- **VCT** – Strip old wax from all uncarpeted floor space on VCT surfaces, re-wax and buff.
- **Bare Floors, Burnishing** – Floors will receive periodic maintenance with removal of tar and other marks and scuffs, treatment with a wax restorative cleanser, and buffing with a high speed burnisher to restore a polished appearance.

Hope Network

JANITORIAL SERVICES AGREEMENT

THIS JANITORIAL SERVICES AGREEMENT is made as of the [REDACTED] day of [REDACTED], 20_ between HOPE NETWORK WEST MICHIGAN, dba HOPE NETWORK DEVELOPMENTAL AND COMMUNITY SERVICES, a Michigan nonprofit corporation, hereafter referred to as THE PROVIDER, of 3075 Orchard Vista Drive, Grand Rapids, MI, 49546 and

[REDACTED], of [REDACTED] MI, [REDACTED] hereafter referred to as THE AGENCY.

RECITALS

THE PROVIDER is a Christian organization that empowers people with disabilities and disadvantages to achieve their highest level of independence.

THE PROVIDER agrees to provide cleaning services to the Agency as outlined below.

THE AGENCY believes that THE PROVIDER, through education and professional experience, possesses the skill to provide the services requested by THE AGENCY.

NOW, THEREFORE, in consideration of the mutual covenants and provisions of this Agreement, the parties agree as follows:

1. **Services.** THE PROVIDER will provide cleaning services to THE AGENCY as described on ATTACHMENT A attached hereto (the "Services"). All of the services provided by THE PROVIDER to THE AGENCY will be deemed to be a part of the Services covered by this Agreement, regardless of whether or not those services are specifically described on ATTACHMENT A. The aggregate services performed under this Agreement will never exceed those that are reasonable and necessary for the legitimate business purposes of THE AGENCY.

THE PROVIDER will render the Services (a) in accordance with his/her best judgment and in accordance with contemporary standards for the practice of cleaning services and (b) in conformance with all applicable federal, state, and local laws, rules, regulations, and standards.

2. **Relation of Parties.** This Agreement is intended to create, and creates, a contractual relationship and is not intended to create, and does not create, any agency, partnership, joint venture or any like relationship between the parties hereto. THE PROVIDER and THE AGENCY are separate entities, each with its own directors, members, officers, employees, agents, affiliates and contractors, none of which are or shall be ascribed or deemed to be directors, members, officers, employees, agents, affiliates or contractors of the other party by reason of this Agreement. Except as provided otherwise in this Agreement, each party shall be solely liable for its own costs that arise due to this Agreement, including labor, employee benefits, taxes (including payroll taxes), insurance (including workers' compensation), unemployment compensation, and any other expenses.

3. **Representations of Warranties of the Parties.** THE PROVIDER and THE AGENCY, each represents and warrants to the other party, that it enters into this Agreement voluntarily and this Agreement does not conflict with or result in the breach of any other agreement to which it is bound.

4. **Compensation.** As full compensation for the Services performed by THE PROVIDER under this Agreement, THE AGENCY will pay THE PROVIDER fees in accordance with ATTACHMENT B attached hereto. THE PROVIDER and THE AGENCY acknowledge that the compensation to be paid to THE PROVIDER under this Agreement resulted from arms-length negotiations, is consistent with the fair market value of the Services to be performed by THE PROVIDER, and has not been (and will not be) determined in a manner which takes into account the volume or value of any referrals or business otherwise generated between THE PROVIDER and THE AGENCY or any of its affiliates. It is the parties' mutual intention to comply with all applicable laws and regulations regarding the payment of compensation.

5. **Term of Agreement.** The term of this Agreement will begin on [REDACTED], 20[REDACTED] and shall continue for one (1) year unless either party gives a written notice of termination to the other party at least thirty (30) days prior to the end of the term or renewal period then in effect, or unless terminated as provided by this Agreement. This Agreement may be renewed in writing for up to [REDACTED] additional one (1) year periods.

6. **Termination.** This Agreement may be terminated by either THE AGENCY or THE PROVIDER at any time, for any or no reason, with thirty (30) days' written notice. This Agreement may be terminated without notice upon the happening of any of the following events:

- a. If, for any reason, THE PROVIDER is unable to perform the Services in accordance with the terms of this Agreement;
- b. Whenever either THE PROVIDER or THE AGENCY breaches this Agreement and fails to cure the breach within thirty (30) days after receiving a written notice from the other describing the breach;
- c. Upon the occurrence of any condition that materially and adversely affects THE PROVIDER's ability to perform THE PROVIDER's duties under this Agreement;
- d. Upon THE PROVIDER's conviction of a crime punishable as a felony or which otherwise disqualifies THE PROVIDER from providing the contracted services pursuant to federal or state law or regulation; or
- e. THE PROVIDER's willful disobedience of lawful directives of THE AGENCY, THE PROVIDER's misconduct or neglect of THE PROVIDER's duties under this Agreement, or any other act that is inimical to or detrimentally affects the best interests of THE AGENCY.

Upon the termination of this Agreement, THE AGENCY will have no obligation to make further payments to THE PROVIDER, except for amounts that have been earned but not paid for prior to termination.

7. **Confidentiality.** THE PROVIDER agrees that, during the term of this Agreement and thereafter he/she will take all steps reasonably necessary to hold THE AGENCY'S Proprietary Information in trust and confidence, will not use Proprietary Information in any manner or for any purpose not expressly set forth in this Agreement, and will not disclose any such Proprietary Information to any third party without first obtaining THE AGENCY'S express written consent on a case-by-case basis. By way of illustration but not limitation, "Proprietary Information" includes trade secrets, inventions, ideas, processes, formulas, data,

techniques, financial and accounting records, lists of property owned by THE AGENCY including amounts paid therefore, and client and customer/consumer lists/information. Notwithstanding any provision of this Agreement, nothing received by THE PROVIDER will be considered to be Proprietary Information if it has been published or is otherwise readily available to the public other than by a breach of this Agreement, has been rightfully received by THE PROVIDER from a third party without confidential limitations, has been independently developed for THE PROVIDER by personnel or agents having no access to the Proprietary Information, or was known to THE PROVIDER prior to receipt from THE AGENCY. THE PROVIDER and THE AGENCY will not disclose the terms of this Agreement to any person, except to its respective counsel and except as required by law.

8. **Return of Agency Property.** THE PROVIDER acknowledges and agrees that all originals and copies of records, reports, lists, plans, memoranda, notes, and other documentation related to the business of THE AGENCY, or containing any Confidential Information, as well as other AGENCY property, including but not limited to keys, computers, and telephones, shall be returned to THE AGENCY upon the termination of this Agreement or upon the written request of THE AGENCY.

9. **Liability Insurance.** THE PROVIDER will obtain, and maintain in effect during the term of this Agreement, commercial liability insurance coverage for THE PROVIDER in the form of a claims made policy and general liability insurance with limits of One Million Dollars (\$1,000,000) per occurrence and Three Million Dollars (\$3,000,000) aggregate, and workers compensation insurance, with a carrier acceptable to THE AGENCY. THE PROVIDER will provide proof of such insurance coverage to THE AGENCY. THE PROVIDER will indemnify THE AGENCY, Hope Network, and their current and former directors, officers, employees, and agents against any loss, damages, or expenses incurred by any of them (including, without limitation, judgments, amounts paid in settlement, and attorney's fees) arising out of THE PROVIDER's performance of the Services.

10. **Indemnification.** In the event of a default under this Agreement, the defaulted party shall reimburse the non-defaulting party for all costs and expenses reasonably incurred by the non-defaulting party in connection with the default, including without limitation attorneys' fees. In the event of a suit or action filed to enforce this Agreement or with respect to this Agreement, the prevailing party shall be reimbursed by the other party for all costs and expenses incurred in connection with the suit or action, including without limitation reasonable attorneys' fees.

11. **Third-Party Rights.** This Agreement will be enforceable only by THE PROVIDER and THE AGENCY, and no third-party beneficiary or any other person will have any right to enforce any provision of this Agreement.

12. **Severability.** In case any one or more of the provisions contained in this Agreement shall, for any reason, be held to be invalid, illegal, or unenforceable in any respect, such invalidity, illegality, or unenforceability shall not affect the validity of any other provision of this Agreement, and such provision(s) shall be deemed modified to the extent necessary to be made enforceable.

13. **Governing Law.** This Agreement will be governed by and construed in accordance with the laws of the State of Michigan applicable to contracts made and to be performed in Michigan.

14. **Venue: Jurisdiction.** A proper forum in which to litigate any dispute arising under this Agreement will be the courts located in Kent County, Michigan, and the parties agree that those courts will have personal jurisdiction over all parties in connection with any action under this Agreement.

15. **Headings.** Headings contained this Agreement have been inserted only as a matter of convenience and for reference, and in no way shall be construed to define, limit, or describe the intent of the provision of this Agreement.

16. **Notices.** Any and all notices provided to either party pursuant to the terms of this Agreement shall be in writing sent via mail or email to the party's last known address or email address, or hand delivered to the party.

17. **Advice of Counsel & Contra Proferentum Does Not Apply.** Each party agrees that he/she sought the advice of counsel, were represented by counsel, or willfully and on their own volition chose not to seek the advice of counsel but were given the opportunity, prior to signing this Agreement. The parties agree this Agreement has been prepared and reviewed jointly by their representative counsel (or willful decision to forego counsel), and, as a result, neither the language in this Agreement nor any ambiguity in this Agreement shall be construed against any party as the drafter of this Agreement.

18. **Binding Effect: Assignment.** This Agreement will be binding upon and will inure to the benefit of the parties and their heirs, personal representatives, successors, and permitted assignees. Neither party may assign this Agreement nor any interest created by this Agreement without the prior written consent of the other party.

19. **Counterparts.** This Agreement may be executed in counterparts, each of which shall be deemed an original and such counterparts shall together constitute a single agreement.

20. **Entire Agreement.** This Agreement constitutes the entire agreement between the parties pertaining to its subject matter and supersedes all prior and contemporaneous agreements, representations, and understanding of the parties, whether or not written, oral or otherwise. No supplement, modification, or amendment of this Agreement shall be binding unless executed in writing by all parties.

WHEREFORE, the parties agree, as of the date set forth above, to be bound by the terms of this Agreement as provided for in the foregoing pages.

THE AGENCY:

THE PROVIDER

HOPE NETWORK WEST MICHIGAN

By: _____

By: _____

Its: _____

Its: _____

Date: _____, 20____

Date: _____, 20____

ATTACHMENT A

Description of Contracted Services and Hours

Scope of Work General Requirements

1. PROVIDER will perform duties at the AGENCY facility 8:00am to 5:00pm, Monday through Friday, excluding holidays, unless exceptions are arranged with the Property Management.
2. PROVIDER will be responsible for the maintenance of all areas of the facility which include all carpeted areas, restrooms, stairwells, non-carpeted areas, entry ways, elevator, etc.
3. PROVIDER will be responsible for coordinating all services and reporting to the Building Manager. Telephone, cell phone and/or pager numbers for management and supervisory personnel will be supplied to the Building Manager.
4. AGENCY will provide ample storage rooms. These rooms will be kept clean and organized by PROVIDER.
5. AGENCY will not be responsible in any way for damage to the PROVIDER'S stored supplies, materials or equipment or the PROVIDER employee's personal belongings brought into the building.
6. PROVIDER will furnish all supplies (including trash can liners), material and equipment necessary for the performance of this contract unless otherwise stated. Other products such as toilet paper, paper towels, soap, and feminine products will be ordered by the PROVIDER and billed to the AGENCY.
7. PROVIDER will use green products for all cleaning with the exception of the cleaning products used for blood borne fluid and virus clean-up as there is no green product available. Hospital grade disinfectant will be used for this service. Prior to executing the contract, PROVIDER will submit to the Building Manager a list providing the manufacturer and brand name of each of the materials proposed to be used in the performance of the contract. Any materials which the Building Manager determines to be unsuitable for use or harmful to the surfaces to which it will be applied or to any other part of the facility will not be used. Safety Data Sheets (SDS) for each material used in the facility will be provided to the Building Manager. These SDS sheets will have the information as required by OSHA and MIOSHA. SDS files will be dated and kept current.
8. It is intended that the services and specifications described herein include all functions normally considered a part of professional janitorial service whether or not specifically listed. PROVIDER will maintain a high standard of cleanliness at all times. Specified frequencies are a minimum and it will be the responsibility of the PROVIDER to maintain satisfactory levels of cleanliness and appearance for AGENCY without additional compensation.
9. Sorting of contaminated recycled office paper containers/compost is not the responsibility of the PROVIDER and when contaminated these can be disposed of as normal trash. PROVIDER will see that dumpsters are kept closed and locked.
10. PROVIDER will be paid monthly for the prior month's services. PROVIDER will submit invoices in accordance with this timeline. Provider will submit invoice by the 5th of each month and the Agency will pay the invoice net thirty (30) days.

Daily: Empty trash receptacles and clean ashtrays. Sweep entrances, lobbies and corridors. Spot sweep floors and spot vacuum carpets. Clean drinking fountains. Sweep and damp mop or scrub restroom floors. Clean all toilet fixtures and replenish toilet supplies. Dispose of all trash and garbage generated in or about the building. Wash inside and outside of cans used for collection of food remnants from snack bars and vending machines. Dust horizontal

surfaces that are readily available and visibly require dusting. Clean elevators. Remove carpet stains. Police sidewalks parking area and driveways. Sweep loading dock areas and platforms.

PERIODICS:

Three times a week: Sweep or vacuum stairs

Every two weeks: Spray buff resilient floors in office space.

Monthly: Thoroughly dust furniture. Completely sweep and/ or vacuum carpets. Sweep storage space. Spot clean all wall surfaces within 70" of the floor.

Every two months: Damp wipe toilet wastepaper receptacles, stall partitions, doors, windowsills and frames.

Annually: Vacuum or dust all surfaces within the building 70" from the floor.

Hard surface floor care and Carpet Cleaning done upon request

ATTACHMENT B

**Fees and
Compensation**

Janitorial Services Fees for AGENCY facility per specifications:

PERIOD: _____, 20__ thru _____, 20__ :

\$ _____ month _____ total

PERIOD: _____, 20__ thru _____, 20__ :

\$ _____ month _____ total

PERIOD: _____, 20__ thru _____, 20__ :

\$ _____ month _____ total

We Provide High Quality Janitorial Services With A Mission!

Employee Selection and Training Process

Hope Network has a structured, yet flexible recruitment and selection process. Recruiters gain a complete understanding of each position and the skillset for which a qualified candidate will need in order to be successful.

At Hope Network, we understand that many of our positions may not be flooded with new applicants as the labor market is incredibly tight. This is not a new problem but has been exacerbated by the COVID-19 pandemic. In order to overcome this issue, our recruitment staff have been utilizing a multi-faceted approach to finding new candidates. We find candidates by:

- Forging community partnerships (churches, schools and universities, neighborhood associations, Michigan Works offices),
- Utilizing text marketing campaigns
- Employer branding on social media platforms
- In-person and virtual job fairs
- Regularly scheduled open interview times
- Internal and external job boards



Upon selection of a candidate, our compliance team will:

- Conduct background checks
- Check personal and professional references
- Perform Michigan ICHAT checks
- Schedule Pre-employment physical and drug screen appointments after the initial applicable background checks have been completed

Once new staff begin, supervisors conduct a 30-day checklist which creates a structured method to orient staff to their new departments, ensuring that department specific policies, procedures, and training are received.

Hope Network has developed a five-point plan in which staff retention policies were built around. This plan includes what employees have outlined they want. This includes:

- Affordable benefits
- Full-time employment
- Competitive pay
- Learning opportunities
- Trusted relationship with their manager

By placing concerted efforts around each of these areas, Hope Network has seen yearly increases in retention rates.



We Provide High Quality Janitorial Services With A Mission!

Hope Network Janitorial Services presents a janitorial portfolio which offers a wide range of services to various organizations across West Michigan. HNJS has held Federal and general contracts for over 35 years and provides full Janitorial Services including:

- Disinfecting
- General cleaning
- COVID disinfecting when positive cases occur
- A wide variety of floor and carpet care programs
- Restroom service
- Recycling programs
- Day porter services



We have a wide range of customers and location sizes in the local area:

Grand Rapids, MI Customers	Square Footage	Years of Service
Gerald R. Ford Federal Building and U.S. Courthouse*	280,259	26 years
Hope Network 36 th Street Campus	90,612	18 years
The Law Building	68,500	6 years
Gerald R. Ford Presidential Museum	62,400	36 years
U. S. Army Reserve	42,361	15 years
Hope Network Leadership Center	36,000	7 years
Hope Network Industries	15,000	2 years
FAA Flight Safety District Office	10,489	16 years
Braintrust Behavior Health	10,000	2 years
Hope Network Center for Autism	7,000	3 years
FAA Airport Tower – Gerald R. Ford International Airport	4,742	16 years
FAA System Support Center	4,013	16 years

* Received the U.S. General Services Administration Service Excellence Award



We also employ disabled individuals

We also manage Ability-One contracts that provide employment opportunities for individuals with significant disabilities in a supportive, team-oriented work environment at several sites. All of our janitorial crews have on-site working supervisors monitoring and coaching crew members throughout their shifts.

Our two janitorial divisions provide flexibility to recruit team members that are best suited for each position and facility. The Janitorial Supervisors are on-site and deliver extensive training and job coaching to the team members. We pride ourselves on offering:

- Technical competence
- Personal character
- Responsive communication
- Attention to care of property

We Provide High Quality Janitorial Services With A Mission!

Business Organization & References

BUSINESS ORGANIZATION

Hope Network West Michigan

DBA Hope Network Developmental and Community Services

3075 Orchard Vista Dr. SE

Grand Rapids MI 49546

Corporate Website: www.hopenetwork.org

Entity operates as a Non-Profit Corporation, incorporated in Michigan and authorized to do business in Michigan

Workforce Development – Hope Network Janitorial Services

Nancy DuBois – Executive Director, WFD

616-726-1126

ndubois@hopenetwork.org

Over 20 years of senior management experience in both non-profit and for-profit settings.

Monitors programs to ensure maximum operational efficiencies: reviews budgets, outcome reports, and grant/contract requirements to ensure the programs within Workforce Development and Hope Network Services Corp Janitorial meet or exceed agency, contractor, and funder expectations.

Loren Dunning – Janitorial Operations Manager

Phone: 616-286-0028

ldunning@hopenetwork.org

30+ year's janitorial management experience.

Provides oversight, coordination, personnel management, quality control, customer satisfaction, capacity building, and fiscal/contract management for all Workforce Development and Hope Network Services Corp janitorial and grounds-keeping operations. Including on-going management of worksites to: meet contract obligations, ensure quality customer service, site coverage and hands-on completion of requirements as required to fulfill contractual obligations.

Willie Neely – Janitorial Operations Supervisor

616-581-8067

wneely@hopenetwork.org

16 + year's Janitorial operations

Responsible for providing daily supervision, assignments, task completion, work quality review, and feedback to janitorial staff. Liaison with customer Facility Manager regarding requests, inspections, and feedback. Able to perform duties of crew members to ensure all daily work assignments are completed according to the contract specifications.



CASCADE CHARTER TOWNSHIP

5920 Tahoe Drive SE Grand Rapids, Michigan 49546

Date: December 15, 2021
To: Supervisor Lesperance & Cascade Township Board
From: Benjamin Swayze, Township Manager
Subject: Updated Agreement for Communications, Public Relations and Marketing Services from Sabo PR

FACTS:

Sabo Public Relations LLC was established by Mary Ann Sabo in 2003 after a 17-year career that included public relations, journalism and higher education. Since 2017 the Township has utilized Sabo PR for public relation services. Sabo came highly recommended to the Township by several other area municipalities and currently does work for the City of Kentwood, City of Wyoming, City of East Grand Rapids, City of Lowell and Plainfield Township among other public and private clients. Sabo currently provides an embedded team member for 64-96 hours per month. In addition, the Township has access to a host of other team members and services at rates outlined in the attached email.

Sabo PR is adjusting rates for 2022 – 2025 for embedded team members. In addition, they have established a tiered rate chart for Sabo team member services outside of the embedded services, as well as crisis management services. The same rate structure has or is being established for other municipal customers as well.

Attached for your review are:

- Email from Mary Ann Sabo outline the proposed rate structure beginning in 2022
- Outline of proposed agreement

ANALYSIS & CONCLUSIONS:

The Township has been well served by Sabo PR, whom have been integral in establishing an enhanced communication structure within the organization. The Township Social Media presence, newsletter, e-newsletter, and all communication has been significantly influenced if not directly designed by Sabo over the past 4 years. The current embedded employee has been with the Township for over 2 years and brings a host of expertise to the Township, including videography and graphic design skills.

Though the Township did not bid out the services in 2017, the City of Kentwood did and shared the results of their bidding process with the Township. Other bid prices ranged from \$78 - \$143 an hour, and is included for your review.

The Personnel and Finance Committee reviewed this item at their December meeting, and have recommended The Township Board approve the agreement. The agreement is written in a manner it can be terminated by either party by notifying the other party in writing.

FINANCIAL CONSIDERATIONS:

The proposal from Sabo PR calls for the following rates for imbedded service (64-96 hours per week):

- 2021 - \$50
- 2022 - \$55
- 2023 - \$57.50
- 2024 - \$60
- 2025 - \$62.50

Rates for other services and team members can be found in the proposal. The FY 2022 budget includes an allocation of \$64,000 for these services.

RECOMMENDED ACTION:

To approve the Communications, Public Relations and Marketing Considerations proposal from Sabo PR, upon approval of the agreement language by the Township attorney, and authorize the Township to authorize the agreement on behalf of the Township.

Ben Swayze

From: Mary Ann Sabo <Maryann@sabo-pr.com>
Sent: Monday, November 15, 2021 8:26 AM
To: Ben Swayze
Subject: SPR rates 2022

Good morning, Ben. Hope you had a good weekend and didn't have nightmares about the pumpkin-deer.

As we prepare to turn the corner into the new year, I want to share the Sabo PR rates increases for 2022. As you may recall, we did not raise our hourly rates this year because of the uncertainty of the pandemic. We've absorbed price increases from our vendors and, like all of you, felt the impact of rising costs for utilities and other goods.

We also have not raised our rates for embedded team members for several years. Earlier this year, Kentwood asked us to sign a five-year contract, which required us to set rates through 2025. Since we have keep our in-house clients aligned, I wanted to share the new embedded rates with you:

Remainder of 2021	\$50/hour
2022	\$55/hour
2023	\$57.50/hour
2024	\$60/hour
2025	\$62.50/hour

To keep our current retainer level of 64 hours per month, the new base rate will be \$3,250. Additional hours from 64-96 will be billed at that hour rates. Should we go over that, we can bill Hunter at the rate for senior associate below.

Beginning Jan. 1, 2022, our new hourly rates for other teams members will be:

Principals	\$185	Travel: \$75
Directors	\$165	\$65
Senior associates	\$150	\$55
Associates	\$125	\$45

Should you need our crisis services, our new rates are:

Principals	\$295	Travel: \$150
Directors	\$250	\$130
Senior associates	\$215	\$110
Associates	\$185	\$90

I'm happy to address any questions you may have. We continue to work to manage our costs while delivering effective communications services that allow you to achieve a return on your investment. It's an honor to be your communications partner.

Mary Ann

Mary Ann Sabo
616.485.1432 • sabo-pr.com



Sabo PR

August 26, 2021

Ben Swayze
Cascade Charter Township
Via e-mail

Dear Ben :

Sabo Public Relations, LLC (the "Consultant") provides various public relations and communications services such as research, strategy, counseling, writing and editing, media relations, marketing communications, employee communications and crisis management services for its clients. We have appreciated the opportunity to serve the Cascade Charter Township (the "Client") by providing ongoing communications support, including an embedded team member since 2017. This letter agreement sets forth the terms under which the Consultant will continue to provide ongoing communications support services (the "Services") to the Client.

For the embedded team member: The Client agrees to utilize a minimum of 64 hours each month at rates to be described below. The Client can use additional hours at this rate, up to a maximum of 96 hours per month. The Consultant and the client will mutually agree upon a start date. In exchange, the Consultant agrees to provide a minimum of 16 hours per week and a maximum of 24 hours per week of embedded communications support.

Embedded rates shall be set at:

Remainder of 2021	\$50/hour
2022	\$55/hour

For additional support: If the Client requests or needs services in excess of 24 hours per week, the excess will be billed at our standard rates, which currently range from \$110-175 per hour for communications services and \$155-250 per hour for crisis and issues management. Rates for 2022 will range from \$125-190 per hour for communications services and \$185-295 per hour for crisis and issues management.

The Client agrees to reimburse the Consultant for all reasonable expenses incurred during the performance of the Services. These expenses include, but are not limited to, Internet research charges, postage, long distance telephone charges, photocopying, printing and other document preparation and duplication services, and expenses for travel requested or approved by the Client. The Client will reimburse the Consultant for these expenses at the Consultant's cost plus 10 percent, which is a reduction in the standard agency markup. The Consultant will obtain the Client's permission before incurring any extraordinary expenses to be reimbursed by the Client.

The Consultant will submit an invoice to the Client monthly for the Services performed and expenses incurred. The Client will pay the invoice amount within 30 days of receipt of the invoice.

The Consultant and the Client will continue the relationship established by this agreement until it is terminated by either party by written notice to the other party or modified by subsequent agreement in writing between the Client and the Consultant. Upon termination of this agreement, the Consultant will stop performing the Services and the Client agrees

to pay for all Services provided by the Consultant and all reimbursable expenses incurred by the Consultant until termination even though such Services provided or expenses incurred since the last invoice may not have been invoiced as of the date of the termination of this agreement.

The Consultant agrees that unless required by law, it will hold in confidence, will not discuss with others, and will not use for any purpose other than performing the Services under this agreement, or as otherwise agreed upon by the Client, any confidential information the Consultant obtains from the Client in connection with performing Services under this agreement.

The Consultant is an independent contractor of the Client and is not and will not be treated as an employee, partner, agent or joint venturer of the Client. Neither party will represent to any third party that the relationship between them is anything other than as set forth in this agreement.

The Client will indemnify, defend and hold harmless the Consultant and the Consultant's members, employees, associates and agents from and against any claim asserted or any lawsuit or other legal action filed by a third party that arises out of or results from the provision of Services under this agreement, including, but not limited to, claims or lawsuits arising out of any inaccurate or incomplete information provided to the Consultant, except to the extent any such claim or lawsuit is directly attributable to the negligence or willful misconduct of the Consultant in providing Services under this agreement.

The Consultant will not be liable to the Client or any other party for any incidental, indirect, special, punitive or consequential damages in connection with or arising out of the performance of this agreement or providing services under this agreement. Neither party may assign its rights under this letter agreement without the prior written consent of the other party.

This agreement sets forth the entire understanding among the parties with respect to its subject matter, supersedes all previous oral or written agreements and understandings on this subject matter between the parties or their respective affiliates. No provision of this letter agreement may be modified or waived except in writing executed by the parties.

Please acknowledge your agreement with the terms of this agreement by signing and returning a copy of it to the Consultant. This agreement may be signed in counterparts.

Best regards,

Mary Ann Sabo, President
Sabo Public Relations, LLC

Acknowledged and agreed to this **DATE**:

By: _____

Title: _____

Sabo Public Relations, LLC, 100 Grandville Ave. SW, Suite 301 Grand Rapids, MI 49503



TABULATION OF BIDS

Public Relations/Communications Consultant

Bid Tabulation - Page 1 of 1 - Opened by Carla Kane.

Bids due at 10:00 AM on Thursday, August 18, 2016.

BIDDERS	Rec'd on Time?	Exceptions?	Hourly Rate	Hourly Rate	Hourly Rate	Hourly Rate	Hourly Rate
			for Year 1	for Year 2	for Year 3	for Year 4	for Year 5
Clark Communications	Y	N	\$125	\$125	\$125	\$125	\$125
JA PR Group	NO BID						
Lambert, Edwards & Associates	Y	N	\$143.75	\$146.63	\$149.56	\$152.55	\$155.60
Sabo PR	Y	N	\$45	\$45	TBD - \$47.50	TBD - \$47.50	TBD - \$50
Seyferth PR	Y	Y	\$78	\$80	\$82	\$84	\$86
Truscott Rossman	NO BID						

End of Bid Tabulation



CASCADE CHARTER TOWNSHIP

5920 Tahoe Dr. SE Grand Rapids, Michigan 49546

Date: December 15, 2021
To: Supervisor Lesperance and Township Board Members
From: Ben Swayze, Township Manager
Subject: Resolution of General Fund Support to the Fire Fund

FACTS:

In June of 2004 the Township Board approved a resolution to place a fire protection services ballot proposal of the August 3, 2004 primary election for 0.5800 mills. That resolution contained the following provision:

“That the Township Board agrees that should the ballot proposal be approved by the electors, subject to the immediately following sentence, it will commit annually during the time the approved millage is levied a minimum of \$400,000 from the Township General Fund for fire protection services. Such annual commitment may only be suspended by formal resolution of the Township Board upon a finding that severe economic conditions exist which would cause a budget deficit without such suspension”

The proposed 0.5800 mills for fire protection services was approved by the Cascade Charter Township electors in August of 2004 and is currently scheduled to be levied through 2024. The Township Board has made the required appropriation each year the millage has been levied.

During the FY2014 budget process it was recommended by the Finance Committee that this appropriation be made each year by formal resolution, which it was beginning with the 2014 fiscal year budget.

ANALYSIS & CONCLUSIONS:

The prepared FY 2022 budget indicates that *“severe economic conditions...which would cause a budget deficit without such suspension”* do not exist. The FY 2022 budget has been prepared with a proposed budget surplus after the appropriation has been made, before the effect of Capital Improvements is considered.

FINANCIAL CONSIDERATIONS:

Approval of the proposed resolution will appropriate \$400,000 of general fund support to the fire fund. The proposed FY 2022 budget has been prepared with this appropriation.

RECOMMENDED ACTION:

To approve the Resolution of General Fund Support to the Fire Fund.

**CASCADE CHARTER TOWNSHIP
KENT COUNTY, MICHIGAN**

RESOLUTION ___ of 2021

RESOLUTION OF GENERAL FUND SUPPORT TO THE FIRE FUND

Minutes of a regular meeting of the Township Board of Cascade charter Township, County of Kent, State of Michigan, held via remote conferencing software Zoom in said Township on December 16, 2020 at 7:00 o'clock p.m., Eastern Standard Time

PRESENT: Members _____

ABSENT: Members _____

The following preamble and resolution were offered by Board Member _____ and supported by Board Member _____.

WHEREAS, in August 2004 the Township Board approved a resolution to place a fire protection services ballot proposal on the August 3, 2004 primary election for 0.5800 mills; and,

WHEREAS, in that resolution the Township Board agreed that should the ballot proposal be approved by the electors it would commit annually during the time the approved millage is levied a minimum of \$400,000 from the Township General Fund for fire protection services; and,

WHEREAS, the Township Board indicated that the annual commitment may only be suspended by formal resolution of the Township Board upon a finding that severe economic conditions exist which would cause a budget deficit without such suspension; and,

WHEREAS, the fire protection services ballot proposal was approved by the electors of Cascade Charter Township.

NOW, THEREFORE, BE IT HEREBY RESOLVED THAT, the Cascade Charter Township Board finds that severe economic conditions which would cause a budget deficit without suspension of the payment *do not* exist; and,

FURTHERMORE, BE IT RESOLVED THAT, The Cascade Township Board will make the aforementioned \$400,000 general fund contribution to the Fire Fund in the FY 2022 Budget.

YEAS: Board members _____

NAYS: Board members _____

ABSTAIN: Board members _____

ABSENT: Board members _____

RESOLUTION DECLARED ADOPTED

Susan B. Slater, Township Clerk

I HEREBY CERTIFY that the foregoing is a true and complete copy of a resolution adopted by the Township Board of Cascade Charter Township, County of Kent, Michigan, at a regular meeting held on December 15, 2021, and that said meeting was conducted and public notice of said meeting was given pursuant to and in full compliance with the Open Meetings Act, being Act 267, Public Acts of Michigan, 1976, and that the minutes of said meeting were kept and will be or have been made available as required by said Act.

Dated: _____

Susan B. Slater, Township Clerk

**CASCADE CHARTER TOWNSHIP
KENT COUNTY, MICHIGAN**

RESOLUTION ___ of 2021

**RESOLUTION TO ADOPT THE FY 2022 CASCADE CHARTER TOWNSHIP
GENERAL AND SPECIAL FUNDS BUDGET**

Minutes of a regular meeting of the Township Board of Cascade charter Township, County of Kent, State of Michigan, held at the Cascade Library – Wisner Center, 2870 Jacksmith Dr. SE, Grand Rapids MI in said Township on December 15, 2021 at 7:00 o'clock p.m., Eastern Standard Time

PRESENT: Members _____

ABSENT: Members _____

The following preamble and resolution were offered by Board Member _____ and supported by Board Member _____.

WHEREAS, Michigan Public Act 2 of 1968, as amended, requires that the Cascade Charter Township Board adopt budgets for the General Fund and all Special Revenue Funds, and

WHEREAS, the Cascade Charter Township Board has reviewed the proposed 2021 budgets for the General Fund and all Special Revenue Funds as prepared by the Township Manager and Township Treasurer; and

WHEREAS, on September 8, 2021 the Township Board passed a resolution to approve the levy of the 2021 millage rate, which is utilized to fund the FY 2022 budget; and

WHEREAS, for the purpose of the FY 2022 budgets the 2021 millage rates have been adopted by resolution as follows:

- Operating Millage: 0.9607
 - Voted Fire Millage: 1.3005
 - Voted Police Millage: 0.4538
 - Voted Pathway Millage: 0.3475
 - Voted Open Space Millage: 0.2274
 - Voted Library Millage: 0.1482
- Total*** ***3.4381***

WHEREAS, on December 15, 2021 at 7:00pm the Cascade Charter Township Board held a public hearing to solicit input from the public on the proposed Fiscal Year 2022 budget.

NOW, THEREFORE, BE IT HEREBY RESOLVED AS THAT, the Cascade Charter Township Board adopts the 2022 budgets for the General Fund and all Special Revenue Funds as attached to this Resolution as “Attachment – A” at *the departmental level*.

(Continued on Next Page)

YEAS: Board members _____

NAYS: Board members _____

ABSTAIN: Board members _____

ABSENT: Board members _____

RESOLUTION DECLARED ADOPTED

Susan B. Slater, Township Clerk

I HEREBY CERTIFY that the foregoing is a true and complete copy of a resolution adopted by the Township Board of Cascade Charter Township, County of Kent, Michigan, at a regular meeting held on December 15, 2021, and that said meeting was conducted and public notice of said meeting was given pursuant to and in full compliance with the Open Meetings Act, being Act 267, Public Acts of Michigan, 1976, and that the minutes of said meeting were kept and will be or have been made available as required by said Act.

Dated: _____

Susan B. Slater, Township Clerk

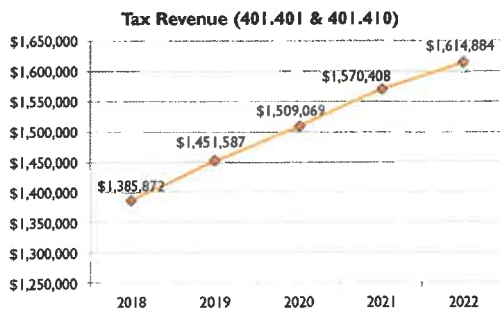


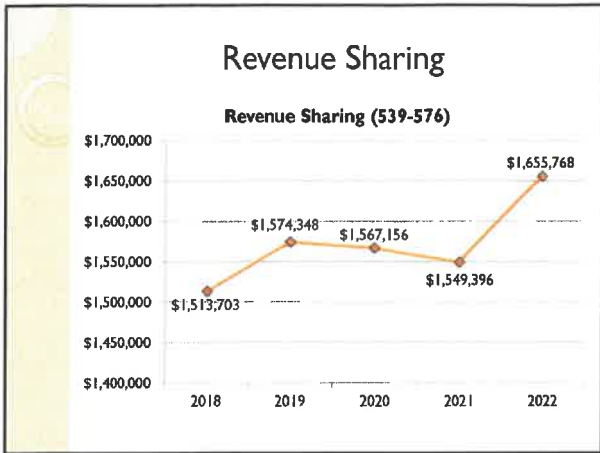
Cascade Charter Township
Fiscal Year 2022 Budget
Operating Budget

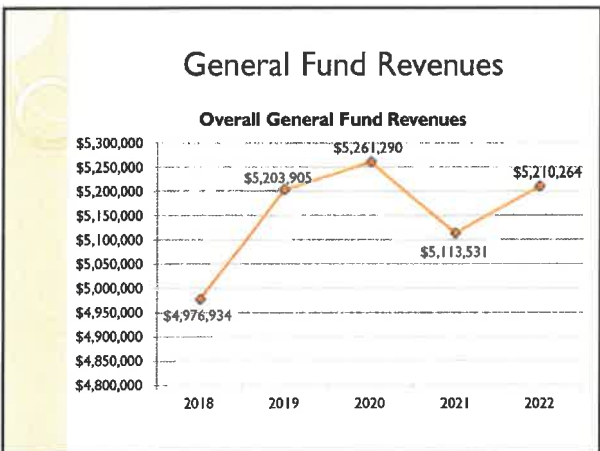
General Fund Overview

- The General Fund covers the following departments
Township Board, Supervisor/Manager, Clerk, Treasurer, Assessing, Elections, Buildings & Grounds, Cemetery, Administrative, Drains, Roads, Yard Waste Removal, Street Lights, Transportation, Planning, Parks, Historical, Benefits/Insurance, Capital Outlay, Debt Service
Assist in other funds through transfers
- General Fund entails all activities that are generally funded through tax dollars.
Many departments have associated fee revenues as well.

Real & Personal Property Revenues





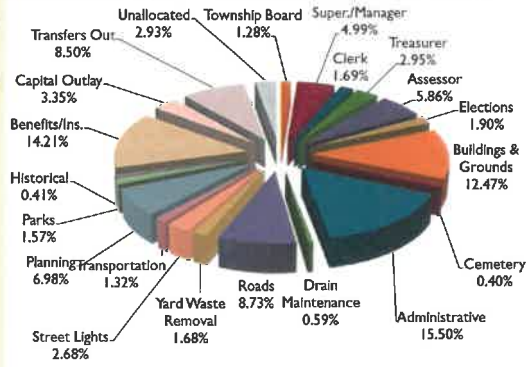


- ### General Fund – Revenues
- **FY 2022 - Line Items of Note:**
 - **General Property Taxes(401-402)**
 - Real Property Tax Revenues up 3.48%
 - **Personal Property Tax (401-410)**
 - Personal Property Tax Revenues down 6.36%
 - PPT Reform Continues (Industrial PPT)
 - Local Governments Reimbursed at 2013 Tax Roll Levels
 - Community Stabilization Share - \$61,480 Estimate for FY 2021
 - Increases in CSS should cover losses in PPT
 - **State Shared Revenue (539-576)**
 - Based on SoM Treasury Estimate – Sales tax receipts have returned to pre-Covid levels
 - Approximately \$61,793 in CVTRS Program

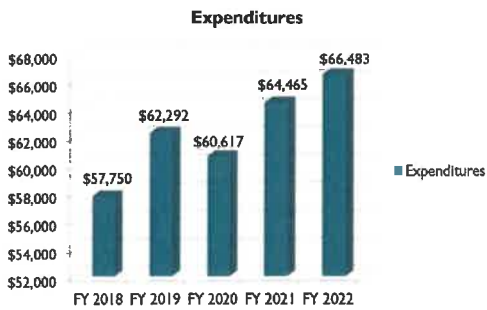
General Fund – Revenues (Con't)

- FY 2022 - Line Items of Note:
 - Cable Revenue/PEG Fees (450-460; 465)
 - Revenues Declining continuing cord cutters
 - Township DOES NOT get revenue from internet, only cable
 - Interest on Investments (665-000)
 - Liquid Interest Revenues less than 1%; CD margins thin
 - Election Reimbursement (676-000)
 - Primary Election costs reimbursed by State
 - TRF From Police (699-100)
 - Transfer not budgeted; ATM position not being recommended to be filled
 - TRF From DDA (675-000)
 - Cover 1/2 Econ/DDA Director; 1 Full B&G Emp.
 - Will be adjusted once final compensation is calculated
 - TRF From Pathways (679-100)
 - Cover 1 Full B&G Emp
 - Will be adjusted once final compensation is calculated
 - TRF From Library (679-200)
 - Cover 0.75 Full B&G Emp (Grounds Maintenance; W/lsner)
 - Proposal to use janitorial service at Library
 - Will be adjusted once final compensation is calculated

General Fund – Allocation Overview



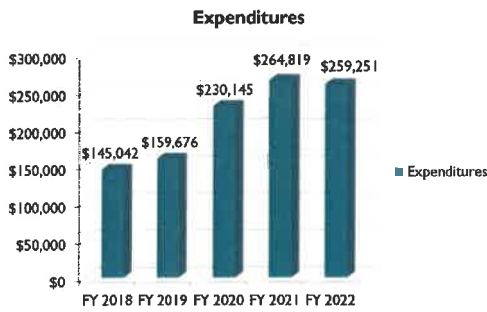
General Fund – Township Board



General Fund – Township Board

- **FY 2022 – Line Items of Note**
 - All salaries for Trustees (704-000)
 - Township Dues (723-000)
 - Pays for all dues of Township (GYMC, Chamber, Etc...)
 - Education (724-000)
 - Available for Trustee Educational Opportunities

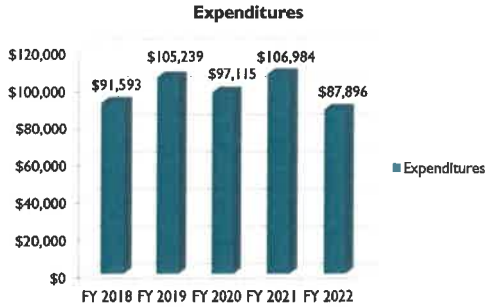
General Fund – Supervisor/Manager



General Fund – Supervisor/Manager

- **FY 2022 - Line Items Of Note:**
 - **Wages – Full Time (702-000)**
 - Township Manager and Administrative Services Assistant
 - **Wages – Part Time (704-000)**
 - Township Supervisor
 - **Assignable Salary (703.200)**
 - Merit Based Raises not yet assigned
 - Will be \$0 in Final Budget
 - **Education (724.000)**
 - Conferences & Seminars for Township Manager & Supervisor
 - **Special Projects (967-000)**
 - Continuation of Strategic Plan Update

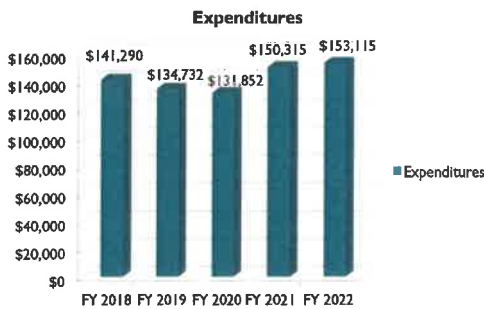
General Fund – Clerk



General Fund - Clerk

- FY 2022 - Line Items of Note:
 - Wages – Full Time (702-000)
 - Manager of Admin. Services / Deputy Clerk
 - Wages – Part Time (704-000)
 - Clerk

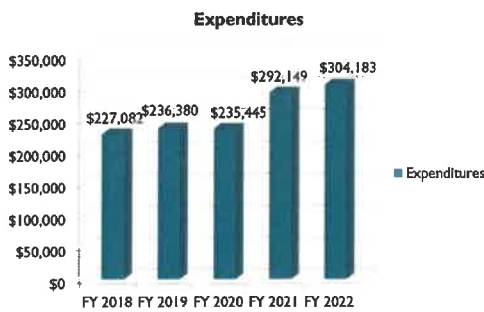
General Fund – Treasurer



General Fund - Treasurer

- **FY 2022 - Line Items of Note:**
 - **Wages – Full Time (702-000)**
 - Deputy Treasurer; Account Clerk II
 - **Wages – Part Time (704-000)**
 - Treasurer
 - **Wages – Casual (707-000)**
 - Tax Collection Help
 - **Office Equipment (981-000)**
 - 3 Replacement Computers

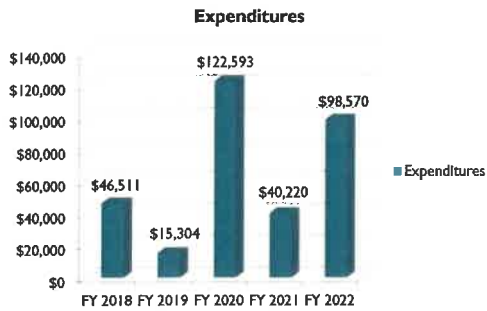
General Fund – Assessor



General Fund – Assessor

- **FY 2022 - Line Items of Note:**
 - **Wages – Full Time (702-000)**
 - Manager of Assessing Services; Deputy Assessor; Residential Appraiser
 - **Wages – Casual (707-000)**
 - Additional Casual Help for Data Entry; Department Intern
 - **Assessing Contractual Services (801-000)**
 - Contract Level 4 Assessor (Minimum - October 2022)
 - **Service Contracts (939-000)**
 - Purchase Costar Subscription

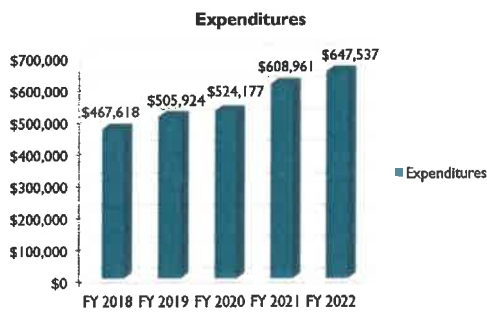
General Fund – Elections



General Fund – Elections

- FY 2022 - Line Items of Note:
 - Wages – Casual
 - Election Specialist Position - 20 hours Per Week
 - Election Dayworkers (2 elections)
 - Absentee Ballot Processing Help
 - Staffing & Supplies for Two Elections
 - Primary & General Elections
 - Primary Election Reimbursable by State

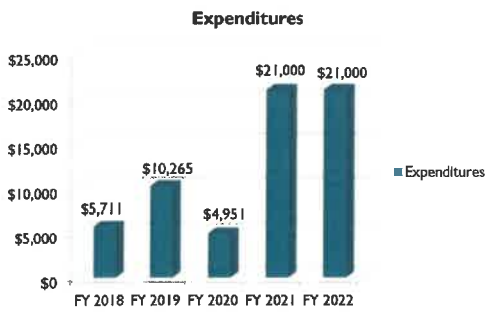
General Fund – Buildings & Grounds



General Fund – Buildings & Grounds

- **FY 2022 - Line Items of Note:**
 - Wages – Full-Time (702,000)**
 - Director of Public Works
 - New Position, responsible for Buildings & Grounds Administration, Parks, Pathways, Stormwater, Water/Sewer, Streets, Engineering, Project Management
 - Possible for transfer funding from areas of responsibility
 - 6 Full-Time Building & Grounds Employees
 - 1 Funded by DDA
 - 1 Funded by Pathways
 - 0.75 Funded by Library
 - Wages – Casual (707,000)**
 - 2 Long-Term Seasonal (April – October)
 - 2 Traditional Seasonal (May- August)
 - All Maintenance Expenses for Township Hall & Buildings & Grounds Facilities & Equipment**
 - Maintenance, Utilities, Communication, Fuel, Etc...

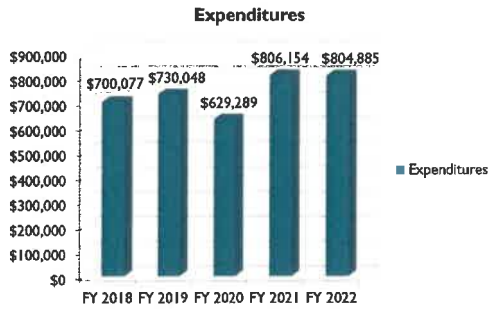
General Fund – Cemetery



General Fund – Cemetery

- **FY 2022 - Line Items of Note:**
 - Backhoe Services (820-000)**
 - Emergency Services; Winter Services

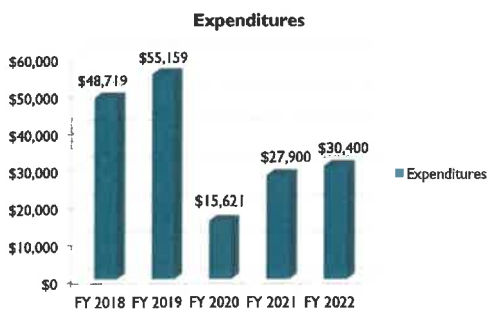
General Fund – Administrative



General Fund – Administrative

- FY 2022 - Line Items of Note
 - Wages – Full Time (702-000)
 - Human Resources Director (previously Generalist)
 - Sr Accountant
 - Wages – Part Time (704-000)
 - Front Desk Clerk(s)
 - Insect/Weed Control (816-000)
 - Acreage to spray steady over past 3 years
 - Legal Fees (826-000)
 - FY 2021 "Peak" year, FY 2022 should be lower with projects settled
 - Special Projects (967-000)
 - Communications Consultant & Expenses (Sabo PR)
- Contains all General Expenses of the Township
 - Engineering, Legal, Special Events, Communication, Etc..

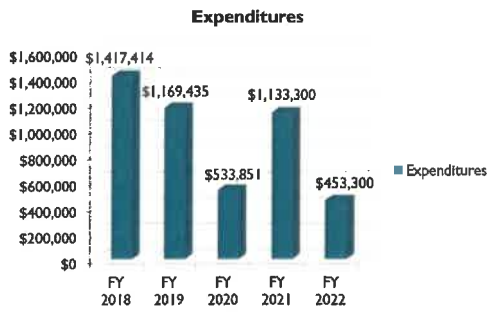
General Fund – Drain Maintenance



General Fund – Drain Maintenance

- **FY 2022 - Line Items of Note:**
 - Drain Maintenance (816-000)
 - Thornapple Hills Drain Clean-out; KCDC Assessments
 - Drain Engineering (821-000)
 - Continue SWMP project meetings
 - Any projects arising from project meetings will be budgeted separately

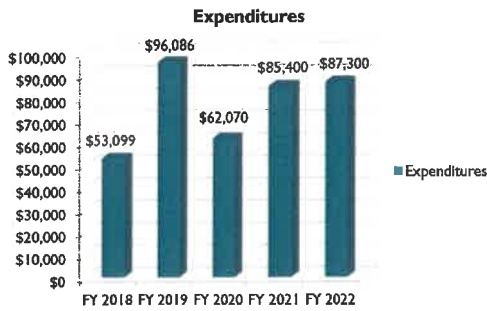
General Fund – Roads



General Fund – Roads

- **FY 2022 - Line Items of Note:**
 - Road Overlays (821.000)
 - Return to "standard" program
 - KCRC matches dollar-for-dollar
 - Road Engineering Studies (821.500)
 - Cascade Road Corridor Safety Study
 - Road Reconstruction Pre-engineering

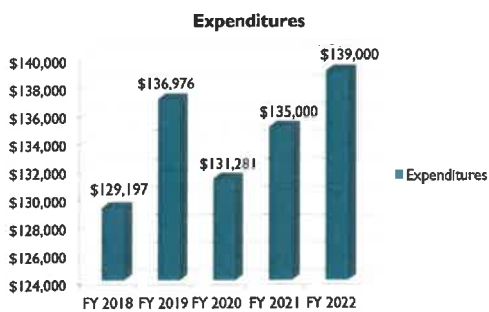
General Fund – Yard Waste



General Fund – Yard Waste

- FY 2022 - Line Items of Note:
 - Spring/Fall Clean-Up (820-000)
 - Additional cost for electronic recycling
 - Service Contracts (939-000)
 - Bag Leaf Pick Up
 - Hazardous Waste Day
 - Yard Waste Dumpsters
 - Storm Damage Dumpster
 - Garlic Mustard Dumpster

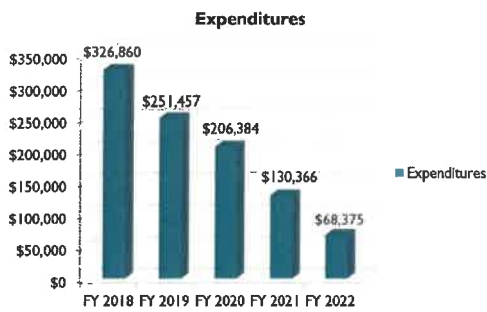
General Fund – Street Lights



General Fund – Street Lights

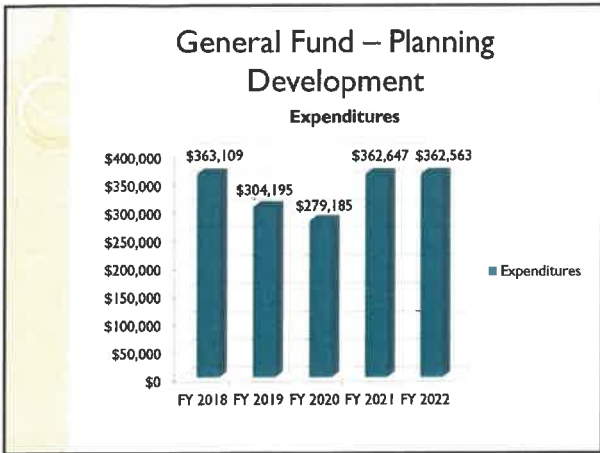
- **FY 2022 - Line Items of Note:**
 - 60% of the cost of non-DDA streetlights are reimbursed through the Streetlight SAD

General Fund – Transportation



General Fund – Transportation

- **FY 2022 - Line Items of Note:**
 - **Transportation Services (859,000)**
 - CDBG Reworked – More Money Available to Cascade but Funds are more likely to run out...budget is "safeguard"
 - **Go!Bus Tix (859,100)**
 - Eliminated \$0.50 subsidy in 2021
 - **Bus Service 33rd & 36th (861-000)**
 - General Fund Covers 100%
 - Contract to be considered again in May 2022
 - **Bus Service 28th St (861-100)**
 - Entire cost of bus was moved to DDA in FY 2022



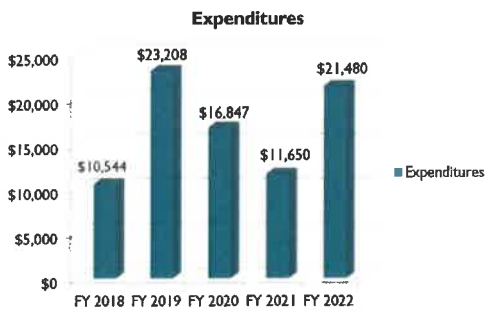
- ### General Fund – Planning Development
- **FY 2022 - Line Items of Note:**
 - **Wages – Full time (702-000)**
 - Planning Director, ED/DDA Director, Zoning Administrator, Front Desk Clerk
 - Community Development Director eliminated (Planning Director)
 - Planner Eliminated (Zoning Administrator)
 - **Wages – Casual (707-000)**
 - 18 Week Summer Intern Program
 - Planning Commission; Zoning Board of Appeals
 - **Special Projects (967-000)**
 - Tactical Urbanism (Split with DDA)
 - Parks & Recreation Master Plan



General Fund – Parks

- **FY 2022 - Line Items of Note:**
 - **Park Maintenance (935-000)**
 - General Maintenance
 - Entrance Drive Work at McGraw Park
 - **Small Equipment/Furniture (981-000)**
 - Replacement of blowers, weedwhips, etc...

General Fund – Historical



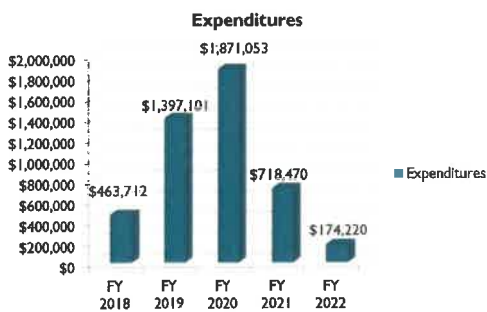
General Fund – Historical

- **FY 2022 - Line Items of Note:**
 - **Projects, Promotions & Programs (758-000)**
 - Continuation of \$7,000 contribution to Historical Society
 - **Museum Maintenance (961-000)**
 - Window work and painting needed

General Fund – Benefits & Insurance

- Address after general & special fund expenditures

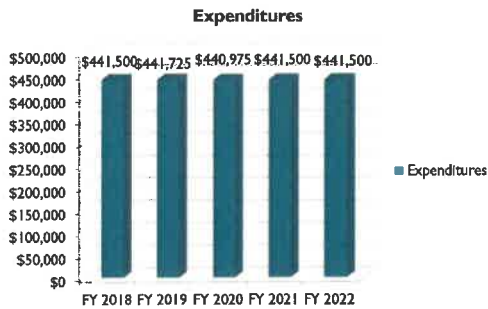
General Fund – Capital Outlay



General Fund – Capital Outlay

- FY 2022 - Line Items of Note:
 - Capital Outlay – FFE (970-000)
 - Township Hall Generator (68.7%) (\$41,220)
 - Bobcat Utility Vehicle (\$10,000)
 - Z-Master Replacements (\$15,000)
 - Grandstand Replacements (\$8,000)
 - Capital Outlay – Landimp (974-000)
 - Recreation Park – Lots & Drives (\$100,000)

General Fund – Transfers



General Fund – Transfers

- FY 2022
- Line Items of Note:
 - Transfer to Fire Fund (999-006)
 - Economic Conditions are Steady – Transfer Recommended
 - Transfer to Cemetery (999-004)
 - Cemetery Fee recommendations forthcoming, Revenues and Transfers could go up

General Fund – Debt Service

- FY 2022 - Line Items of Note:
 - Not Included
 - Debt Service for Fire Station #1 Project
 - Will be discussed by Township Board in early 2022
 - Offset by increases to Constitutional Revenue Sharing

Cemetery Trust Fund – Revenues

- **FY 2022 - Line Items of Note:**
 - Cemetery Care Fee (600-636)
 - Generates Approximately \$5,000 per year
 - Non-residents holding sites (\$10 per site)
 - Revenues (transfers in) could increase if new fee structure considered

Cemetery Trust Fund – Expenditures

- **FY 2022 - Line Items of Note:**
 - Miscellaneous (787-000)
 - Flag Expenditures
 - Repair/Maintenance (931-000)
 - Monument restoration & repair

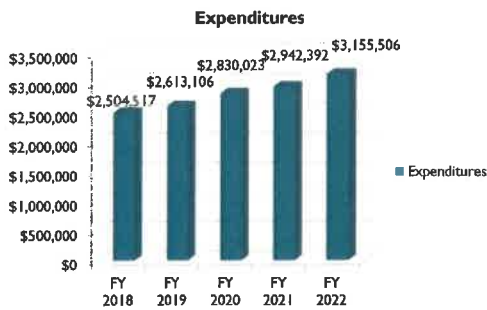
Fire Fund Revenues



Fire Fund – Revenues

- **FY 2022 - Line Items of Note:**
 - General Property Taxes(401-402)**
 - Real Property Tax Revenues up 3.84%
 - Personal Property Tax (401-410)**
 - Personal Property Tax Revenues down 6.36%
 - PPT Reform Continues (Industrial PPT)
 - Local Governments Reimbursed at 2013 Tax Roll Levels
 - Community Stabilization Share - \$38,624 Estimate for FY 2022
 - Interest on Investments (665-000)**
 - Liquid funds investment rate minimal; CD margins thin
 - Transfer In (699-000)**
 - \$400,000 GF transfer again being recommended
 - \$44,323 BF transfer to cover 25% of Inspectors Compensation (...to be adjusted after final wages set)

Fire Fund – Expenditures



Fire Fund – Expenditures

- **Firefighters Salary (702-000)**
 - Fire Chief
 - Fire Marshall, Inspector
 - 3 Fire Captains
 - 3 Fire Lieutenants
 - 12 Firefighters
 - Administrative Assistant
- **Assignable Salary (703-200)**
 - Merit based raises (will be \$0 in final budget)
- **Overtime & Paid On Call (707-000; 713-000)**
 - Usage will depend on the effects of COVID on the department, could be under budgeted

Fire Fund – Expenditures

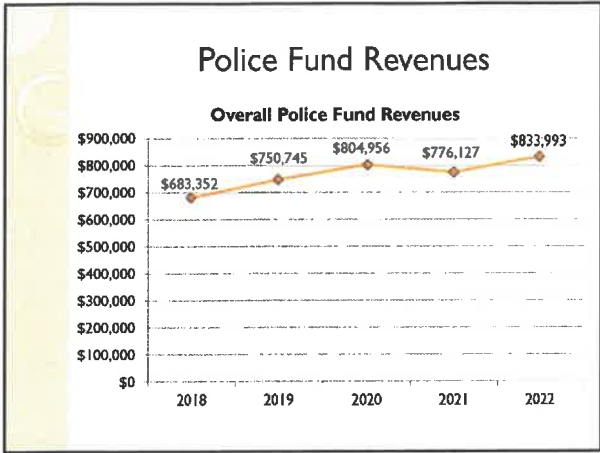
- **FY 2022 - Line Items of Note (con't):**
 - **Fire Training (726-000)**
 - Combined Training and Education for whole Department
 - **New Line Items**
 - Fire Prevention – Investigation (790-000)
 - Tech Rescue (791-000)
 - Health Wellness (802-000)
 - **Communications (850-000)**
 - Combination of all Phone/Data/Technology GL
 - **Vehicle Maintenance (863-000)**
 - Separated from Equipment Maintenance (938-000)
 - **Utilities (928-000)**
 - Combined All Utility Line Items (Leased Facilities Utility Rates Unknown)

Fire Fund – Expenditures

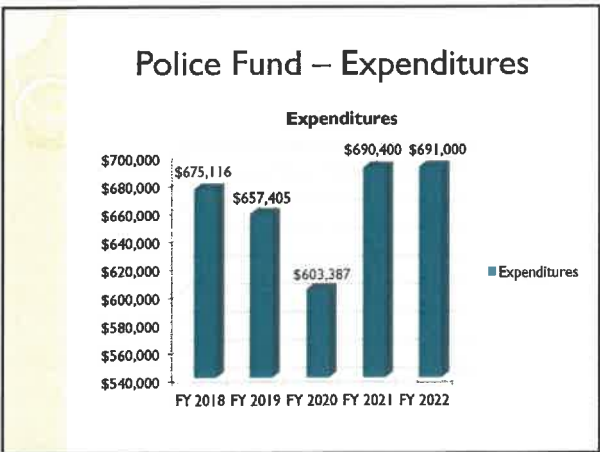
- **FY 2022 - Line Items of Note (con't):**
 - **Capital Outlay – Bldgimp (975-000)**
 - Fire Station #1 – Pre-Bidding Work (\$150,000)
 - **Fire Fund Deficit (\$472,000)**
 - Expected from staffing increase (deficits through 2023 when next millage is up for renewal)
 - Expected Fund Balance YE 2021 - \$2.0 million +/-

Fire Fund – Benefits

- Discuss after general expenditures



- ### Police Fund – Revenues
- **FY 2022 - Line Items of Note:**
 - **General Property Taxes(401-402)**
 - Real Property Tax Revenues up 3.84%
 - **Personal Property Tax (401-410)**
 - Personal Property Tax Revenues down 6.39%
 - PPT Reform Continues
 - Local Governments Reimbursed at 2013 Tax Roll Levels
 - Community Stabilization Share - \$13,482 Estimate for FY 2022
 - **Interest on Investments (665-000)**
 - Liquid fund investment rates minimal; CD matures in FY 22



Police Fund – Police Department

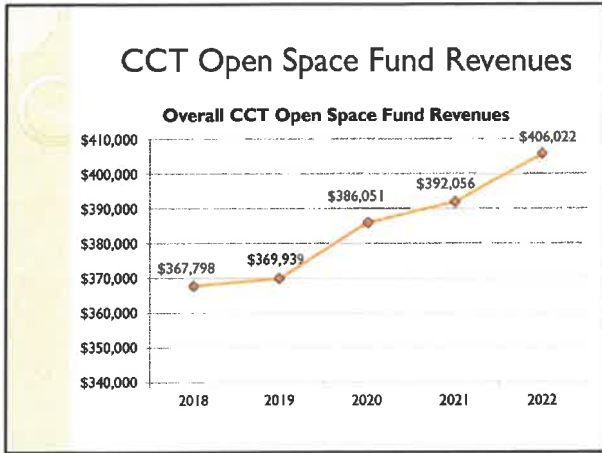
- FY 2022 - Line Items of Note:
 - Sheriff Protection(801-000)
 - Budget Estimate from KCSD – Based on FY22 budget levels +3%
 - Transfer to Other Fund (999-000)
 - Eliminated transfer for Assistant Township Manager (position eliminated)
 - \$142k budget surplus – use of funds should be reviewed in FY 2022

Hazmat Fund – Revenues

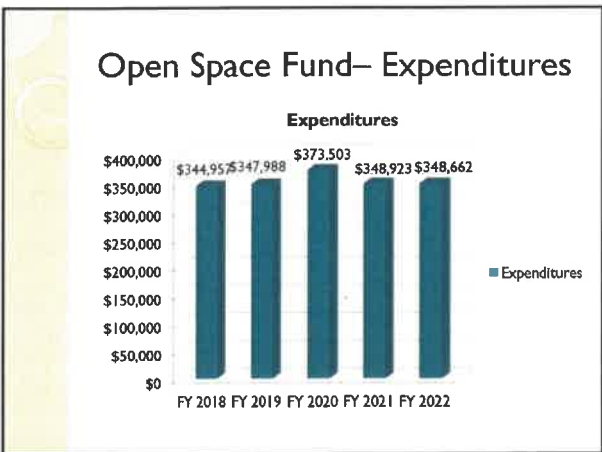
- FY 2022 - Line Items of Note:
 - Contributions (607-581, 607-699)
 - Communities are once again making the annual contributions (\$2,000)
 - Slow Draw Down of Funds

Hazmat Fund – Expenditures

- FY 2022 - Line Items of Note:
 - None
 - Hazmat Group may be looking for additional partners in FY 2022



- ### CCT Open Space – Revenues
- **FY 2022 - Line Items of Note:**
 - **General Property Taxes(401-402)**
 - Real Property Tax Revenues up 3.84%
 - **Personal Property Tax (401-410)**
 - Personal Property Tax Revenues down 6.37%
 - PPT Reform Continues
 - Local Governments Reimbursed at 2013 Tax Roll Levels
 - Community Stabilization Share - \$15,753 Estimate for FY 2022
 - **Interest on Investments (665-000)**
 - Liquid fund rates minimal; CD margins low
 - Interest on "Homeyer" reserve gets committed every year



Open Space Fund – Expenditures

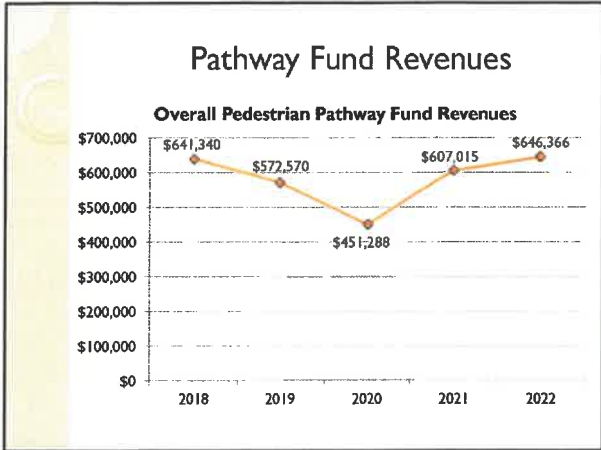
- FY 2022 - Line Items of Note:
 - Debt Service
 - Refinanced in FY2018 (Advanced Refunding)
 - Original Bond Paid Off
 - Refinanced Bond – Only payment remaining

Dam Major Repair Fund – Revenues

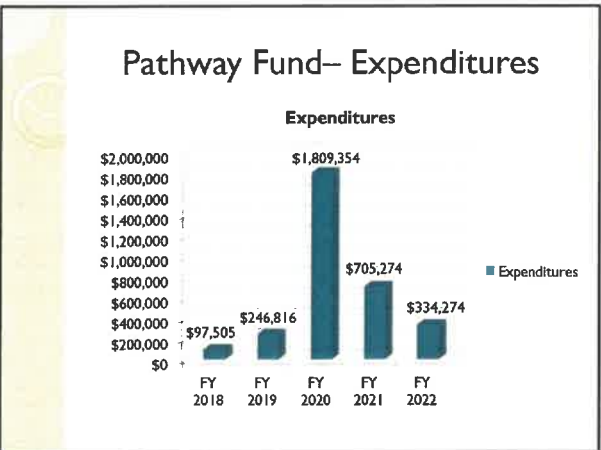
- FY 2022 - Line Items of Note:
 - Contributions (675-000)
 - Eagle Creek Renewable Energy Repair Fund Contribution
 - Transfers (699-000)
 - Township Contributes \$40,000 per year to fund

Dam Major Repair Fund – Expenditures

- FY 2022 - Line Items of Note:
 - Dam Major Repair (980-000)
 - Demolition & basic restoration of the Doctor's Office (Carry Over from FY 2021)
 - Grants being pursued for demolition & restoration as well



- ### Pathways Fund – Revenues
- **FY 2022 - Line Items of Note:**
 - **General Property Taxes(401-402)**
 - Real Property Tax Revenues up 3.84%
 - **Personal Property Tax (401-410)**
 - Personal Property Tax Revenues down 6.37%
 - PPT Reform Continues
 - Local Governments Reimbursed at 2013 Tax Roll Levels
 - Community Stabilization Share - \$24,075 Estimate for FY 2022
 - **Interest on Investments (665-000)**
 - Liquid fund returns low; CD matures



Pathways Fund – Expenditures

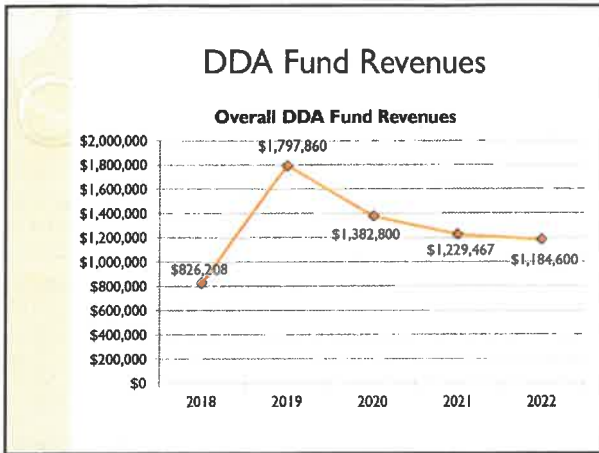
- FY 2022 - Line Items of Note:
 - Maintenance & Repair (931-000)
 - Double to \$250,000 (Infrastructure Committee may recommend more)
 - Pathway Maintenance (931-200)
 - 1 FT B&G Employee (Transferred to GF)
 - Capital Outlay (970-000)
 - No projects immanent

Infrastructure Fund – Revenues

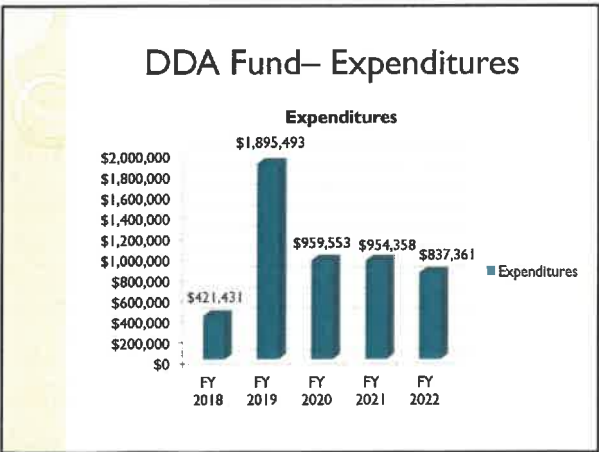
- FY 2022 - Line Items of Note:
 - Hook-Up Fees (630-000)
 - Budget at \$200,000 but could be significantly higher or lower in FY21
 - Effected by large projects (Edward Rose multi-family project \$750,000+ in tap fees outstanding, timing unknown)

Infrastructure Fund – Expenditures

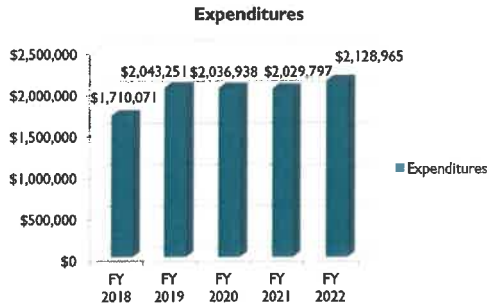
- FY 2022 - Line Items of Note:
 - Whole House Filter Project (967-100)
 - Carryover for continuation of project



- ### DDA Fund – Revenues
- **FY 2021 - Line Items of Note:**
 - **Taxes (401-401, 402, 403, 406)**
 - Trending down due to the impact of settling tax tribunal cases (specifically hotels)
 - **Interest Revenues (665-000)**
 - Liquid fund interest minimal; CD margins minimal



Building Fund– Expenditures

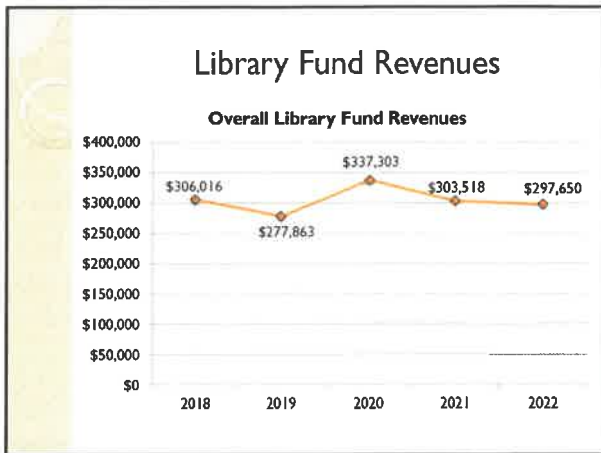


Building Fund – Expenditures

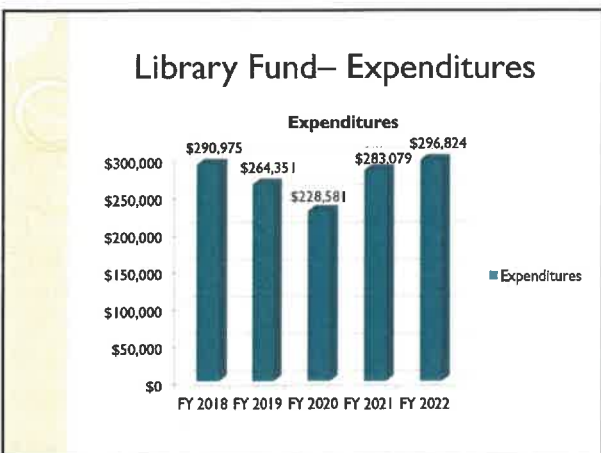
- FY 2022 - Line Items of Note:
 - Wages – Full time (702-000)
 - Director of Inspections
 - Deputy Building Official
 - 3 Building Inspectors
 - 3 Mechanical/Plumbing Inspectors (Including 1 Chief)
 - 1 Plumbing Inspector
 - 2 Electrical Inspector (Including 1 Chief)
 - 25% of combined Fire Inspectors
 - 1 Permitting Manager
 - 1 Administrative Assistants
 - Wages – Casual (707-000)
 - Part-time Inspectors, only need on an "as needed" basis (to fill in during prolonged absences, heightened activity). Paid on a "per inspection" basis
 - Payments to Other Townships (964-100+)
 - Equals 20% of estimated revenues
 - Capital Outlay – Bldg/mp (975-000)
 - Bldg Dept Portion of Generator

Building Fund – Benefits

- Discuss after general expenditures



- ### Library Fund – Revenues
- **FY 2022 - Line Items of Note:**
 - **General Property Taxes(401-402)**
 - Real Property Tax Revenues up 3.84%
 - **Personal Property Tax (401-410)**
 - Personal Property Tax Revenues down 6.37%
 - PPT Reform Continues
 - Local Governments Reimbursed at 2013 Tax Roll Levels
 - Community Stabilization Share - \$10,269 Estimate for FY 2022
 - **Interest on Investments (665-000)**
 - Liquid rates low; CD margins minimal



Library Fund – Expenditures

- **FY 2022 - Line Items of Note:**
 - **Janitorial & Maintenance (802-200)**
 - Reinstitute janitorial contract – Hope Network
 - Includes non-regular cleaning
 - **Library Maintenance (931-100)**
 - 0.75 B&G Employees
 - Reduced from 1.5 in FY 2021
 - Covers grounds maintenance and Wisner set-up
 - **Capital Outlay – FFE (970-000)**
 - Landscaping project (partner with Friends)
 - **KDL/Friends of the Library funded a “Facility Refresh” Study**
 - To be considered by Township Board in early 2022

Wages

- **Three types of increases:**
 - **Cost of Living Increases –** General increases applied unilaterally to all employees, and subsequently applied to the Pay Grade / Step scales
 - **Defined Step Increases –** Increase in step pay for employees (typically newer) that have not yet reached the “Open Step” for their position. Contingent on positive performance evaluation
 - **Merit Pay Increases –** Increase in pay for employees in “Open Range” for position, awarded for bringing “value added” to the Township

Wages

- **Overall Increase in wage compensation**
 - **Recommended at 3.84%**
 - Reflects the Township increase in real property tax related revenues
 - All raises (CPI, Step, Merit)
 - **Building Department –** Not included due to department restructuring and market conditions
 - Creation of “Chief” trade positions
 - Creation of Deputy Building Official

Wages

- **Cost of Living Wage Increase**
 - Recommended at 1.4%
 - Reflects the CPI applied to taxable values for FY 2022
 - Already included in Draft Budget

Wages

- **Defined Step Increases**
 - Available to employees who are still in the defined step portion of their pay grade
 - Typically new-ish employees
 - Based on positive performance review
 - Already included in draft budget
 - 3 employees eligible for step increases

Wages

- **Merit Step Increases**
 - Available to employees in the "Open Range" for their position
 - Increases based on "value added" to the Township at recommendation of department head
 - **Assignable Salary (GF/FF)**
 - Recommended at \$45,000
 - General Fund - \$20,000
 - Fire Fund - \$25,000
 - Building Fund – N/A (Already Included in Budget)
 - Focus on lower paid positions due to market issues

Benefits

- Health Benefits
 - Switched to the West Michigan Health Insurance Pool
 - Includes 100+ West Michigan Public Employers
 - Self-Insured Pool, but based on Priority Health Plans
 - Township gets spot on Board of Directors

Benefits

- Health Benefits - Proposal
 - 100% Employee pays 17.3%
 - 80% Employee pays 11.82%
 - Employee/Employer "rates" go up 1.9%
 - Changes in FY21-FY22
 - Open Enrollment Changes
 - Mid-Year Changes
 - New Positions
 - All new positions budgeted for "worst case" scenario

Benefits

- Renewal with Delta Dental for FY 2022
 - Same rates as FY 2021
 - Same policy as FY 2021
 - Employee pays 10%

Benefits

- **MERS – Pension Benefits**
 - DB Pension Plan Closed to New Hires (6/30/18)
 - 43 Employees on DC Plan
 - 10% or 12% match depending if they are new or converted
 - 13 Employees on DB Plan
 - \$19,337 Per Month
 - Up from \$15,953
 - Will continue to rise as less employees are contributing
 - Will begin to fall when less retirees are collecting

Benefits

- **HSA/HRSA Contribution**
 - Policy approved by Board in 2020 sets amount equal to the deductible for single coverage
 - Remains the same for 2021 - \$1,400
 - General Fund - \$40,600
 - Fire Fund - \$30,800
 - Building Fund - \$18,200

Questions?



12/10/2021

BUDGET REPORT FOR CASCADE CHARTER TOWNSHIP

CASCADE CHARTER TOWNSHIP
2022 RECOMMENDED BUDGET

GL NUMBER	DESCRIPTION	2020 ACTIVITY	2021 AMENDED BUDGET	2022 REQUESTED BUDGET	2022 REQUESTED AMT CHANGE	2022 REQUESTED % CHANGE
ESTIMATED REVENUES						
Dept 000						
101-000-401-401	GENERAL PROPERTY TAXES	1,412,262	1,466,381	1,517,478	51,097	3.48
101-000-401-405	STREETLIGHT	77,350	78,000	81,000	3,000	3.85
101-000-401-410	PERSONAL PROPERTY TAX	96,807	104,027	97,406	(6,621)	(6.36)
101-000-401-420	DELINQUENT TAXES	2,902	5,000	5,000		
101-000-401-437	ABATEMENT TAXES	11,888	17,331	14,700	(2,631)	(15.18)
101-000-401-445	INTEREST & PENALTIES ON TAXES	3,206	5,000	5,000		
101-000-401-447	TAX ADMINISTRATION FEES	674,710	635,000	645,000	10,000	1.57
101-000-450-460	CABLE REVENUE	336,493	336,000	324,000	(12,000)	(3.57)
101-000-450-465	CABLE - PEG FEES	70,063	70,000	66,000	(4,000)	(5.71)
101-000-450-490	DOG LICENSES	153	150	150		
101-000-450-498	OTHER PERMITS		400	200	(200)	(50.00)
101-000-451-000	LIQUOR LICENSE	25,725	25,000	24,000	(1,000)	(4.00)
101-000-539-576	STATE SHARED REV.-SALES TAX	1,567,156	1,549,396	1,655,768	106,372	6.87
101-000-539-581	METRO ACT	17,477	22,405	22,000	(405)	(1.81)
101-000-573-000	LOCAL COMMUNITY STABILIZATION SHARE	65,541	53,818	61,480	7,662	14.24
101-000-600-608	PLANNING AND ZONING FEES	42,558	25,000	25,000		
101-000-600-610	SUMMER TAX COLLECTION FEE	26,001	26,000	26,500	500	1.92
101-000-600-611	SEWER & WATER IMPLEMENTATION	37,289	21,000	21,000		
101-000-600-614	PA 198 TAX APPLICATION FEE	1,000	2,000	2,000		
101-000-600-626	PASSPORT APPLICATION FEE	10,955	11,000	10,500	(500)	(4.55)
101-000-600-634	CEMETERY-OPENINGS AND CLOSINGS	10,915	15,000	15,000		
101-000-600-647	YARD WASTE TAG FEE	872	1,000	1,000		
101-000-665-000	INTEREST ON INVESTMENTS	163,060	80,000	59,000	(21,000)	(26.25)
101-000-665-002	DAM LEASE PAYMENTS	70,000	70,000	70,000		
101-000-665-003	RENTAL OF FACILITIES	585	600	600		
101-000-665-004	CELLULAR TOWERS	103,177	109,000	109,000		
101-000-665-014	CELL TOWER - KEPS ANTENA LEASE	900	1,800	1,800		
101-000-671-653	PARK INCOME	4,320	7,000	8,400	1,400	20.00
101-000-671-671	MISCELLANEOUS INCOME	23,555	4,000	4,000		
101-000-671-675	DONATIONS	4,000				
101-000-671-680	MISC INCOME - TRANSIT TICKETS	430	500	500		
101-000-671-683	REIMBURSEMENTS/REFUNDS	5,946				
101-000-673-000	SALE OF ASSETS	2,538	2,500	2,500		
101-000-674-000	4TH OF JULY SPONSORS			20,000	20,000	

101-000-674-200	HALLOWEEN SPONSORS		2,000	2,000		
101-000-675-000	DDA CONTRIBUTION	99,426	99,426	98,077	(1,349)	(1.36)
101-000-676-000	ELECTION REIMBURSEMENT	26,823		25,000	25,000	
101-000-679-000	INTERFUND REIMBURSE/BLDG INSPECTION F	99,135	100,000	100,000		
101-000-679-100	REIMBURSEMENT FROM PATHWAYS	50,974	50,974	50,974		
101-000-679-200	REIMBURSEMENT FROM LIBRARY	76,461	76,461	38,231	(38,230)	(50.00)
101-000-679-300	REIMBURSEMENT FROM CEMETERY	(1,725)				
101-000-699-100	TRANSFER FROM POLICE	40,362	40,362		(40,362)	(100.00)
Totals for dept 000 -		5,261,290	5,113,531	5,210,264	96,733	1.89

TOTAL ESTIMATED REVENUES	5,261,290	5,113,531	5,210,264	96,733	1.89
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APPROPRIATIONS

Dept 101 - TOWNSHIP BOARD

101-101-704-000	WAGES- TRUSTEES (4)	39,834	40,765	42,183	1,418	3.48
101-101-723-000	TOWNSHIP DUES	16,945	19,050	19,350	300	1.57
101-101-724-000	EDUCATION	1,900	1,700	2,000	300	17.65
101-101-860-000	TRUSTEE MILEAGE		250	250		
101-101-862-500	TRUSTEE EXPENSE ACCOUNT		500	500		
101-101-924-100	TRUSTEE CELL PHONES/DATA	1,795	1,200	1,200		
101-101-981-000	OFFICE EQUIPMENT	143	1,000	1,000		
Totals for dept 101 - TOWNSHIP BOARD		60,617	64,465	66,483	2,018	3.13

Dept 171 - SUPERVISOR

101-171-702-000	WAGES- FULL TIME	195,012	200,061	49,254	(150,807)	(75.38)
101-171-702-001	WAGES - DEPARTMENT HEAD			137,612	137,612	
101-171-703-200	ASSIGNABLE SALARY			20,000	20,000	
101-171-704-000	WAGES- TOWNSHIP SUPERVISOR	22,130	22,647	23,435	788	3.48
101-171-707-100	ADDITIONAL HELP/OT		5,000	1,000	(4,000)	(80.00)
101-171-723-000	SUPERVISOR MEMBERSHIPS AND DUES	1,975	3,525	3,050	(475)	(13.48)
101-171-724-000	EDUCATION	1,059	7,546	5,100	(2,446)	(32.41)
101-171-725-100	TUITION REIMBURSEMENT	2,073	3,500		(3,500)	(100.00)
101-171-860-000	SUPERVISOR MILEAGE	1,600	4,600	4,000	(600)	(13.04)
101-171-862-500	SUPERVISOR EXPENSE ACCOUNT		500	500		
101-171-862-550	MANAGER EXPENSE ACCOUNT	349	1,000	1,000		
101-171-901-000	SUPERVISOR PUBLICATIONS	163	500	500		
101-171-925-000	CELL PHONE/ DATA	4,104	2,940	1,800	(1,140)	(38.78)
101-171-967-000	SPECIAL PROJECTS	1,680	10,000	10,000		
101-171-981-000	OFFICE EQUIPMENT		3,000	2,000	(1,000)	(33.33)
Totals for dept 171 - SUPERVISOR		230,145	264,819	259,251	(5,568)	(2.10)

Dept 215 - CLERK

101-215-702-000	WAGES- FULL TIME	71,682	56,279	57,748	1,469	2.61
101-215-704-000	WAGES- CLERK	17,704	18,118	18,748	630	3.48
101-215-707-000	WAGES- CASUAL	1,300	17,087		(17,087)	(100.00)

101-215-723-000	CLERK MEMBERSHIPS AND DUES	670	600	800	200	33.33
101-215-724-000	EDUCATION	1,989	5,100	4,100	(1,000)	(19.61)
101-215-725-000	CLERK TUITION REIMBURSEMENT		3,500		(3,500)	(100.00)
101-215-768-000	UNIFORMS		1,000	1,000		
101-215-860-000	CLERK MILEAGE	861	1,000	1,200	200	20.00
101-215-862-500	CLERK'S EXPENSE ACCOUNT	4	500	500		
101-215-925-000	CELL PHONE/ DATA	1,777	1,800	1,800		
101-215-981-000	OFFICE EQUIPMENT	1,128	2,000	2,000		
Totals for dept 215 - CLERK		97,115	106,984	87,896	(19,088)	(17.84)

Dept 253 - TREASURER

101-253-702-000	WAGES- FULL TIME	109,131	114,070	115,667	1,597	1.40
101-253-704-000	WAGES- TREASURER	17,704	17,745	18,748	1,003	5.65
101-253-707-000	WAGES- CASUAL	940	3,000	3,000		
101-253-707-100	ADDITIONAL HELP/OVERTIME		1,500	1,500		
101-253-723-000	TREASURER MEMBERSHIPS AND DUES	649	600	650	50	8.33
101-253-724-000	EDUCATION		3,000	3,000		
101-253-725-000	EDUCATION/TUITION REIMBURSEMENT		1,000		(1,000)	(100.00)
101-253-860-000	TREASURER MILEAGE	384	500	750	250	50.00
101-253-862-500	TREASURER'S EXPENSE ACCOUNT		200	200		
101-253-924-100	TREASURER'S CELL PHONES/DATA	163	600	600		
101-253-939-000	TREASURER SERVICE CONTRACTS	2,371	2,500	2,500		
101-253-981-000	OFFICE EQUIPMENT	510	5,600	6,500	900	16.07
Totals for dept 253 - TREASURER		131,852	150,315	153,115	2,800	1.86

Dept 257 - ASSESSING

101-257-702-000	WAGES- FULL TIME	197,922	213,193	129,679	(83,514)	(39.17)
101-257-702-001	WAGES- DEPARTMENT HEAD			86,499	86,499	
101-257-707-000	WAGES- CASUAL	2,310	17,836	25,110	7,274	40.78
101-257-723-000	ASSESSING MEMBERSHIPS AND DUES	2,026	1,820	2,170	350	19.23
101-257-724-000	EDUCATION	2,251	9,250	8,920	(330)	(3.57)
101-257-727-000	ASSESSING OFFICE SUPPLIES	5,030	1,500	1,500		
101-257-752-000	SUPPLIES	46				
101-257-801-000	ASSESSING CONTRACTUAL SERVICES	18,000	24,000	24,000		
101-257-808-000	BOARD OF REVIEW EXPENSES	218	5,025	4,200	(825)	(16.42)
101-257-860-000	ASSESSING MILEAGE	107	2,900	2,900		
101-257-862-500	ASSESSING EXPENSE ACCOUNT		100	100		
101-257-900-000	ASSESSING PRINTING AND PUBLISHING	163	1,600	1,100	(500)	(31.25)
101-257-924-100	CELL PHONES/DATA	493	2,400	2,700	300	12.50
101-257-939-000	ASSESSING SERVICE CONTRACTS	4,037	6,925	12,305	5,380	77.69
101-257-981-000	OFFICE EQUIPMENT	2,842	5,600	3,000	(2,600)	(46.43)
Totals for dept 257 - ASSESSING		235,445	292,149	304,183	12,034	4.12

Dept 262 - ELECTIONS

101-262-703-000	ELECTION SALARIES/PT HELP	10,573				
101-262-707-000	WAGES- CASUAL	81,152	30,720	62,320	31,600	102.86

101-262-756-000	ELECTION SUPPLIES	15,221	6,000	30,250	24,250	404.17
101-262-788-000	ELECTION MISC EXPENSES	15,647	3,000	5,000	2,000	66.67
101-262-932-000	MAINT/OFFICE EQUIP & COMPUTER REPAIR		500	1,000	500	100.00
Totals for dept 262 - ELECTIONS		122,593	40,220	98,570	58,350	145.08

Dept 265 - BUILDING AND GROUNDS

101-265-702-000	WAGES- FULL TIME	293,129	297,711	350,637	52,926	17.78
101-265-707-000	WAGES- CASUAL	23,758	57,600	57,600		
101-265-713-000	OVERTIME	5,492	10,000	10,000		
101-265-724-000	EDUCATION		1,250	1,250		
101-265-768-000	BLDG & GROUNDS UNIFORMS	1,571	3,200	3,200		
101-265-802-200	JANITORIAL & MAINTENANCE		2,000	2,000		
101-265-860-000	MILEAGE		250	100	(150)	(60.00)
101-265-863-000	VEHICLE MAINT	37,102	35,000	35,000		
101-265-864-000	FUEL	11,711	20,000	24,000	4,000	20.00
101-265-921-000	COMPLEX ELECTRICITY	35,307	35,000	35,000		
101-265-923-000	COMPLEX HEATING	11,277	12,000	12,000		
101-265-924-000	COMPLEX PHONES	23,062	21,900	21,900		
101-265-924-100	BLDG & GROUNDS CELL PHONES/ DATA	2,759	3,000	2,700	(300)	(10.00)
101-265-927-000	COMPLEX WATER-SEWER	8,148	7,500	7,500		
101-265-931-000	COMPLEX MAINTENANCE	69,272	80,000	60,000	(20,000)	(25.00)
101-265-932-000	OFFICE EQUIP/COMPUTER REPAIR	504	16,750	18,850	2,100	12.54
101-265-939-000	SERVICE CONTRACTS		800	800		
101-265-981-000	OFFICE EQUIPMENT	1,085	5,000	5,000		
Totals for dept 265 - BUILDING AND GROUNDS		524,177	608,961	647,537	38,576	6.33

Dept 276 - CEMETERY

101-276-820-000	BACKHOE SERVICES		5,000	5,000		
101-276-921-000	CEMETERY ELECTRICITY	939	1,000	1,000		
101-276-931-000	MAINT & REPAIR/IMPROVEMENTS	603	15,000		(15,000)	(100.00)
101-276-932-000	CEMETERY MAINT	3,409		15,000	15,000	
Totals for dept 276 - CEMETERY		4,951	21,000	21,000		

Dept 295 - ADMINISTRATIVE

101-295-702-000	WAGES- FULL TIME	104,266	127,976	142,730	14,754	11.53
101-295-704-000	WAGES- PART TIME	23,614	36,350	38,305	1,955	5.38
101-295-707-000	WAGES- CASUAL	15,056	5,000	5,000		
101-295-713-000	OVERTIME	7,841	5,000	5,000		
101-295-723-000	MEMBERSHIP AND DUES	409	775	710	(65)	(8.39)
101-295-724-000	EDUCATION	334	7,000	6,000	(1,000)	(14.29)
101-295-726-000	EMPLOYEE TRAINING	1,747	10,000	10,000		
101-295-727-000	OFFICE SUPPLIES	12,965	15,000	15,000		
101-295-730-000	POSTAGE	16,725	19,000	19,000		
101-295-787-000	MISCELLANEOUS	14,267	17,200	15,000	(2,200)	(12.79)
101-295-807-000	AUDIT FEES & SERVICES	15,040	15,040	15,480	440	2.93
101-295-810-000	LIABILITY INSURANCE	22,962	25,013	26,160	1,147	4.59

101-295-814-000	TAX/ASSESSING ADMIN COSTS	15,878	22,000	22,000		
101-295-815-000	COMPUTER COSTS-ISP	14,207	4,800	5,500	700	14.58
101-295-815-100	COMPUTER COSTS-WEB SITE	165	6,000	6,000		
101-295-816-000	INSECT/WEED CONTROL	54,248	58,800	59,500	700	1.19
101-295-821-000	ENGINEERING COSTS	33,429	35,000	35,000		
101-295-826-000	LEGAL FEES	61,308	100,000	75,000	(25,000)	(25.00)
101-295-850-000	COMMUNICATIONS	38				
101-295-860-000	ADMINISTRATIVE MILEAGE		500	500		
101-295-881-000	FOURTH OF JULY		50,000	50,000		
101-295-881-200	HALLOWEEN	225	2,500	2,500		
101-295-881-300	KDL MUSIC PROGRAMING		3,500	3,500		
101-295-882-000	SENIOR CITIZENS		2,000	2,000		
101-295-885-000	NEWSLETTER	16,356	22,800	22,800		
101-295-900-000	PRINTING/PUBLISHING	10,323	12,000	12,000		
101-295-924-100	CELL PHONES/DATA	2,746	1,800	1,800		
101-295-939-000	SERVICE CONTRACTS	14,782	17,000	17,000		
101-295-941-000	POSTAGE MACHINE LEASE	2,753	2,800	2,800		
101-295-950-000	PROPERTY TAX REFUNDS	1,045	2,500	2,500		
101-295-951-000	CABLE EQUIPMENT GRANTS	35,000	35,000	35,000		
101-295-952-000	REGIS	30,535	40,000	40,000		
101-295-952-100	KENT COUNTY AERIAL PHOTO	2,647	3,000	3,000		
101-295-954-000	NPDES PHASE II	10,015	10,100	10,500	400	3.96
101-295-955-000	COMMUNITY MEDIA CENTER	5,000	5,000	5,000		
101-295-956-000	RIGHT PLACE PROGRAM	7,500	10,000	9,000	(1,000)	(10.00)
101-295-957-000	GENERAL FUND PHYSICAL EXAMS		2,000	2,000		
101-295-967-000	SPECIAL PROJECTS	66,712	64,000	72,000	8,000	12.50
101-295-981-000	OFFICE EQUIPMENT	9,151	9,700	9,600	(100)	(1.03)
Totals for dept 295 - ADMINISTRATIVE		629,289	806,154	804,885	(1,269)	(0.16)
Dept 445 - DRAIN						
101-445-816-000	DRAIN MAINTENANCE	6,329	12,000	14,500	2,500	20.83
101-445-821-000	DRAIN ENGINEERING	8,392	15,000	15,000		
101-445-822-000	ILLICIT DISCHARGE PLAN	500	500	500		
101-445-823-000	LGROW MEMBERSHIP DUES	400	400	400		
Totals for dept 445 - DRAIN		15,621	27,900	30,400	2,500	8.96
Dept 446 - ROADS						
101-446-818-000	DUST CONTROL LAYER	2,244	3,300	3,300		
101-446-821-000	ROAD OVERLAYS	531,352	1,100,000	400,000	(700,000)	(63.64)
101-446-821-500	ROAD ENGINEERING STUDIES	255	30,000	50,000	20,000	66.67
Totals for dept 446 - ROADS		533,851	1,133,300	453,300	(680,000)	(60.00)
Dept 447 - YARD WASTE REMOVAL						
101-447-787-000	MISCELLANEOUS	3,874	1,400	1,800	400	28.57
101-447-818-000	CONTRACTED SERVICES	13,673				
101-447-820-000	SPRING/FALL CLEAN-UP	44,523	40,000	40,000		

101-447-939-000	SERVICE CONTRACTS		44,000	45,500	1,500	3.41
Totals for dept 447 - YARD WASTE REMOVAL		62,070	85,400	87,300	1,900	2.22
Dept 448 - STREET LIGHTS						
101-448-926-000	STREETLIGHTING	130,863	132,000	136,000	4,000	3.03
101-448-927-100	TRAFFIC SIGNALS	418	3,000	3,000		
Totals for dept 448 - STREET LIGHTS		131,281	135,000	139,000	4,000	2.96
Dept 652 - TRANSPORTATION						
101-652-859-000	TRANSPORTATION SERVICES	3,930	36,000	36,000		
101-652-859-100	TRANSPORTATION SERVICE-GO BUS TICKETS		2,000	2,000		
101-652-861-000	BUS SERVICE 33RD & 36TH	24,297	32,366	30,375	(1,991)	(6.15)
101-652-861-100	BUS SERVICE 28TH ST	178,157	60,000		(60,000)	(100.00)
Totals for dept 652 - TRANSPORTATION		206,384	130,366	68,375	(61,991)	(47.55)
Dept 721 - PLANNING						
101-721-702-000	WAGES- FULL TIME	251,147	274,497	178,113	(96,384)	(35.11)
101-721-702-001	WAGES - DEPARTMENT HEAD			80,000	80,000	
101-721-707-000	WAGES- CASUAL	4,658	21,500	21,500		
101-721-723-000	COMM DEV MEMBERSHIPS AND DUES	1,193	1,700	1,550	(150)	(8.82)
101-721-724-000	EDUCATION	1,119	7,000	8,000	1,000	14.29
101-721-727-000	COMM DEV SUPPLIES	155	500	500		
101-721-752-000	SUPPLIES	90				
101-721-768-000	COMM DEV UNIFORMS	1,033	1,000	1,000		
101-721-787-000	MISCELLANEOUS	516	750	1,000	250	33.33
101-721-809-000	PLANNING COMMISSION EXPENSES		2,500		(2,500)	(100.00)
101-721-860-000	COMM DEV MILEAGE	69	4,000	2,500	(1,500)	(37.50)
101-721-862-500	COMM DEV EXPENSE ACCOUNT	228	800		(800)	(100.00)
101-721-900-000	PRINTING & PUBLISHING	8,393	12,000	12,000		
101-721-901-000	DIGITAL IMAGING		6,000	6,000		
101-721-925-000	CELL PHONE/ DATA	1,712	1,800	1,800		
101-721-967-000	SPECIAL PROJECTS	6,569	25,000	45,000	20,000	80.00
101-721-981-000	OFFICE EQUIPMENT	2,303	3,600	3,600		
Totals for dept 721 - PLANNING		279,185	362,647	362,563	(84)	(0.02)
Dept 756 - PARKS						
101-756-756-000	PARK OPERATING SUPPLIES	1,525	6,000	6,000		
101-756-921-000	PARK ELECTRICITY	5,890	6,000	6,900	900	15.00
101-756-924-000	PARK PHONES	1,857	1,920	1,000	(920)	(47.92)
101-756-927-000	PARK WATER-SEWER	1,801	3,200	2,800	(400)	(12.50)
101-756-935-000	PARK MAINTENANCE	69,770	61,000	60,000	(1,000)	(1.64)
101-756-981-000	OFFICE EQUIPMENT		5,000	5,000		
Totals for dept 756 - PARKS		80,843	83,120	81,700	(1,420)	(1.71)
Dept 803 - HISTORICAL						
101-803-758-000	COMMUNITY PROMOTION	6,000	7,000	7,000		

101-803-921-000	MUSEUM - ELECTRICITY	793	750	780	30	4.00
101-803-923-000	MUSEUM - HEATING/UTILITY	765	1,200	900	(300)	(25.00)
101-803-927-000	MUSEUM WATER-SEWER	1,064	300	400	100	33.33
101-803-961-000	MUSEUM MAINTENANCE	8,225	2,400	12,400	10,000	416.67
Totals for dept 803 - HISTORICAL		16,847	11,650	21,480	9,830	84.38
Dept 850 - BENEFITS/INSURANCE						
101-850-715-000	FICA-EMPLOYER	108,044	119,450	128,055	8,605	7.20
101-850-716-000	DEFINED CONTRIBUTION PLAN	90,081	109,868	124,821	14,953	13.61
101-850-717-000	WORKERS COMP INSURANCE	47,310	49,020	55,000	5,980	12.20
101-850-718-000	VISION INSURANCE BENEFITS	2,360	2,670	2,563	(107)	(4.01)
101-850-718-200	OTHER BENEFITS	37,924	40,700	40,600	(100)	(0.25)
101-850-718-300	OTHER BENEFITS- PTO BUYBACK PROGRAM	26,071	26,000	20,000	(6,000)	(23.08)
101-850-719-000	HEALTH INSURANCE BENEFITS	189,830	199,483	255,751	56,268	28.21
101-850-719-100	OPT-OUT INSURANCE	10,000	10,000	4,000	(6,000)	(60.00)
101-850-720-000	LIFE & DIS INSURANCE BENEFITS	14,071	15,138	16,100	962	6.35
101-850-721-000	DENTAL INSURANCE BENEFITS	18,898	21,311	20,994	(317)	(1.49)
101-850-722-000	PENSION PLAN BENEFITS	76,492	71,028	70,000	(1,028)	(1.45)
101-850-723-000	OTHER BENEFITS		50		(50)	(100.00)
Totals for dept 850 - BENEFITS/INSURANCE		621,081	664,718	737,884	73,166	11.01
Dept 901 - CAPITAL OUTLAY						
101-901-970-000	CAPITAL OUTLAY - FFE	45,613	88,470	74,220	(14,250)	(16.11)
101-901-971-000	CAPITAL OUTLAY - LAND		310,000		(310,000)	(100.00)
101-901-974-000	CAPITAL OUTLAY - LANDIMP	1,113,176		100,000	100,000	
101-901-975-000	CAPITAL OUTLAY - BLDGIMP	712,264	320,000		(320,000)	(100.00)
Totals for dept 901 - CAPITAL OUTLAY		1,871,053	718,470	174,220	(544,250)	(75.75)
Dept 965 - TRANSFERS OUT						
101-965-999-004	TRANSFER TO CEMETERY TRUST FUN	975	1,500	1,500		
101-965-999-005	TRANSFER TO DAM MAJOR REPAIR	40,000	40,000	40,000		
101-965-999-006	TRANSFER TO FIRE FUND	400,000	400,000	400,000		
Totals for dept 965 - TRANSFERS OUT		440,975	441,500	441,500		
TOTAL APPROPRIATIONS		6,295,375	6,149,138	5,040,642	(1,108,496)	(18.03)
NET OF REVENUES/APPROPRIATIONS - FUND 101		(1,034,085)	(1,035,607)	169,622	1,205,229	(116.38)
BEGINNING FUND BALANCE		8,011,844	6,977,761			
ENDING FUND BALANCE		6,977,759	5,942,154			

Fund 151 - CEMETERY TRUST FUND

ESTIMATED REVENUES

Dept 000						
151-000-600-634	CEMETERY-OPENINGS AND CLOSINGS	1,725	1,500	1,500		
151-000-600-636	CEMETERY-CARE FEE	2,455	3,500	5,000	1,500	42.86
151-000-665-000	INTEREST ON INVESTMENTS	573	580	580		
151-000-699-101	TRANSFER FROM GENERAL FUND	975				
Totals for dept 000 -		5,728	5,580	7,080	1,500	26.88
TOTAL ESTIMATED REVENUES		5,728	5,580	7,080	1,500	26.88

APPROPRIATIONS

Dept 276 - CEMETERY						
151-276-787-000	MISCELLANEOUS	84	500	1,000	500	100.00
151-276-931-000	MAINT & REPAIR/IMPROVEMENTS		2,000	2,000		
151-276-939-000	SERVICE CONTRACTS	505				
Totals for dept 276 - CEMETERY		589	2,500	3,000	500	20.00
TOTAL APPROPRIATIONS		589	2,500	3,000	500	20.00
NET OF REVENUES/APPROPRIATIONS - FUND 151		5,139	3,080	4,080	1,000	32.47
BEGINNING FUND BALANCE		113,435	118,574			
ENDING FUND BALANCE		118,574	121,654			

Fund 206 - FIRE FUND

ESTIMATED REVENUES

Dept 000						
206-000-401-402	TAX LEVY	1,911,691	1,984,926	2,036,619	51,693	2.60
206-000-401-410	PERSONAL PROPERTY TAX	131,042	140,813	131,860	(8,953)	(6.36)
206-000-401-412	DELINQUENT TAXES-LEVY	3,527	5,500	5,000	(500)	(9.09)
206-000-401-437	ABATEMENT TAXES-LEVY	16,092	23,460	19,899	(3,561)	(15.18)
206-000-401-445	PENALTIES & INTEREST ON TAXES	348	450	450		
206-000-543-000	STATE GRANT- ROBOTIC MANIQUIN		4,200		(4,200)	(100.00)
206-000-573-000	LOCAL COMMUNITY STABILIZATION SHARE	37,792	33,399	38,624	5,225	15.64
206-000-655-661	DISTRICT COURT FINES		54	100	46	85.19
206-000-665-000	INTEREST REVENUE	38,300	40,000	5,500	(34,500)	(86.25)
206-000-671-671	MISCELLANEOUS INCOME	509	250	250		
206-000-671-675	DONATIONS		500	500		
206-000-671-683	REIMBURSEMENTS/REFUNDS	2,163	250	250		
206-000-699-000	TRANSFER IN	400,000	444,323	444,323		
Totals for dept 000 -		2,541,464	2,678,125	2,683,375	5,250	0.20
TOTAL ESTIMATED REVENUES		2,541,464	2,678,125	2,683,375	5,250	0.20

APPROPRIATIONS

Dept 336 - FIRE DEPARTMENT						
206-336-702-000	WAGES- FULL TIME	1,189,949	1,420,300	1,396,018	(24,282)	(1.71)
206-336-702-001	WAGES- DEPARTMENT HEAD			104,472	104,472	
206-336-703-200	ASSIGNABLE SALARY		34,902	25,000	(9,902)	(28.37)
206-336-707-000	WAGES- CASUAL	150,461	150,000	150,000		
206-336-713-000	OVERTIME	110,353	115,000	100,000	(15,000)	(13.04)
206-336-723-000	FIRE MEMBERSHIP AND DUES	2,647	2,800	3,000	200	7.14
206-336-725-000	FIRE TUITION	3,250	5,000	7,000	2,000	40.00
206-336-726-000	FIRE TRAINING	16,156	30,500	38,620	8,120	26.62
206-336-727-000	FIRE OFFICE SUPPLIES	4,056	4,100	7,000	2,900	70.73
206-336-738-000	FIRE MAINT SUPPLIES	1,573	1,700	1,700		
206-336-745-000	FIRE FUELS	14,829	20,000	22,000	2,000	10.00
206-336-752-000	SUPPLIES	2,553	2,500	2,500		
206-336-752-100	MEDICAL SUPPLIES	2,265	7,000	8,000	1,000	14.29
206-336-768-000	FIRE UNIFORMS	13,031	14,000	16,000	2,000	14.29
206-336-787-000	MISCELLANEOUS	5,289	4,000	4,000		
206-336-790-000	FIRE PREVENTION - INVESTIGATION			3,000	3,000	
206-336-791-000	TECH RESCUE			4,500	4,500	
206-336-792-000	HEALTH-WELLNESS			2,000	2,000	
206-336-802-000	CONTRACTUAL SERVICES	71,152	16,000	20,000	4,000	25.00
206-336-803-000	FIRE FIGHTER HIRING	2,789	2,000	2,000		
206-336-804-000	RESPIRATORY PROGRAM	8,575	8,600	10,375	1,775	20.64

206-336-807-000	FIRE AUDIT FEES & SERVICES	2,820	2,820	2,903	83	2.94
206-336-810-000	LIABILITY INSURANCE	19,757	23,781	23,781		
206-336-826-000	FIRE LEGAL FEES		1,000		(1,000)	(100.00)
206-336-850-000	COMMUNICATIONS	19,793	14,500	15,000	500	3.45
206-336-863-000	VEHICLE MAINT	64,840	52,000	55,000	3,000	5.77
206-336-887-000	FIRE PUBLIC RELATIONS	5,161	4,600	8,800	4,200	91.30
206-336-901-000	FIRE PUBLICATIONS	1,197	1,500	1,500		
206-336-924-000	FIRE PHONES	1,153				
206-336-928-000	UTILITIES	15,324	18,820	25,000	6,180	32.84
206-336-932-000	FIRE OFF EQUIP & COMPUTER REPA	799	9,000	9,800	800	8.89
206-336-932-400	GRANT -ROBOTIC MANIQUIN TRAINING		4,200		(4,200)	(100.00)
206-336-936-000	FIRE STATION MAINT	14,222	12,000	6,000	(6,000)	(50.00)
206-336-936-002	FIRE STATION MAINT/BUTTRICK	32,317	28,000	30,000	2,000	7.14
206-336-937-000	FIRE RADIO MAINT	11,815	12,000	10,000	(2,000)	(16.67)
206-336-938-000	FIRE EQUIPMENT MAINT	10,536	10,000	12,000	2,000	20.00
206-336-939-000	FIRE COPIER/LEASE/SERVICE	3,772	3,100		(3,100)	(100.00)
206-336-941-000	FIRE POSTAGE & MACHINE LEASE	900	900	900		
206-336-950-000	PROPERTY TAX REFUNDS	17	500		(500)	(100.00)
206-336-957-000	FIRE PHYSICAL EXAMS	13,224	16,000	18,000	2,000	12.50
206-336-958-000	FIRE SUPPLEMENTAL EQUIPMENT	24,022	7,000	6,000	(1,000)	(14.29)
206-336-959-000	FIRE PROTECTIVE CLOTHING	30,583	37,000	39,500	2,500	6.76
206-336-981-000	OFFICE EQUIPMENT	11,875	10,000	12,000	2,000	20.00
Totals for dept 336 - FIRE DEPARTMENT		1,883,055	2,107,123	2,203,369	96,246	4.57
Dept 850 - BENEFITS/INSURANCE						
206-850-715-000	FICA-EMPLOYER	111,276	131,476	133,718	2,242	1.71
206-850-716-000	DEFINED CONTRIBUTION PLAN	99,855	118,411	132,721	14,310	12.09
206-850-717-000	WORKERS COMP INSURANCE	117,707	113,335	135,000	21,665	19.12
206-850-718-000	VISION INSURANCE BENEFITS	1,906	2,761	2,652	(109)	(3.95)
206-850-718-200	OTHER BENEFITS	29,400	39,997	30,800	(9,197)	(22.99)
206-850-718-300	OTHER BENEFITS- PTO BUYBACK PROGRAM	19,960	22,500	18,000	(4,500)	(20.00)
206-850-719-000	HEALTH INSURANCE BENEFITS	168,457	243,072	207,888	(35,184)	(14.47)
206-850-719-100	OPT-OUT INSURANCE	9,000	12,000	12,000		
206-850-720-000	LIFE & DISABILITY INSURANCE	17,913	14,407	19,186	4,779	33.17
206-850-721-000	DENTAL INSURANCE BENEFITS	22,125	22,679	23,172	493	2.17
206-850-722-000	PENSION PLAN BENEFITS	69,450	75,240	85,000	9,760	12.97
Totals for dept 850 - BENEFITS/INSURANCE		667,049	795,878	800,137	4,259	0.54
Dept 901 - CAPITAL OUTLAY						
206-901-970-000	CAPITAL OUTLAY - FFE	23,378	141,250		(141,250)	(100.00)
206-901-974-000	CAPITAL OUTLAY - LAND IMP		35,000		(35,000)	(100.00)
206-901-975-000	CAPITAL OUTLAY - BLDGIMP			150,000	150,000	
Totals for dept 901 - CAPITAL OUTLAY		23,378	176,250	150,000	(26,250)	(14.89)
Dept 965 - TRANSFERS OUT						
206-965-999-208	TRANSFER TO HAZMAT	2,000	2,000	2,000		

Totals for dept 965 - TRANSFERS OUT	2,000	2,000	2,000		
TOTAL APPROPRIATIONS	2,575,482	3,081,251	3,155,506	74,255	2.41
NET OF REVENUES/APPROPRIATIONS - FUND 206	(34,018)	(403,126)	(472,131)	(69,005)	17.12
BEGINNING FUND BALANCE	2,389,618	2,355,600			
ENDING FUND BALANCE	2,355,600	1,952,474			

Fund 207 - POLICE FUND

ESTIMATED REVENUES

Dept 000						
207-000-401-402	TAX LEVY	667,279	691,029	716,782	25,753	3.73
207-000-401-410	PERSONAL PROPERTY TAX	45,740	49,150	46,010	(3,140)	(6.39)
207-000-401-412	DELINQUENT TAXES-LEVY	1,231	4,000	3,000	(1,000)	(25.00)
207-000-401-437	ABATEMENT TAXES-LEVY	5,617	8,189	6,944	(1,245)	(15.20)
207-000-401-445	INTEREST & PENALTIES ON TAX	121	150	150		
207-000-573-000	LOCAL COMMUNITY STABILIZATION SHARE	13,192	11,609	13,482	1,873	16.13
207-000-665-000	INTEREST REVENUE	22,629	12,000	47,625	35,625	296.88
207-000-671-671	MISCELLANEOUS INCOME	49,147				
Totals for dept 000 -		804,956	776,127	833,993	57,866	7.46
TOTAL ESTIMATED REVENUES		804,956	776,127	833,993	57,866	7.46

APPROPRIATIONS

Dept 301 - POLICE DEPARTMENT

207-301-787-000	MISCELLANEOUS	12,830	25,000	5,000	(20,000)	(80.00)
207-301-801-000	SHERIFF PROTECTION	590,494	665,000	685,000	20,000	3.01
207-301-950-000	PROPERTY TAX REFUNDS	63	400	1,000	600	150.00
Totals for dept 301 - POLICE DEPARTMENT		603,387	690,400	691,000	600	0.09

Dept 965 - TRANSFERS OUT

207-965-999-000	TRANSFER TO OTHER FUND	40,362	40,362		(40,362)	(100.00)
Totals for dept 965 - TRANSFERS OUT		40,362	40,362		(40,362)	(100.00)

TOTAL APPROPRIATIONS		643,749	730,762	691,000	(39,762)	(5.44)
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NET OF REVENUES/APPROPRIATIONS - FUND 207

BEGINNING FUND BALANCE		1,404,751	1,565,958	142,993	97,628	215.21
ENDING FUND BALANCE		1,565,958	1,611,323			

Fund 208 - HAZMAT FUND

ESTIMATED REVENUES

Dept 000				
208-000-581-000	LOCAL CONTRIBUTIONS		4,000	4,000
208-000-607-600	HAZMAT KENTWOOD	4,000		
208-000-607-700	HAZMAT - GAINES TWP	2,000		
208-000-665-000	HAZMAT INTEREST	119	120	120
208-000-699-000	TRANSFER IN	2,000	2,000	2,000
Totals for dept 000 -		8,119	6,120	6,120
TOTAL ESTIMATED REVENUES		8,119	6,120	6,120

APPROPRIATIONS

Dept 344 - HAZMAT				
208-344-726-000	HAZMAT SUPPLIES		500	500
208-344-787-000	MISCELLANEOUS		1,500	1,500
208-344-789-000	HAZMAT TRAINING		3,000	3,000
208-344-958-000	HAZMAT EQUIPMENT	1,237	3,000	3,000
Totals for dept 344 - HAZMAT		1,237	8,000	8,000
TOTAL APPROPRIATIONS		1,237	8,000	8,000
NET OF REVENUES/APPROPRIATIONS - FUND 208		6,882	(1,880)	(1,880)
BEGINNING FUND BALANCE		31,443	38,326	
ENDING FUND BALANCE		38,325	36,446	

Fund 209 - CCT OPEN SPACE

ESTIMATED REVENUES

Dept 000						
209-000-401-402	TAX LEVY	334,277	347,090	359,161	12,071	3.48
209-000-401-410	PERSONAL PROPERTY TAX	22,914	24,623	23,054	(1,569)	(6.37)
209-000-401-412	DELINQUENT TAXES-LEVY	617	1,000	1,000		
209-000-401-437	ABATEMENT TAXES-LEVY	2,814	4,102	3,479	(623)	(15.19)
209-000-401-445	INTEREST & PENALTIES ON TAXES	61	75	75		
209-000-573-000	LOCAL COMMUNITY STABILIZATION SHARE	16,695	13,666	15,753	2,087	15.27
209-000-665-000	INTEREST ON INVESTMENTS	2,176	500	2,500	2,000	400.00
209-000-665-408	INTEREST ON HOMEYER FUND	2,497	1,000	1,000		
209-000-671-674	DONATIONS - HOMEYER	4,000				
Totals for dept 000 -		386,051	392,056	406,022	13,966	3.56
TOTAL ESTIMATED REVENUES		386,051	392,056	406,022	13,966	3.56

APPROPRIATIONS

Dept 751 - OPEN SPACE PRESERVATION						
209-751-921-000	ELECTRICITY	2,967	2,800	3,000	200	7.14
209-751-923-000	HEATING/UTILITY	988	2,000	2,000		
209-751-927-000	WATER-SEWER	1,182	1,000	1,000		
209-751-935-000	PARK MAINTENANCE	19,795	20,000	20,000		
209-751-950-000	TAX REFUNDS	11	250	250		
Totals for dept 751 - OPEN SPACE PRESERVATION		24,943	26,050	26,250	200	0.77
Dept 901 - CAPITAL OUTLAY						
209-901-970-000	CAPITAL OUTLAY - FFE	25,456				
Totals for dept 901 - CAPITAL OUTLAY		25,456				
Dept 990 - DEBT SERVICE						
209-990-991-201	BOND PRINCIPAL REFINANCE	274,000	279,000	284,000	5,000	1.79
209-990-992-201	BOND INTEREST REFINANCE	49,104	43,873	38,412	(5,461)	(12.45)
Totals for dept 990 - DEBT SERVICE		323,104	322,873	322,412	(461)	(0.14)
TOTAL APPROPRIATIONS		373,503	348,923	348,662	(261)	(0.07)
NET OF REVENUES/APPROPRIATIONS - FUND 209		12,548	43,133	57,360	14,227	32.98
BEGINNING FUND BALANCE		754,309	766,856			
ENDING FUND BALANCE		766,857	809,989			

Fund 211 - DAM MAJOR REPAIR FUND

ESTIMATED REVENUES

Dept 000						
211-000-665-000	INTEREST REVENUE	15,094	8,000	6,000	(2,000)	(25.00)
211-000-675-000	CONTRIBUTIONS	5,000	5,000	5,000		
211-000-699-101	TRANSFER FROM GENERAL FUND	40,000	40,000	40,000		
Totals for dept 000 -		60,094	53,000	51,000	(2,000)	(3.77)
TOTAL ESTIMATED REVENUES		60,094	53,000	51,000	(2,000)	(3.77)

APPROPRIATIONS

Dept 901 - CAPITAL OUTLAY						
211-901-980-000	EXPENSES/DAM MAJOR REPAIR	277,009	85,000	85,000		
Totals for dept 901 - CAPITAL OUTLAY		277,009	85,000	85,000		
TOTAL APPROPRIATIONS		277,009	85,000	85,000		

NET OF REVENUES/APPROPRIATIONS - FUND 211		(216,915)	(32,000)	(34,000)	(2,000)	6.25
BEGINNING FUND BALANCE		728,162	511,247			
ENDING FUND BALANCE		511,247	479,247			

Fund 216 - PATHWAYS FUND

ESTIMATED REVENUES

Dept 000						
216-000-401-402	TAX LEVY	510,958	530,414	548,902	18,488	3.49
216-000-401-410	PERSONAL PROPERTY TAX	35,024	37,626	35,232	(2,394)	(6.36)
216-000-401-412	DELINQUENT TAX LEVY	943	1,200	1,500	300	25.00
216-000-401-437	ABATEMENT TAXES-LEVY	4,301	6,269	5,317	(952)	(15.19)
216-000-401-445	PENALTIES & INTEREST ON TAX	93	120	120		
216-000-573-000	LOCAL COMMUNITY STABILIZATION SHARE	25,516	20,886	24,075	3,189	15.27
216-000-665-000	INTEREST REVENUE	55,630	10,500	31,220	20,720	197.33
216-000-699-216	TRANSFER FROM PATHWAYS	(181,177)				
Totals for dept 000 -		451,288	607,015	646,366	39,351	6.48
TOTAL ESTIMATED REVENUES		451,288	607,015	646,366	39,351	6.48

APPROPRIATIONS

Dept 758 - PATHWAYS

216-758-728-000	OPERATING SUPPLIES	7,336	18,000	18,000		
216-758-821-100	ENGINEERING	1,975	15,000	15,000		
216-758-931-000	MAINT & REPAIR	112,794	192,000	250,000	58,000	30.21
216-758-931-200	PATHWAY MAINTENANCE	50,974	50,974	50,974		
216-758-950-000	PROPERTY TAX REFUNDS	7	300	300		
Totals for dept 758 - PATHWAYS		173,086	276,274	334,274	58,000	20.99

Dept 901 - CAPITAL OUTLAY

216-901-970-000	CAPITAL OUTLAY - FFE	13,669	34,000		(34,000)	(100.00)
216-901-974-000	CAPITAL OUTLAY - LANDIMP	1,622,599	395,000		(395,000)	(100.00)
Totals for dept 901 - CAPITAL OUTLAY		1,636,268	429,000		(429,000)	(100.00)

TOTAL APPROPRIATIONS

TOTAL APPROPRIATIONS		1,809,354	705,274	334,274	(371,000)	(52.60)
NET OF REVENUES/APPROPRIATIONS - FUND 216		(1,358,066)	(98,259)	312,092	410,351	(417.62)
BEGINNING FUND BALANCE		2,018,101	660,037			
ENDING FUND BALANCE		660,035	561,778			

Fund 246 - IRF

ESTIMATED REVENUES

Dept 000						
246-000-630-000	HOOKUP FEES	370,576	200,000	200,000		
246-000-665-000	INTEREST ON INVESTMENTS	26,256	20,000	3,600	(16,400)	(82.00)
246-000-669-000	INT & P S/A-ORDINANCE	6,646	1,000	1,000		
246-000-672-008	S/A REVENUE-INACTIVE		1,000		(1,000)	(100.00)
246-000-672-010	S/A REVENUE - KRAFT WATER & 60TH	18,670				
246-000-672-011	S/A REVENUE - OAK TERRACE		6,500	2,538	(3,962)	(60.95)
246-000-672-012	S/A REVENUE - TRD	18,374	12,500	17,101	4,601	36.81
Totals for dept 000 -		440,522	241,000	224,239	(16,761)	(6.95)
TOTAL ESTIMATED REVENUES		440,522	241,000	224,239	(16,761)	(6.95)

APPROPRIATIONS

Dept 295 - ADMINISTRATIVE						
246-295-821-000	ADMIN ENGINEERING COSTS	7,376	15,000	15,000		
246-295-826-000	ADMIN LEGAL FEES		42,500	30,000	(12,500)	(29.41)
246-295-964-000	ADMIN 10%/HOOKUP TO GENERAL	37,168	20,000	20,000		
246-295-967-100	WHOLE HOUSE FILTER PROJECT		244,000	120,000	(124,000)	(50.82)
246-295-980-000	ADMIN MISCELLANEOUS EXPENSE		1,000	10,000	9,000	900.00
Totals for dept 295 - ADMINISTRATIVE		44,544	322,500	195,000	(127,500)	(39.53)
Dept 901 - CAPITAL OUTLAY						
246-901-974-000	CAPITAL OUTLAY - LANDIMP	30,582				
Totals for dept 901 - CAPITAL OUTLAY		30,582				
TOTAL APPROPRIATIONS		75,126	322,500	195,000	(127,500)	(39.53)
NET OF REVENUES/APPROPRIATIONS - FUND 246		365,396	(81,500)	29,239	110,739	(135.88)
BEGINNING FUND BALANCE		1,699,618	2,065,015			
ENDING FUND BALANCE		2,065,014	1,983,515			

Fund 248 - DDA

ESTIMATED REVENUES

Dept 000						
248-000-401-401	TAXES - CASCADE TOWNSHIP	289,975	311,182	302,100	(9,082)	(2.92)
248-000-401-402	TAXES - G.R.C.C.	157,548	159,934	156,000	(3,934)	(2.46)
248-000-401-403	TAXES-KENT COUNTY	543,393	559,777	540,000	(19,777)	(3.53)
248-000-401-406	KDL TAXES-DDA	106,039	113,574	110,500	(3,074)	(2.71)
248-000-665-000	INTEREST REVENUE	24,722	5,000	3,000	(2,000)	(40.00)
248-000-667-001	RENT-TUFFY	71,835	75,000	70,500	(4,500)	(6.00)
248-000-671-671	MISCELLANEOUS INCOME	8,111				
248-000-675-300	DDA CONTRIB & DONATION- METRO CRUISE WU		5,000	2,500	(2,500)	(50.00)
248-000-699-000	TRANSFER IN	181,177				
Totals for dept 000 -		1,382,800	1,229,467	1,184,600	(44,867)	(3.65)
TOTAL ESTIMATED REVENUES		1,382,800	1,229,467	1,184,600	(44,867)	(3.65)

APPROPRIATIONS

Dept 170 - DDA OPERATIONS/CONSTRUCTION						
248-170-723-000	DDA - MEMBERSHIP AND DUES	1,569	1,220	1,320	100	8.20
248-170-724-000	DDA - EDUCATION	500	2,000	2,000		
248-170-787-000	MISCELLANEOUS	11,786	7,000	7,000		
248-170-802-300	DDA ADMINISTRATIVE	99,426	99,426	99,426		
248-170-821-000	ENGINEERING	(19,255)	75,000	75,000		
248-170-826-265	LEGAL	2,185	2,500	2,500		
248-170-860-000	DDA - MILEAGE	41	400	400		
248-170-861-100	BUS SERVICE 28TH ST	178,335	214,712	217,540	2,828	1.32
248-170-921-000	ELECTRICITY	23,802	20,000	24,000	4,000	20.00
248-170-922-000	STREETLIGHTS		5,000	5,000		
248-170-924-100	CELL PHONES/DATA	792	850	900	50	5.88
248-170-927-000	WATER-SEWER	6,459	6,500	6,500		
248-170-931-000	MAINT & REPAIR/IMPROVEMENTS	36,845	35,000	70,000	35,000	100.00
248-170-931-300	DDA REPAIR & MAINT- METRO CRUISE WU		8,000	8,000		
248-170-950-000	DDA PROPERTY TAX REFUNDS	11,769	50,000	50,000		
248-170-967-000	SPECIAL PROJECTS	19,887	71,700	90,000	18,300	25.52
248-170-981-000	OFFICE EQUIPMENT	1,104	1,000	1,000		
Totals for dept 170 - DDA OPERATIONS/CONSTRUCTION		375,245	600,308	660,586	60,278	10.04
Dept 901 - CAPITAL OUTLAY						
248-901-970-000	CAPITAL OUTLAY - FFE		230,000	80,000	(150,000)	(65.22)
248-901-974-000	CAPITAL OUTLAY - LANDIMP	395,808	30,000		(30,000)	(100.00)
Totals for dept 901 - CAPITAL OUTLAY		395,808	260,000	80,000	(180,000)	(69.23)

Dept 990 - DEBT SERVICE

248-990-992-003	MUN BOND 2010 /PRINCIPAL	103,000				
248-990-992-007	LOAN PRINCIPAL	61,300	70,000	75,000	5,000	7.14
248-990-996-001	INTEREST AND FEES	20,367	24,050	21,775	(2,275)	(9.46)
248-990-996-003	MUN BOND 2010 / INT & FEES	3,833				
Totals for dept 990 - DEBT SERVICE		188,500	94,050	96,775	2,725	2.90
TOTAL APPROPRIATIONS		959,553	954,358	837,361	(116,997)	(12.26)
NET OF REVENUES/APPROPRIATIONS - FUND 248		423,247	275,109	347,239	72,130	26.22
BEGINNING FUND BALANCE		1,002,351	1,425,600			
ENDING FUND BALANCE		1,425,598	1,700,709			

Fund 249 - BUILDING FUND

ESTIMATED REVENUES

Dept 000						
249-000-600-644	NSF FEES		50		(50)	(100.00)
249-000-607-483	CASCADE TWP BLDG COM PERMITS	98,351	155,000	155,000		
249-000-607-484	CASCADE TWP BLDG RES PERMITS	93,806	85,000	95,000	10,000	11.76
249-000-607-485	CASCADE TWP ELECTRICAL PERMITS	61,566	80,000	88,000	8,000	10.00
249-000-607-486	CASCADE TWP MECHANICAL PERMITS	93,074	95,000	90,000	(5,000)	(5.26)
249-000-607-487	CASCADE TWP PLUMBING PERMITS	46,078	50,000	50,000		
249-000-607-488	CASCADE - PR	33,830	35,000	22,000	(13,000)	(37.14)
249-000-607-490	CASCADE TWP CONTRACTOR REG	8,640	8,500	9,350	850	10.00
249-000-607-500	LOWELL TWP BUILDING PERMITS	49,630	55,000	80,000	25,000	45.45
249-000-607-501	LOWELL TWP ELECTRICAL PERMITS	16,338	25,000	33,000	8,000	32.00
249-000-607-502	LOWELL TWP MECHANICAL PERMITS	18,345	20,000	28,000	8,000	40.00
249-000-607-503	LOWELL TWP PLUMBING PERMITS	12,590	20,000	23,000	3,000	15.00
249-000-607-504	LOWELL TWP - PR	320	5,000	6,000	1,000	20.00
249-000-607-510	VERGENNES TWP BUILDING PERMITS			45,000	45,000	
249-000-607-511	VERGENNES TWP ELECTRICAL PERMITS	14,688	13,000	14,000	1,000	7.69
249-000-607-512	VERGENNES TWP MECHANICAL PERMITS	14,705	13,000	16,000	3,000	23.08
249-000-607-516	VERGENNES TWP PLUMBING PERMITS	9,371	9,000	10,000	1,000	11.11
249-000-607-520	ADA TWP BUILDING PERMITS	128,900	130,000	137,500	7,500	5.77
249-000-607-521	ADA TWP PLUMBING PERMITS	28,862	40,000	45,000	5,000	12.50
249-000-607-523	ADA TWP ELECTRICAL PERMITS	48,619	50,000	60,500	10,500	21.00
249-000-607-524	ADA TWP MECHANICAL PERMITS	62,078	55,000	66,000	11,000	20.00
249-000-607-525	ADA TWP - PR	24,715	20,000	17,000	(3,000)	(15.00)
249-000-607-531	GR TWP BUILDING PERMITS	207,670	120,000	135,000	15,000	12.50
249-000-607-532	GR TWP ELECTRICAL PERMITS	49,823	55,000	65,000	10,000	18.18
249-000-607-533	GR TWP MECHANICAL PERMITS	57,116	80,000	80,000		
249-000-607-534	GR TWP PLUMBING PERMITS	35,356	40,000	44,000	4,000	10.00
249-000-607-535	GRT - PR	55,950	20,000	22,000	2,000	10.00
249-000-607-536	EAST GR BUILDING PERMITS	75,852	65,000	66,000	1,000	1.54
249-000-607-537	EAST GR ELECTRICAL PERMITS	32,461	35,000	38,500	3,500	10.00
249-000-607-538	EAST GR MECHANICAL PERMITS	43,400	40,000	44,000	4,000	10.00
249-000-607-539	EAST GR PLUMBING PERMITS	20,150	25,000	27,500	2,500	10.00
249-000-607-540	EGR - PR	5,631	10,000	11,000	1,000	10.00
249-000-607-541	EAST GR-RENTAL INSP	4,200	4,000	4,400	400	10.00
249-000-607-550	PLAINFIELD BUILDING PERMITS			220,000	220,000	
249-000-607-551	PLAINFIELD - ELECTRICAL PERMITS	83,587	90,000	99,000	9,000	10.00
249-000-607-552	PLAINFIELD MECHANICAL PERMITS	111,668	110,000	121,000	11,000	10.00
249-000-607-553	PLAINFIELD - PLUMBING PERMITS	60,426	60,000	66,000	6,000	10.00
249-000-607-555	PLAINFIELD INSPECTION FEES -NP	250	5,000		(5,000)	(100.00)
249-000-607-556	WYOMING INSPECTIONS		30,290		(30,290)	(100.00)
249-000-665-000	INTEREST REVENUE	69,229	35,000	40,000	5,000	14.29
249-000-671-671	MISCELLANEOUS INCOME	2,264	1,500	1,500		

249-000-676-100	REIMBURSEMENT- SECURITY DEPOSIT		4,934		(4,934)	(100.00)
Totals for dept 000 -		1,779,539	1,794,274	2,175,250	380,976	21.23

TOTAL ESTIMATED REVENUES		1,779,539	1,794,274	2,175,250	380,976	21.23
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APPROPRIATIONS

Dept 371 - BUILDING DEPARTMENT

249-371-702-000	WAGES- FULL TIME	758,817	893,797	778,838	(114,959)	(12.86)
249-371-702-001	WAGES - DEPARTMENT HEAD			106,887	106,887	
249-371-704-000	WAGES- PART TIME	3,955	8,000	8,000		
249-371-707-000	WAGES- CASUAL	6,608	10,000	70,000	60,000	600.00
249-371-723-000	MEMBERSHIPS AND DUES	1,670	4,000	5,000	1,000	25.00
249-371-724-000	EDUCATION	709	6,000	8,000	2,000	33.33
249-371-727-000	SUPPLIES	5,831	8,000	11,000	3,000	37.50
249-371-757-000	BOOKS	400	3,500	4,200	700	20.00
249-371-768-000	DEPARTMENT UNIFORMS	4,025	4,800	4,200	(600)	(12.50)
249-371-787-000	MISCELLANEOUS	232	1,500	1,500		
249-371-787-200	CREDIT CARD FEES	21,114	34,000	34,000		
249-371-807-000	AUDIT FEES & SERVICES	940	940	968	28	2.98
249-371-810-000	LIABILITY INSURANCE	9,879	11,891	13,080	1,189	10.00
249-371-821-000	BLDG ENGINEERING		1,500	1,500		
249-371-860-000	MILEAGE	54,334	60,000	68,000	8,000	13.33
249-371-862-500	DEPT HEAD, SUPV EXPENSES		500	750	250	50.00
249-371-923-000	HEATING/UTILITY		4,000	4,000		
249-371-924-000	PHONES	1,530	2,000	3,000	1,000	50.00
249-371-924-100	CELL PHONES/DATA	10,042	9,950	11,000	1,050	10.55
249-371-932-000	OFFICE EQUIP & COMPUTER REPAIR			7,800	7,800	
249-371-939-000	SERVICE CONTRACTS	19,886	18,413	18,413		
249-371-940-000	BUILDING RENTAL-LEASE	114,065	2,050		(2,050)	(100.00)
249-371-941-000	POSTAGE & MACHINE LEASE	900	1,000	1,000		
249-371-957-000	BLDG PHYSICAL EXAMS		750	750		
249-371-967-000	BLDG - SPECIAL PROJECTS		15,000	15,000		
249-371-981-000	OFFICE EQUIPMENT	1,085	18,000	12,000	(6,000)	(33.33)
Totals for dept 371 - BUILDING DEPARTMENT		1,016,022	1,119,591	1,188,886	69,295	6.19

Dept 850 - BENEFITS/INSURANCE

249-850-715-000	FICA-EMPLOYER	55,825	70,667	73,113	2,446	3.46
249-850-716-000	DEFINED CONTRIBUTION PLAN	97,272	118,411	132,721	14,310	12.09
249-850-717-000	WORKERS COMP INSURANCE	24,223	23,323	28,000	4,677	20.05
249-850-718-000	VISION INSURANCE BENEFITS	1,322	1,858	1,727	(131)	(7.05)
249-850-718-200	OTHER BENEFITS	14,000	18,200	18,200		
249-850-718-300	OTHER BENEFITS- PTO BUYBACK PROGRAM	8,084	8,100	6,000	(2,100)	(25.93)
249-850-719-000	HEALTH INSURANCE BENEFITS	117,626	155,626	148,852	(6,774)	(4.35)
249-850-719-100	OPT-OUT INSURANCE	5,000	4,000	4,000		
249-850-720-000	LIFE & DISABILITY INSURANCE	9,874	12,447	10,982	(1,465)	(11.77)

249-850-721-000	DENTAL INSURANCE BENEFITS	9,070	13,105	12,516	(589)	(4.49)
249-850-722-000	PENSION PLAN BENEFITS	45,168	45,168	45,168		
Totals for dept 850 - BENEFITS/INSURANCE		387,464	470,905	481,279	10,374	2.20
Dept 901 - CAPITAL OUTLAY						
249-901-975-000	CAPITAL OUTLAY - BLDGIMP	267,368	98,301	30,000	(68,301)	(69.48)
Totals for dept 901 - CAPITAL OUTLAY		267,368	98,301	30,000	(68,301)	(69.48)
Dept 964 - PAYMENTS TO OTHER TOWNSHIPS						
249-964-964-100	PERMITS DUE TO LOWELL TWP	22,638	25,000	34,000	9,000	36.00
249-964-964-200	PERMITS DUE TO VERGENNES TWP	8,613	7,000	17,000	10,000	142.86
249-964-964-300	PERMITS DUE TO GR TWP	85,497	63,000	69,200	6,200	9.84
249-964-964-400	PERMITS DUE TO ADA TWP	62,257	59,000	65,200	6,200	10.51
249-964-964-500	PERMITS DUE TO EAST GR	39,915	35,000	37,400	2,400	6.86
249-964-964-600	PERMITS DUE PLAINFIELD	55,616	52,000	106,000	54,000	103.85
249-964-964-800	PERMITS DUE CASCADE TWP	91,548	100,000	100,000		
Totals for dept 964 - PAYMENTS TO OTHER TOWNSHIPS		366,084	341,000	428,800	87,800	25.75
TOTAL APPROPRIATIONS		2,036,938	2,029,797	2,128,965	99,168	4.89
NET OF REVENUES/APPROPRIATIONS - FUND 249		(257,399)	(235,523)	46,285	281,808	(119.65)
BEGINNING FUND BALANCE		3,020,192	2,762,792			
ENDING FUND BALANCE		2,762,793	2,527,269			

Fund 270 - LIBRARY FUND

ESTIMATED REVENUES

ESTIMATED REVENUES						
Dept 000						
270-000-401-402	TAX LEVY	218,084	226,358	234,218	7,860	3.47
270-000-401-410	PERSONAL PROPERTY TAX	14,939	16,047	15,025	(1,022)	(6.37)
270-000-401-412	DELINQUENT TAX LEVY	403	600	600		
270-000-401-437	ABATEMENT TAXES-LEVY	1,835	2,674	2,268	(406)	(15.18)
270-000-401-445	PENALTIES & INTEREST ON TAX	40	60	60		
270-000-573-000	LOCAL COMMUNITY STABILIZATION SHARE	10,884	8,909	10,269	1,360	15.27
270-000-587-587	KENT DISTRICT LIBRARY PAYMENT	32,870	32,870	32,870		
270-000-665-000	INTEREST REVENUE	58,248	16,000	2,340	(13,660)	(85.38)
Totals for dept 000 -		337,303	303,518	297,650	(5,868)	(1.93)
TOTAL ESTIMATED REVENUES		337,303	303,518	297,650	(5,868)	(1.93)

APPROPRIATIONS

APPROPRIATIONS						
Dept 790 - LIBRARY						
270-790-727-000	LIBRARY SUPPLIES	934	6,600	6,600		
270-790-729-000	LIB ELECTRONIC SUBSCRIPTIONS		900	900		
270-790-787-000	MISCELLANEOUS	126	1,000	1,000		
270-790-802-200	JANITORIAL & MAINTENANCE	2,100	10,000	47,000	37,000	370.00
270-790-810-000	LIABILITY INSURANCE	16,464	19,818	21,720	1,902	9.60
270-790-921-000	LIBRARY ELECTRICITY	46,305	55,000	52,000	(3,000)	(5.45)
270-790-923-000	LIBRARY HEATING	9,332	12,000	11,000	(1,000)	(8.33)
270-790-924-000	LIBRARY PHONES	1,787	1,800	1,200	(600)	(33.33)
270-790-927-000	LIBRARY WATER-SEWER	5,658	8,000	8,000		
270-790-931-000	LIBRARY MAINTENANCE	66,917	65,000	60,000	(5,000)	(7.69)
270-790-931-100	LIBRARY MAINTENANCE	76,461	76,461	50,904	(25,557)	(33.42)
270-790-950-000	PROPERTY TAX REFUNDS	22	500	500		
270-790-981-000	OFFICE EQUIPMENT	2,475	1,000	1,000		
Totals for dept 790 - LIBRARY		228,581	258,079	261,824	3,745	1.45
Dept 901 - CAPITAL OUTLAY						
270-901-970-000	CAPITAL OUTLAY - FFE		25,000	35,000	10,000	40.00
Totals for dept 901 - CAPITAL OUTLAY			25,000	35,000	10,000	40.00
TOTAL APPROPRIATIONS		228,581	283,079	296,824	13,745	4.86
NET OF REVENUES/APPROPRIATIONS - FUND 270						
		108,722	20,439	826	(19,613)	(95.96)
BEGINNING FUND BALANCE		2,057,861	2,166,582			
ENDING FUND BALANCE		2,166,583	2,187,021			

ESTIMATED REVENUES - ALL FUNDS	13,914,549	13,199,813	13,725,959	(1,205,229)	116.38
APPROPRIATIONS - ALL FUNDS	15,731,183	14,700,582	13,124,234	1,205,229	(116.38)
NET OF REVENUES/APPROPRIATIONS - ALL FUNDS	(1,816,634)	(1,500,769)	601,725		
BEGINNING FUND BALANCE - ALL FUNDS	23,231,684	21,415,057			
ENDING FUND BALANCE - ALL FUNDS	21,415,050	19,914,288			

Memo

To: Cascade Township Board

From: Jennifer Genter, Manager of Assessment Services

CC:

Date: 12/10/2021

Re: Request to approve Resolution to Approve the Intent to Levy the 2022 Millage Rates

The Board approves this resolution each year announcing the millage rates that will be the basis for the 2022 property tax levy.

The resolution is approved after the approval of the budget.

CASCADE CHARTER TOWNSHIP
Kent County, Michigan
Resolution / 2021

RESOLUTION OF INTENT TO LEVY THE 2022 MILLAGE RATES

WHERE AS, The Township intends on complying with Section 16 of the Uniform Budgeting and Accounting Act by holding a public hearing on its proposed budget.

WHERE AS, the Township gave notice of the hearing, by publication, in the local newspaper of general circulation at least 6 days before the hearing. The notice included the time and place of the hearing and stated the place where a copy of the budget is available for public inspection. The date and time is December 15, 2021 at 7:00pm. As required, the notice included the following **“the property tax millage rate proposed to be levied to support the proposed budget will be a subject of this hearing”**.

WHERE AS, the 2021 millage rates for Cascade Township are as follows:

Operating	0.9607
Ex. Vote Fire/Police	0.4323
Ex. Vote Police	0.2462
Ex Vote Fire	0.5023
Ex. Vote Library	0.1482
Pathway	0.3475
Ex. Vote Fire	0.5735
Open Space/Parks	0.2274

These millage rates will be utilized as the basis for calculating the 2022 millage rates, as well as any millage reduction factors that may apply. The millage reduction factors will be determined in May, 2022.

NOW THEREFORE, BE IT RESOLVED that Cascade Township intends to levy the maximum allowable after all millage reduction factors have been applied for the 2022 tax year.

The foregoing resolution was offered by Board Member _____ and supported by Board Member _____ with the vote being as follows:

YEAS:

NAYS:

ABSENT:

Resolution declared adopted.

Susan Slater
Cascade Charter Township Clerk

CERTIFICATION

I hereby certify the foregoing to be a true copy of a Resolution adopted by the Cascade Charter Township Board at a Regular Board Meeting held on December 15, 2021

Susan Slater
Cascade Charter Township Clerk



CASCADE CHARTER TOWNSHIP

5920 Tahoe Dr. SE Grand Rapids, Michigan 49546

Date: December 15th, 2021
To: Supervisor Lesperance and Township Board Members
From: Ben Swayze, Township Manager
Subject: 2022 Meeting Schedule

FACTS:

Attached is the 2022 meeting schedule for the Township Board and the other boards and commissions of the Township. There are no major changes to the 2022 meeting schedule, other than meeting dates that have been moved to accommodate the election date schedule or recognized holidays. However – the Parks Committee schedule has been expanded to meet monthly, rather than quarterly. The schedule does not include ad-hoc committees. Highlights include:

- Township Board to meet the 2nd and 4th Wednesday of each month (except November & December)
- Planning Commission to meet the 1st and 3rd Monday of each month
- Zoning Board of Appeals to meet the 2nd Tuesday of each month
- Parks Committee to meet 3rd Tuesday of each month
- DDA to meet the 3rd Tuesday of each month.
- Historical Society to meet the 1st Thursday of each month
- Infrastructure Committee to meet the 1st Wednesday of each month
- Finance & Personnel Committee to meet the 2nd Wednesday of each month
- Public Safety Advisory Committee to meet the 3rd Wednesday of each month
- Governance Committee to meet the 4th Wednesday of each month

Any changes to the regular meeting schedule have been indicated by an asterisk.

ANALYSIS & CONCLUSIONS:

The schedule has been prepared based on the preexisting schedule with changes made to accommodate holidays, elections or times that are typically hard to schedule regular meetings (i.e. spring break). We post the entire schedule at the beginning of the year to comply with Open Meetings Act requirements. Any changes to the schedule during the year will be posted a minimum of 18 hours prior to the meeting at Township Hall. Meetings are posted on the Township website calendar and each Board, Commission or Committee has a section on the website to post agendas and minutes.

FINANCIAL CONSIDERATIONS:

None

RECOMMENDED ACTION:

To approve the 2022 Cascade Charter Township Meeting schedule.

CASCADE CHARTER TOWNSHIP 2022 MEETING SCHEDULE

	TOWNSHIP BOARD	TOWNSHIP BOARD	PLANNING COMMISSION	PLANNING COMMISSION	ZONING BD. OF APPEALS	PARKS	DDA	HISTORICAL COMMITTEE	INFRASTR. COMMITTEE	FINANCE & PERSONNEL COMMITTEE	PUBLIC SAFETY ADVISORY COMMITTEE	GOVERN. COMMITTEE
JANUARY	12	26	3	17	11	18	18	6	5	12	19	26
FEBRUARY	9	23	7	28*	8	15	15	3	2	9	16	23
MARCH	9	23	7	21	8	15	15	3	2	9	16	23
APRIL	13	27	-	18	12	19	19	7	6	13	20	27
MAY	11	25	9*	16	10	17	17	5	4	11	18	25
JUNE	8	22	6	20	14	21	21	2	1	8	15	22
JULY	13	27	11*	18	12	19	19	-	6	13	20	27
AUGUST	10	24	8*	15	9	16	16	4	3	10	17	24
SEPTEMBER	14	28	12*	19	13	20	20	1	7	14	21	28
OCTOBER	12	26	3	17	11	18	18	6	5	12	19	26
NOVEMBER	2*	16*	14*	21	15*	15	15	3	2	9	16	23
DECEMBER	14	-	5	19	13	-	20	1	7	14	21	28

* Indicates a change in the regular meeting date

Township Board: 2nd & 4th Wednesday of each month, or as indicated above

Infrastructure Committee: 1st Wednesday of the month, or as indicated above

Planning Commission: 1st & 3rd Monday of each month, or as indicated above

Finance & Personnel Committee: 2nd Wednesday of the month, or as indicated above

Zoning Board of Appeals: 2nd Tuesday of each month, or as indicated above

Public Safety Advisory Committee: 3rd Wednesday of the month, or as indicated above

Parks Committee: 3rd Tuesday of the month, or as indicated above.

Governance Committee: 4th Wednesday of the month, or as indicated above

DDA: 3rd Tuesday of the month, or as indicated above

Historical Society: 1st Thursday of each month, or as indicated above.

- ◆ Special meetings are on the call of the Chairperson.
- ◆ All regular meetings which fall on an official legal holiday are usually held on the next business day or as rescheduled by the Chairperson.
- ◆ All Parks Committee meetings are held at the Township Offices, located at 5920 Tahoe Drive SE at 8:00 a.m.
- ◆ All Planning Commission meetings are held at the Cascade Public Library – Wisner Center, located at 2870 Jacksmith Drive at 7:00 p.m.
- ◆ All Zoning Board of Appeals meetings are held at the Cascade Public Library – Wisner Center, located at 2870 Jacksmith Drive at 5:30 p.m.
- ◆ All DDA meetings are held at the Cascade Public Library – Wisner Center, located at 2870 Jacksmith Drive at 5:30 p.m.
- ◆ All Township Board meetings are held at the Cascade Public Library – Wisner Center, located at 2870 Jacksmith Drive at 7:00 p.m.
- ◆ All Township Board Committee meetings are held at Township Hall, located at 5920 Tahoe Drive SE at 9:00a.m.
- ◆ All Historical Society meetings are held at the Township Museum Building, located at 2839 Thornapple River Drive at 9:30 a.m.
- ◆ Any meeting changes to the above schedule (time/date/location, etc) will be posted at the Township Hall at least 18 hours prior to the meeting.



CASCADE CHARTER TOWNSHIP

5920 Tahoe Drive SE Grand Rapids, Michigan 49546

Date: December 10, 2022
To: Cascade Charter Township Board
From: Supervisor Grace Lesperance
Subject: **2022 Cascade Charter Township Appointments**

Township Board Standing Committee Appointments

Pursuant to the Township's Policies and Procedures for Board Committees (adopted 12/14/16, updated 8/11/21) and after careful consideration, I recommend the appointments below for the 2022 calendar year:

Personnel & Finance Committee: Ken Peirce, Grace Lesperance, Timmy Noordhoek

Infrastructure Committee: John Shipley, Grace Lesperance, Tom McDonald

Public Safety Advisory Committee: John Shipley, Timmy Noordhoek, Jim Koessel

Governance Committee: Sue Slater, Timmy Noordhoek, Ken Peirce

These appointments combine both fresh perspective and continuity. Per the Township's Policies and Procedures for Board Committees and past practice, the Supervisor shall serve as a standing alternative for all committees—only attending the committee meeting in the event that one of the regular members cannot attend.

Parks Committee

Pursuant to the Township's Parks Committee's By-Laws (adopted 12/22/93), I recommend one appointment to the Parks Committee:

Windy Korstange (appointed to three-year term expiring 12/31/24)

Ms. Korstange's concurrent service on the Planning Commission is an important step in creating synergy between our various committees and commissions.

Although two members' terms expire 12/31/21 (Mr. Alan Rowland and Ms. Dawn McDonald), I am offering only one appointment; both Mr. Rowland and Ms. McDonald are term-limited according to the By-Laws. This is necessary to bring the Parks Committee in compliance with its own By-Laws and Rules of Procedures—as the Parks Committee currently has one too many members.

This error occurred because until recently Township staff was apparently unaware of the existence of Parks Committee By-Laws. For the past unknown number of years, and unlike every other Township commission and committee, the Parks Committee operated informally, without set structure such as membership requirements. However, earlier this year, Interim Planning Director Hillbrands found actual Parks Committee By-laws in a box in former Community Development Director Peterson's office.

The newly-found By-Laws lay out clear membership requirements, and like all of this Board's adopted policies, must be followed. As a result, and as noted above, although two members' terms expire 12/31/21, I am offering only one appointment. This will bring the Parks Committee back in compliance with its By-Laws—which mandate five members, with the Supervisor also serving as an ex-officio member. Existing members Wanty, Engel, Reese, and Douglas do not require re-appointment at this time.

I would like to thank Mr. Alan Rowland and Ms. Dawn McDonald for their long-standing service on the Parks Committee. Over the past nine years, both have served enthusiastically. Although term limits serve the important purpose of encouraging fresh faces and fresh ideas, both Mr. Rowland and Ms. McDonald were an important part of the Parks Committee, and will be greatly missed by their fellow members.

Planning Commission Appointments

In compliance with MCL 125.3815, I recommend the following appointments:

Ralph Moxley (re-appointment to three-year term expiring 12/31/24)

Windy Korstange (re-appointment to three-year term, expiring 12/31/24)

Alan Rowland (appointed to fill seat vacated when Mr. Brett Katsma resigned before his third term expired on 12/31/22, term expires 12/31/22)

As a long-time Cascade resident, Mr. Rowland was among the first graduates of Pine Ridge Elementary. He is currently completing his third term on the Parks Committee. His years of

service on that committee will be an asset to both the Planning Commission and the Township as a whole.

On behalf of the entire Board, I extend my appreciation to Mr. Katsma for his ongoing commitment and contribution to Cascade, as evidenced in part by his service on the Planning Commission.

Downtown Development Authority Appointments

Pursuant to MCL 125.4204, I recommend the following appointments to the DDA:

Kristin Carlson (DDA Business Owner/New Appointment. First term expires 12/31/25)

Ms. Carlson is a Cascade resident and business owner. Her business, Bridal Elegance, located at 6865 Cascade Road, occupies the same building that formerly housed the Cascade Fire Station and Township Hall.

Gordon (“Corky”) Reynolds (District Resident. New Appointment. First term expires 12/31/25)

Mr. Reynolds currently residents in the DDA. He also happens to be a long-time Cascade resident and business owner.

These appointments will provide a fresh perspective and broaden community participation. I also greatly appreciate the service rendered to the DDA by Mr. Steve Stephan and Mr. Gary DeWitt, and am confident that their contributions to the DDA’s mission will endure.

Zoning Board of Appeals Appointments

Pursuant to MCL 125.3601, I recommend the following appointments to the Township Zoning Board of Appeals:

Valerie Milliken	(re-appointment to three-year term, expiring 12/31/24)
Louis Berra	(re-appointment to three-year term, expiring 12/31/24)

Board of Review Appointments

I recommend the following appointments to the Board of Review:

John Meyer	(re-appointment to three-year term, expiring 12/31/24)
Barb Manus-Averill	(re-appointment to three-year term, expiring 12/31/24)
Sara Fazio	(re-appointment to three-year term, expiring 12/31/24)

Alternates:

Louis Berra	(re-appointment to three-year term, expiring 12/31/24)
Nancy Hillary	(new appointment to three-year term, expiring 12/31/24)

Thornapple River Special Assessment District Ad-Hoc Committee

Two additional residents have expressed interest in serving on this Ad-Hoc Committee. Both members are long-time Cascade residents and have been actively involved in the SAD process. I recommend the Board approve two additional seats, and offer the following two appointments to this Ad-Hoc Committee:

Paul Strauss
Charles Whitley



CASCADE CHARTER TOWNSHIP

5920 Tahoe Drive SE Grand Rapids, Michigan 49546

Date: December 10, 2021
To: Cascade Charter Township Board
From: Supervisor Grace Lesperance
Subject: **Agenda Item - Planning Commission Member 12/6/21 Comment**

Given the nature and content of the comment in question, and in light of the various commentary offered by Board members in response, I have directed Manager Swayze to place this item on the agenda for review and discussion.

Mr. Meurlin's apology and my, along with members Koessel, McDonald, Peirce and Slater, written comments are attached.

Ben Swayze

From: Grace Lesperance
Sent: Wednesday, December 8, 2021 12:37 PM
To: Craig Meurlin
Cc: Kenneth B Peirce; Sue Slater; Jim MacDonald; JOHN SHIPLEY; tim noordhoek; Tom Mcdonald; Chris Noordyke; Ben Swayze
Subject: Planning Commission Comments

>> Craig,

>> It has come to my attention that at the 12/6/2021 Cascade Charter Township Planning Commission meeting you commented essentially as follows: that if someone had a shotgun at the last Board meeting that there would be less Board members.

>>

>> Although you immediately and unequivocally concurred with commentary noting that those comments were inappropriate, I must inform you that commentary such as that referenced above is unacceptable and will not be tolerated.

>>

>> Issues of governance evoke passionate responses—it is incumbent upon those of us in elected and appointed offices, however, to unreservedly reject threatening or incendiary references.

>>

>>

>> Grace Lesperance, Supervisor

>> Cascade Charter Township

>>

Ben Swayze

From: kenneth.peirce@yahoo.com
Sent: Thursday, December 9, 2021 9:39 AM
To: Ben Swayze
Subject: FW: My Inappropriate Comments at the Planning Committee's Last Meeting

fyi

From: Ken Peirce <kpeirce@cascadetwp.com>
Sent: Wednesday, December 8, 2021 8:56 PM
To: Ken Peirce <kenneth.peirce@yahoo.com>
Subject: Fw: My Inappropriate Comments at the Planning Committee's Last Meeting

Ken Peirce

Treasurer

Cascade Charter Township

2865 Thornhills SE

Grand Rapids, MI 49546

616-949-6944

kpeirce@cascadetwp.com

From: Ken Peirce
Sent: Wednesday, December 8, 2021 8:48 PM
To: Ken Peirce
Subject: Fw: My Inappropriate Comments at the Planning Committee's Last Meeting

Ken Peirce

Treasurer

Cascade Charter Township

2865 Thornhills SE

Grand Rapids, MI 49546

616-949-6944

kpeirce@cascadetwp.com

From: Ken Peirce

Sent: Wednesday, December 8, 2021 8:22 PM

To: Craig Meurlin; Grace Lesperance; Tom McDonald; Timmy Noordhoek; Jim Koessel; Sue Slater; John Shipley

Cc: Ralph Moxley;

Subject: Re: My Inappropriate Comments at the Planning Committee's Last Meeting

Craig,

Your first and/or last paragraph sounded like an apology. The remaining paragraphs come across as a tirade about the township government. This detracts from the gravity of your "shotgun" comment which should be dealt with.

On another point, in the future, I would appreciate it if you would not quote your recollection of conversation(s) with me (see video of December 6, 2021 Planning Commission meeting) in a public meeting without my approval and consent.

Ken Peirce

Treasurer

Cascade Charter Township

2865 Thornhills SE

Grand Rapids, MI 49546

616-949-6944

kpeirce@cascadetwp.com

From: Craig Meurlin <

Sent: Wednesday, December 8, 2021 4:54:12 PM

To: Grace Lesperance; Tom McDonald; Timmy Noordhoek; Jim Koessel; Sue Slater; Ken Peirce; John Shipley

Cc: (mailto:kpeirce@cascadetwp.com) alph Moxley;

Timmy Noordhoek

Subject: My Inappropriate Comments at the Planning Committee's Last Meeting

Ladies and Gentlemen:

I apologize for my comment at the last Commission meeting suggesting that if the circumstances presented itself, I might use a shotgun to reduce the number of trustees. That was very bad judgment (and particularly so given the very recent tragedy in Oxford Michigan) but I wanted to use a bit of humorous hyperbole to make a point. I would never intentionally shoot a lethal weapon at another person, unless that person threatened my family or my property and no alternative existed. I was taught weapon safety in the United States Army and I took it very seriously then and continue to do so. I would never even aim a weapon at another person unless I was threatened. Given the more frequent uses of weapons these days that all too often result in tragic consequences as well as the general coarsening relations among people on opposite sides of so many issues, the comment was particularly inappropriate. I hope each of you can and will forgive me for that comment. That allusion to the use of a weapon will not happen again.

That was not the only effort at humor in that meeting (and others) that was probably in hindsight inappropriate. There have been some attempts at metaphors that were not appropriate that were targeted at practices of the Board of Trustees and of senior staff of the Township that cause great frustration among some citizens, myself included. I have done the same thing at times in my comments to the Board of Trustees, but jokes that are meant to highlight a point I am trying to make do not always come over appropriately in retrospect (or in the minutes). I do believe that we all, me included, take ourselves too seriously, and at least at Planning Commission meetings, Chairman Rissi also uses humor often targeted at me, which I welcome and appreciate. We must be able to laugh at ourselves. Even when sitting on the Commission or Board of Trustees, we are still ordinary citizens seeking to do the best we can for Cascade. Even in the most repressive medieval kingdoms, they understood the need for the court jester, the one soul allowed to tell the truth through laughter.

Since my appointment to the Planning Commission, I have tried to use some colorful metaphors and humor to lighten the at times oppressively serious mood of the meetings – a mood that I believed led to a passivity at times that hurt the Commission in the performance of its jobs. I think my attempts to lighten to mood at meetings, a sentiment shared by our Chairman, Scott Rissi, who does it very well, has led to more Commissioners becoming vocally involved in matters. It has also led to more effective conversations (other than *ex-parte* conversations) with those coming before the Commission. That humor (or attempts, however bad) should never be thought to reduce my preparedness for each meeting and the serious and thoughtful analysis I put into every matter we act upon. I am also trying to better understand the proper role of the Planning Commission under Michigan law vis-à-vis the Planning Director and Board of Trustees, as well as our duties to the citizens of Cascade Township. We historically had a more passive role than I think appropriate, leading to damage to some citizens and their property and to insufficient oversight of projects. As a member of the Round Hill Subcommittee of the Planning Commission, many of the issues became clearer to those of us on the Subcommittee; they also explained the litigation relating to that projec, filed against the township and Mr. Peterson as planning director (as well as against the developer).

Finally, I will note, not in an attempt to excuse the “shotgun” comment, that this Planning Commission meeting occurred just after the Township’s Board of Trustees Workshop on the 2022 budget (something that should be of critical importance to the citizens). Last year, I watched the workshop on zoom and learned a lot from it as I would watch the powerpoint material the Town Manager had to explain the budget. This year, as a citizen I could barely stand to watch about half of the meeting and was shocked: (i) not to know of this meeting until the day before when I happened to visit the township’s webpage and saw the notice; and (ii) not to receive the draft budget and not be able to see on screen any of the materials prepared by the Town Manager and presented at the meeting and shown to the trustees at the meeting (primarily, the powerpoint presentation so I could follow the Town Manager’s budget commentary (which was shown on our screens last year). So, I would suggest that this was an “open meeting” in name only; it was totally useless for anyone attending via zoom. I will also note that when one of the trustees did show me the budget material after the meeting, I was disappointed to see that those materials did those meet the requirements of Section 25 of The Charter Township Act of Michigan.

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Craig Meurlin

om [Mail](#) for Windows

Ben Swayze

From: Jim Koessel
Sent: Thursday, December 9, 2021 8:55 PM
To: Ben Swayze
Subject: FW: My Inappropriate Comments at the Planning Committee's Last Meeting

FYI

Sent from [Mail](#) for Windows

From: [Jim Koessel](#)
Sent: Thursday, December 9, 2021 8:53 PM
To: [Craig Meurlin](#); [Grace Lesperance](#); [Tom McDonald](#); [Timmy Noordhoek](#); [Sue Slater](#); [Ken Peirce](#); [John Shipley](#)
Cc: [Ralph Moxley](#); [Timmy Noordhoek](#)
Subject: RE: My Inappropriate Comments at the Planning Committee's Last Meeting

Mr. Meurlin, while I appreciate your attempt of an apology for your inappropriate comments at the Planning Commission Monday night, I feel the problem is far greater than that. Public servants, whether elected or appointed, have a duty to act in a professional manner at meetings they attend, especially when the public is present. Your open criticism of Township Staff and Board members that you may have a difference of opinion with you, is not professional.

We have an excellent Township staff who is dedicated to doing what's best for the Township, most especially our Township Manager, Ben Swayze. I have listened to your unwarranted, negative comments about Mr. Swayze at several Planning Commission Meetings and also ones aimed at former Community Development Director, Steve Peterson. You have shown little respect for these people, including former Assistant Manager Stephanie Fast, and those actions will not be tolerated. Furthermore, you have attacked Clark Slater, Treasurer Peirce and Trustee McDonald without merit.

It is very apparent that you have a hidden agenda in what you are doing and I don't feel you are working to create a cohesive form of government in Cascade Township. Your recent comments on December 6th were dangerous and uncalled for and I suggest you resign your position on the Planning Commission immediately. I find it incomprehensible that you consider your remarks an attempt to add humor to the conversation, I find them totally malfeasant.

Jim Koessel
Cascade Township Trustee

From: [Craig Meurlin](#)

Sent: Wednesday, December 8, 2021 4:54 PM

To: [Grace Lesperance](#); [Tom McDonald](#); [Timmy Noordhoek](#); [Jim Koessel](#); [Sue Slater](#); [Ken Peirce](#); [John Shipley](#)

Cc: [Ralph Moxley](#); [Timmy Noordhoek](#)

Subject: My Inappropriate Comments at the Planning Committee's Last Meeting

Ladies and Gentlemen:

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That was not the only effort at humor in that meeting (and others) that was probably in hindsight inappropriate. There have been some attempts at metaphors that were not appropriate that were targeted at practices of the Board of Trustees and of senior staff of the Township that cause great frustration among some citizens, myself included. I have done the same thing at times in my comments to the Board of Trustees, but jokes that are meant to highlight a point I am trying to make do not always come over appropriately in retrospect (or in the minutes). I do believe that we all, me included, take ourselves too seriously, and at least at Planning Commission meetings, Chairman Rissi also uses humor often targeted at me, which I welcome and appreciate. We must be able to laugh at ourselves. Even when sitting on the Commission or Board of Trustees, we are still ordinary citizens seeking to do the best we can for Cascade. Even in the most repressive medieval kingdoms, they understood the need for the court jester, the one soul allowed to tell the truth through laughter.

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Craig Meurlin

om [Mail](#) for Windows

Ben Swayze

From: Sue Slater
Sent: Friday, December 10, 2021 10:23 AM
To: Craig Meurlin
Cc: Grace Lesperance; Tom McDonald; Timmy Noordhoek; Ken Peirce; John Shipley; Jim Koessel; ; Ralph Moxley; ; Ben Swayze
Subject: 12/6 Planning Commission

Mr. Meurlin,

Your comments about the Board at the December 6 Planning Commission meeting were completely out of order. You have crossed the line and unfortunately there's no apology that will make up for that. My husband upon watching the video immediately called Manager Swayze, and the Sheriff. He's very serious about this.

You have made it your personal mission to destroy a very effective board by your divisive comments and threats. You're not funny. We're tired of it.

This Township has clicked along for 173 years just fine. No, everyone won't like every decision that is made, but we are all doing the very best that we can! The Board is prepared and makes the best possible decision for the Township. When the Board hired Ben Swayze as Township Manager, it was an excellent choice as he is extremely effective in his job.

As to the Board responding to comments, it's "public comment" not Board response time. Many times I don't respond because I don't want to get into a public argument that is archived forever. I listen to residents speak of matters on which they really don't have correct information as patiently as possible. You have attacked me publicly a few times yet you have never spoken to me face-to-face. You don't even know me.

Because of these threats, you have disqualified yourself from credible service on any Commission or Board of Cascade Township. You are an embarrassment to Cascade Township. The right thing to do is to resign immediately.

Sue Slater

Susan B. Slater, Clerk
MiPMC

Cascade Charter Township

5920 Tahoe Dr SE

Grand Rapids, MI 49546

616.949.1508

Ben Swayze

From: Tom McDonald <tmcdonald@mkassoc.com>
Sent: Friday, December 10, 2021 11:42 AM
To: Ben Swayze
Subject: FW: Inappropriate Comments made by Craig Meurlin at the Planning Commission's Last Meeting (12/6/21)

From: Tom McDonald
Sent: Friday, December 10, 2021 11:34 AM
To: Craig Meurlin <cmeurlin@gmail.com>; Grace Lesperance <glesperance@cascadetwp.com>; tmcdonald@cascadetwp.com; tnoordhoek@cascadetwp.com; jkoessel@cascadetwp.com; sslater@cascadetwp.com; kpeirce@cascadetwp.com; John Shipley <jshipley@cascadetwp.com>
Cc: Ralph Moxley <rmoxley@cascadetwp.com>; tnoordhoek@cascadetwp.com
Subject: RE: Inappropriate Comments made by Craig Meurlin at the Planning Commission's Last Meeting (12/6/21)

Craig,

If you were sincere about apologizing for your very inappropriate comments at the Planning Commission meeting on December 6th, you'd resign from township committees and the Planning Commission. That is the only acceptable resolution.

While I welcomed your letter of contrition, it mostly tried to justify use of "humor" to cover up very poor—and potentially dangerous—judgment. Especially in light of the multiple deaths, injuries, and extensive destruction on January 6th, and especially considering the recent horrific deaths by use of a gun in a Michigan school, words and suggestions of using guns against people (in this case Cascade Board members), are particularly disturbing and dangerous. People use such speech as encouragement and justification to perform heinous acts. It's a new world today.

On December 6th, you referenced the Board meeting of 11/17/21. In the Planning Commission meeting on 12/6 you stated publicly, "If you were at the last Board meeting and you had a shotgun, we would have fewer Board members today ... I was pissed royally." You then cuttingly stated that Board members sit "stone-faced" during public comment and do not respond.

"Public Comment" is time for the public to make their comments, NOT to have a dialogue with the Board, who by responding may not have the facts at the time and most certainly could exacerbate someone's anger and could promote animosity from certain individuals. The wisest thing to do is to bite one's tongue and not promote an argument. That was especially the case at the 11/17/21 Board meeting where residents made false statements about a deceased former Board member. (I know these statements were false because I spoke directly with the son and daughter of that former Board member. The kids contacted me after hearing that their father's name was used by residents to support some of the residents' claims about "fraudulent" elections in Cascade and other accusations. The kids also said that their dad's health condition was inaccurately reported during the meeting; also, that the people saying these things were not "close" family or friends as they had stated at the Board meeting.)

Moreover, your comments were not a “one off” incident—this wasn’t just one “accidental” slip of the tongue. Your comments are usually very well prepared. You are very astute. In addition, if a resident hadn’t alerted the Board of the alarming comments you made at the December 6th meeting, and if the backlash wasn’t so severe, there wouldn’t have even been an apology. This is very unfortunate given your intellect, but it follows a pattern of negative criticism, intimidation, and harassment of township staff, the Township Manager, and Board members you don’t like. Simply put, your recent caustic criticisms were not a one-off situation, though you crossed a new line on December 6th.

Over the past year, you have appeared to take great pride in criticizing and verbally attacking staff, the Township Manager, former Supervisor Beahan, and Board members, including Treasurer Peirce and Clerk Slater. Your comments are usually mean-spirited and well thought-out to be as critical as possible, although possibly not true. This has occurred dozens of times. These actions have been very divisive and have caused damage to Cascade Township. They are not the sole reason for dissonance in the township, but they have greatly contributed to the inability for the township—staff, committees, DDA, the Planning Commission, and the Board—to work in a more cooperative and constructive fashion.

The “corruption” you repeatedly espouse are conspiracy theories you’ve promoted. At this point, these appear to be great distortions of fact based on exaggerated claims. Most seriously, this destructive behavior was done **purposely with the intention of causing personal harm and embarrassment to specific individuals**, such as the Township Manager, staff, and others. Hence, the township lost three employees this past fall in a matter of weeks, each claiming they could no longer tolerate working in a “toxic” work environment. Some staff members have commented that they go to work “with their heads down.” What kind of work environment is that? Many staff members dread your presence in the township offices. These visits are unnecessary and cause work disruption. Your name has been mentioned in many complaints.

In addition, you have embarrassed Supervisor Lesperance, who has been your biggest advocate and supporter. She put you on the Planning Commission and Strategic Planning Advisory Committee. She had no choice but to send you a strong letter of reprimand for your recent comments.

Behavior of this type is destructive. We all expect professional conduct and fairness, not constant berating and criticism of individuals based on threadbare claims. To allow this to continue would be unjust. Cascade deserves better and residents expect excellence and positive results, not constant negativity. You have crossed many lines of unprofessional conduct, but the latest was very severe. While I note that you wrote a letter of apology for this “one” mistake, such ongoing negative behavior by any township official should disqualify them from being on any township commission or committee. On December 6th you demonstrated that you do not deserve to be a decision-maker or representative of Cascade Township in any capacity.

Tom McDonald
Cascade Township Trustee

From: Craig Meurlin <_____n>
Sent: Wednesday, December 8, 2021 4:54 PM
To: Grace Lesperance <glesperance@cascaadetwp.com>; tmcdonald@cascaadetwp.com; tnoordhoek@cascaadetwp.com; jkoessel@cascaadetwp.com; sslater@cascaadetwp.com; kpeirce@cascaadetwp.com; John Shipley <jshipley@cascaadetwo.com>
Cc: _____, Ralph Moxley >

Subject: My Inappropriate Comments at the Planning Committee's Last Meeting

Ladies and Gentlemen:

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