

**AGENDA**  
**Cascade Charter Township Planning Commission**  
**Monday, October 19, 2015**  
**7:00 pm**  
**Cascade Library Wisner Center**  
**2870 Jacksmith Ave. SE**

- ARTICLE 1. Call the meeting to order  
Record the attendance**
- ARTICLE 2. Pledge of Allegiance to the flag**
- ARTICLE 3. Approve the current Agenda**
- ARTICLE 4. Approve the Minutes of the October 05, 2015 meeting**
- ARTICLE 5. Acknowledge visitors and those wishing to speak to non-agenda items.  
(Comments are limited to five minutes per speaker.)**
- ARTICLE 6. Case # 15-3263 Lacks Enterprises  
Public Hearing  
Property Address: 5460 Cascade Road SE  
Requested Action: The Applicant is requesting to amend the Golfview P.U.D.  
to allow an addition to the Lacks Corporate HQ Building.**
- ARTICLE 7. Any other business.**
- ARTICLE 8. Adjournment**

**Meeting format**

- |   |   |
|---|---|
| <b>1. Staff Presentation</b>  | <i>Staff report and recommendation</i>  |
| <b>2. Project presentation-</b>   | <i>Applicant presentation and explanation of project</i>  |
| <b>a. PUBLIC HEARINGS</b>   |   |
| i. Open Public Hearing.   | <i>Comments are limited to five minutes per speaker; exception may be granted by the chair for representative speakers and applicants</i> |
| ii. Close public hearing  |   |
| <b>3. Commission discussion – May ask for clarification from applicant, staff or public</b> |   |
| <b>4. Commission decision - Options</b>   |   |
| a. Table the decision   | <i>d. Approve with conditions</i>   |
| b. Deny   | <i>e. Recommendation to Township Board</i>  |
| c. Approve  |   |

## MINUTES

Cascade Charter Township Planning Commission  
Monday, October 05, 2015  
7:00 P.M.

**ARTICLE 1.** Chairman Pennington called the meeting to order at 7:00 PM.  
Members Present: Lewis, Mead, Pennington, Rissi, Sperla, Waalkes, Williams  
Members Absent: Robinson (Excused) Hammond (Resigned)  
Others Present: Community Development Director, Steve Peterson, and others listed on the sign in sheet.

**ARTICLE 2.** Pledge of Allegiance to the flag.

**ARTICLE 3.** Approve the current Agenda.

**Motion by Member Mead to approve the Agenda. Support by Member Waalkes. Motion carried 7-0.**

**ARTICLE 4.** Approve the Minutes of the September 14, 2015 meeting.

**Motion by Member Lewis to approve the minutes of the September 14, 2015 meeting with corrections. Support by Member Rissi. Motion carried 7-0.**

**ARTICLE 5.** Acknowledge visitors and those wishing to speak to non-agenda items (Comments are limited to five minutes per speaker.)

No one wished to speak on non-agenda items.

**ARTICLE 6.** Case #15-3265 Randy Gaskin  
Public Hearing

**Property Address: 3505 Snow**

**Requested Action: The Applicant is requesting a Special Use Permit to allow the construction of an accessory building in excess of 832 sq. ft.**

Director Peterson presented the case. The site is on Snow Avenue just north of 36<sup>th</sup> Street. It is in the Farmland Preservation Zoning District which essentially mirrors the Agricultural Zoning District in terms of the regulations and lot size. They are asking for a building of 1,536 sq. ft. with metal siding and asphalt roofing. The property itself is two (2) acres. With two (2) acres you are allowed one accessory building. They do have a detached a garage. They also have a couple existing accessory buildings. There is a small one out back and a metal carport. The carport has a roof so it is considered a structure. Both of these smaller buildings would need to come down in order to build this larger one. The building itself is planned to be 15' tall. The setbacks they have would allow for a

building to be up to 18' tall. In taking a look at the area, the lot is non-conforming. Today we require 2.3 acre lots. This lot is legal non-conforming. Although the building itself would be rather large for the property and the size of home on the property, my sense was that this was rather normal for the area. The lot and the home in my opinion are a little bit smaller than normal. Once they take down the other two structures on the property, building this one bigger one would fit in with the character of the area. My recommendation is that you approve their Special Use Permit to allow the building with the conditions that they cannot run a business out of it or use it for living space and that the two smaller structures on the property are removed prior to obtaining a building permit.

Member Lewis asked if the Applicant had agreed to take down the other two structures. Director Peterson stated that he had not talked to the Applicant about removing the other buildings since they were not on the plans. The plans itself show just the detached garage which is permitted.

**Chairman Pennington asked the Applicant to come forward with any comments.**

Randy Gaskin, 3505 Snow Avenue came forward as the Applicant.

The Applicant stated that he has a 10 x 10 storage shed that is on a deck structure and is not permanent. He has no problem removing it. The carport is a Menards structure sitting on the ground and is simply to house his truck until this building is finished. It is a temporary structure and will be removed anyway.

Chairman Pennington asked if it was possible to allow the carport to remain until the barn is built. Director Peterson stated that the condition could be that the carport had to be removed before the final inspection.

Member Sperla asked the Applicant if he knew that the building could not be used for a business. The Applicant stated he was aware of this and it was not a problem.

Member Waalkes asked if the Applicant was planning any lighting on the exterior of the building. The Applicant stated that he was unsure but if he did put any lighting it would be a single mercury light on the front of the building. Member Waalkes stated that the light would have to be shielded and downcast. The Applicant agreed.

Member Sperla asked the Applicant if he had any input from any of his neighbors. The Applicant stated that there are no close neighbors and no one is opposed.

**Member Lewis made a motion to open the Public Hearing. Support by Member Mead. Motion carried 7-0.**

No one wished to speak at the Public Hearing.

**Member Rissi made a motion to close the Public Hearing. Support by Member Sperla. Motion carried 7-0.**

**Member Sperla made a motion to approve the request for the Special Use Permit for Case 15:3256 to allow an accessory building in excess of 832 sq. ft. with the conditions that it is not used as living space or to run a business and that the two existing structures be removed. Amendment by Member Mead that the structures be removed within 30 days of final inspection. Support by Member Waalkes. Motion carried 7-0.**

**ARTICLE 7. Case #15-3267 Paul Kucharczyk**

**Public Hearing**

**Property Address: 9150 52<sup>nd</sup> Street**

**Requested Action: The Applicant is requesting a Special Use Permit to allow the construction of an accessory building in excess of 832 sq. ft.**

Director Peterson presented the case. The property is located on 52<sup>nd</sup> Street just west of Snow Avenue. The property is zoned Agricultural. It is just about three (3) acres in size so would be limited to one (1) accessory building outside of an attached garage. They already have a small accessory building in the back. This would be their attached garage. It is over 832 sq. ft. so it requires the Special Use Permit. The building is planned to be about 16' tall. It is 56' to the closest property line which would allow for up to an 18' tall building. The house is about 1500 sq. ft. The size of the building seems very normal for the size of the house and the size of the lot. The structure is steel sided with steel roofing and it is consistent with others in the area. I am recommending approval of the Special Use Permit with the condition that it cannot be used to run a business or for living space.

Member Lewis stated that he appreciated Director Peterson taking the size of the house into consideration but also realizing that this is a more rural setting and therefore not out of place.

Member Sperla stated that he agreed as this area is really quite rural compared to other areas of the Township and seems fitting for this location.

**Chairman Pennington asked the Applicant to come forward with any comments.**

Paul Kucharczyk, 9150 52<sup>nd</sup> Street came forward as the Applicant.

The Applicant stated that he is building the accessory building for storage only as they do not currently have a garage and needs storage for his boat and eventually an RV.

Member Waalkes asked if they had any plans for electric, heat or plumbing. The Applicant stated that he was going to have electricity to the building.

**Member Rissi made a motion to open the Public Hearing. Support by Member Sperla. Motion carried 7-0.**

No one wished to speak at the Public Hearing.

**Member Rissi made a motion to close the Public Hearing. Support by Member Sperla. Motion carried 7-0.**

**Member Lewis made a motion to approve the Special Use Permit for Case 15:3256 to allow an accessory building in excess of 832 sq. ft. with the conditions that it is not used as living space or to run a business. Support by Member Waalkes. Motion carried 7-0.**

**ARTICLE 8. Case #15-3273 G Place LLC  
Property Address: 6812 Old 28<sup>th</sup> Street  
Requested Action: The Applicant is requesting site plan approval for 600 sq. ft. addition.**

Director Peterson presented the case. This is the Portebello Road furniture store that sits on Old 28<sup>th</sup> street. They are proposing a small addition off the back that matches the current exterior. Staff review is limited to buildings 5,000 sq. ft. or 5 percent of the addition, whichever is less, and this is over 5 percent of the building. They did reconfigure the property line, which now meets the side yard setback. In 2011, they remodeled the building to meet the Village Design Standards. As of now the building meets all the requirements set by the Township. The Fire Department did not have any comments and have approved the plan. The Township Engineer reviewed and approved the plan with a signed Storm Water Maintenance agreement for storm water purposes. Director Peterson recommends the site plan approval with the condition that they meet the Township Engineer requirements, sign the Maintenance Agreement and obtain the Soil Erosion Permit.

Chairman Pennington asked if this needed to go to the Village Design Review Committee. Director Peterson states that it does not because they are not asking for any deviations.

Member Waalkes asked if this required any action to take property away from the neighboring property. Director Peterson stated that it will not as the other request is a P.U.D rezoning. We approved that as an administration function as it was minor and it did not alter any portion of the project.

Member Sperla asked if there would be any new parking spaces are created by this addition. Director Peterson stated that no new spaces would be required as a result of the addition. Our spaces are 4 per 1,000 so in terms of a zoning standard it does not require any new spaces.

Member Lewis observed that the addition will make the building look much more complete and is a nice looking building and a good fit for the Township.

**Chairman Pennington asked the Applicant to come forward with any comments.**

No applicant or representative came forward.

**Member Waalkes made a motion to approve the site plan for Case 15:3256 to allow for a 600 sq. ft. addition with the condition they have a signed Storm Water Maintenance Agreement and a Soil Erosion Sedimentation Control Permit from the Road Commission. Support by Member Mead. Motion carried 7-0.**

**ARTICLE 9. Case #15-3268 Craig Baker**

**Property Address: 4939 Starr St**

**Requested Action: Site Plan Approval for 15,000 sq. ft. warehouse addition to warehouse facility**

Director Peterson presented the case. This is one of the older P.U.D.'s and was originally a 30,000 sq. ft. addition. This is only half of the original planned addition. The original P.U.D did not have a lot of detail in terms of setbacks. There is a large retention pond to the west which creates a buffer as well as the stream before you get to the homes to the north and west on Patterson Ave. The Fire Department has approved the plans, the Township Engineer has as well. The Township Engineer did note the requirement for the signed Storm Water Maintenance Agreement and Soil Erosion Permit. They do propose some new outdoor lights and have given us lighting plan showing us they have met the Township requirements. They are not adding any new pavement, the pavement

was already existing. The only added impervious area is the building itself. I am recommending approval with the conditions that we get the signed Storm Water Maintenance Agreement and the Soil Erosion Permit from the Applicant.

Member Sperla stated that the existing retention pond is large enough to accommodate the storm water runoff. Director Peterson stated that it was built much bigger than was needed at the time to accommodate future expansion and the other buildings on the site.

**Chairman Pennington asked the Applicant to come forward with any comments.**

Kevin Vreugdenhil, First Companies, came forward on behalf of the Applicant. It is a clean project. They just want to expand and they are able to do so because business has increased. They design, engineer and build clean rooms for manufacturers.

**Member Sperla made a motion to approve the Site Plan for Case 15-3268 for a 15,000 sq. ft. warehouse addition to the existing warehouse facility subject to a building permit and Soil Erosion Permits being issued and that there also be Storm Water Agreement signed by the Applicant. Support by Member Rissi. Motion carried 7-0.**

#### **ARTICLE 12. Any other business**

- **Appointments**

Director Peterson stated that the positions of Village Design Review Committee and the Zoning Board of Appeals Delegate are open due to the resignation of Jeff Hammond. The Design Review Committee meets when someone is proposing modifications to the design requirements in the Village. It is typically during working hours but is not frequent. Zoning Board of Appeals meets once a month.

Member Sperla stated that he is interested in the Village Design Review Committee position.

Member Rissi asked how often the ZBA meets. Director Peterson stated 8-9 meetings per year is typical. We meet on the 2<sup>nd</sup> Tuesday of the month.

**Motion made by Member Lewis to appoint Member Sperla to the Village Design Review Committee. Support by Member Mead. Motion carried 7-0.**

**Motion Made by Member Lewis to appoint Member Waalkes to the Zoning Board of Appeals. Support by Member Mead. Motion carried 7-0.**

**ARTICLE 13. Adjournment**

**Motion made by Member Mead to Adjourn. Support by Member Williams. Motion carried 7-0. Meeting adjourned at 8:52 PM.**

Respectfully submitted,

Aaron Mead, Secretary  
Ann Seykora  
Julie Kutchins  
Planning Administrative Assistant

DRAFT

**STAFF REPORT**

TO: Cascade Charter Township Planning Commission  
FROM: Steve Peterson, Community Development Director  
REPORT DATE: October 13, 2015  
MEETING DATE: October 19, 2015  
CASE: #15-3260 / Lacks Corporate HQ expansion

**GENERAL INFORMATION**

- A. **Applicant:** Lacks Enterprises
- B. **Status of Applicant:** Owner
  
- C. **General Location:** South side of Cascade Rd ¼ mile south of Hall St.
  
- D. **Requested Action:** Amend the Golfview P.U.D. to allow an addition to the Lacks Corporate HQ building.
  
- E. **Existing Zoning on Subject Parcels:** Golfview P.U.D.
  
- F. **Zoning on Adjoining Parcels:**
  - N – R1
  - S – Golfview PUD
  - E – Watermark PUD
  - W – Golfview PUD
  
- G. **Parcel Size:** Approximately 4.3 acres
  
- H. **Existing Land Use on Subject Parcel:** Lacks Corporate Head Quarters
  
- I. **Adjacent Area Land Uses:**
  - North - Residential
  - East - Office
  - South - Office
  - West - Office

## **STAFF ANALYSIS**

- A. The applicant is requesting Preliminary Plan Review in order to add onto the existing office building at 5460 Cascade rd.
- B. The project would consist of an approximate 10,000 sq ft addition with some allowance for room in a basement as well as a connection to the existing building.
- C. According to the applicant the addition would be done to modernize and update the corporate HQ, any additional employees would be minimal.
- D. The property is part of the larger Golfview PUD that has restrictions on the size of the buildings. When originally developed the Golfview PUD limited the Lacks HQ building to no more than 20,000 sq ft. This amendment would increase that number to 30,000 sq ft with the allowance to use the basement and connector as well.
- E. The Golfview PUD has a complicated history of give and take and has now been completely developed. Some of the concerns relative towards amount of office space had to do with the amount of traffic that would be generated by the new development. The thought was to have a mix of uses that would allow for traffic to be distributed at different times as well as limit the "9-5 office traffic" by limiting the amount of office that could be developed.
- F. The PUD also tried to adhere to the Cascade Rd corridor study from the mid 90's. Staff has met with Lacks on several occasions over the years as they have considered this project and believes that this is their best effort relative to the cascade rd corridor study. The plan does include some additional berming, landscaping and façade treatments of the existing building.
- G. The original approved plan for Golfview did include an additional 10,000 sq ft building just to the west of the proposed site. This building was eliminated as part of a trade off with the original developer when he could not remove the billboard as originally required.
- H. Since the development of Golfview PUD, Cascade Rd has been improved to include a center turn lane at the entrance
- I. The current Master Plan designation for this property is Mixed Use. This designation is a reflection of the uses that are already there. This project does not change that and would not be inconsistent with the master plan.
- J. I do not believe there is a reason to require a traffic study given the relative small scope of the project, but it would be good idea to confirm with the applicant my understanding that the increase in the size of the building would not generate a big number of new employees coming to the site.
- K. At this time they have eliminated the access to arboretum drive. If they are able to secure permission from the neighbor this could be added administratively.
- L. The Township engineer has reviewed and approved the plan.

### **Standards**

Section 16.03 of the Zoning Ordinance requires that a Planned Unit Development must demonstrate that:

Standard	Staff Comment
Granting of the Planned Unit Development rezoning will result in a recognizable and substantial benefit to the ultimate users of the project and to the community, where such benefit would otherwise be unfeasible or unlikely to be achieved.	The property is already zoned PUD. the changes they are asking for are taking into account the cascade rd corridor study and intent of the original PUD.
In relation to underlying zoning, the proposed type and density of use shall not result in a material increase in the need for public services, facilities and utilities, and shall not place a material burden upon the subject or surrounding land or property owners and occupants or the natural environment	The increase in space is to modernize the existing facility and would not result in a material increase in the need for public services. The size of the addition is also consistent with the original scope of the project.
The proposed development shall be compatible with the General Development Plan of the Township, and shall be consistent with the intent and spirit of this Chapter	The project is consistent with the master plan
In relation to underlying zoning, the proposed development shall not result in an unreasonable negative economic impact upon surrounding properties	The underlying zoning/use of industrial was incompatible with the area. The change to the office PUD was to improve the impact to the surrounding area. This amendment would not result in an unreasonable negative economic impact
The proposed development shall contain at least as much green area and usable open space as would otherwise be required by this Ordinance with respect to the most dominant use in the development	The area along Cascade Rd is being improved with some additional landscaping and berming. This is also in line with the cascade rd corridor study.
The proposed development shall be under single ownership or control such that there is a single person or entity having responsibility for completing the project in conformity with this Ordinance. This provision shall not prohibit a transfer of ownership or control, upon due notice to the Planning Director of the Township	Although there are several other owners in the Golfview PUD. This project does not directly impact them, or change a part of the project involving their portion of the project.

**Staff Recommendation**

Staff recommends approval of the preliminary plan with the following condition:

1. Sign and record the storm water maintenance agreement.

If approved, staff can begin to write a draft PUD ordinance amendment for your review. This would also allow for any final details to be addressed prior to the Planning Commission recommendation to the Township Board. Once the PUD Ordinance is reviewed by the applicant you will be asked to make a recommendation to the Township Board.

ATTACHMENTS:                   APPLICATION  
  SITE PLAN  
  TOWNSHIP ENGINEER REPORT



17 August, 2015

Mr. Steve Peterson  
Community Planning Director  
Cascade Charter Township  
2856 Thornhills, SE  
Grand Rapids, MI 49546

RE: Lacks Corporate Center Expansion/Renovation

Dear Steve,

It is with great pleasure that we submit this application for the PUD Amendment on behalf of Lacks Enterprises, Inc. Lacks has and continues to be a great Cascade Township business and is looking forward to enhancing its current operations on Cascade Road.

The plan is to expand the current two story administration center with a one story addition (with a basement). The addition along with the existing office building will be wrapped in a fresh brick and wood façade with metal roofs. The concept is to portray a series of smaller “pavilion” elements with metal roofs.

Parking will be expanded to accommodate the addition, along with access from the west. New landscaping and berming will be added along Cascade Road as well as expanded storm water detention.

The addition includes a 9700 square foot expansion to the northeast for offices with a full basement for storage and mechanical as well as a 2000 square foot footprint “connector” to link the existing building with the addition. A new café and exterior patio is also planned.

As discussed with you in our pre-application meeting, we are planning to be on the September 14<sup>th</sup> Planning Commission agenda for an introductory session and on the October 5<sup>th</sup> agenda for a public hearing.

Thank you again for your assistance in preparation and processing of our application. We look forward to the 14<sup>th</sup> to discuss these exciting plans for Lacks as well as Cascade Township.

If you have any questions, please do not hesitate to contact us.

Sincerely yours,

Michael C. Corby FAIA  
Executive Vice-President

cc: Pat Knight – Lacks Enterprises, Inc  
Scott Vyn – Integrated Architecture  
Bill Kozak – Moore & Bruggink, Inc

**Integrated Architecture**

4090 Lake Drive Grand Rapids Michigan 49546 tel 616.574.0220 fax 616.574.0953 www.intarch.com



October 15, 2015  
Project No. G080322

Mr. Steve Peterson  
Cascade Charter Township  
2865 Thornhills Avenue, SE  
Grand Rapids, MI 49546-7192

Re: Lacks Corporate Office  
Site Plan Review

Dear Steve:

We reviewed the site plan for the Lacks Corporate Office, located at 5460 Cascade Road, prepared by Moore and Bruggink, Inc. The current site plan and the basis of this review are dated September 25, 2015. The proposed project includes a 24,745-square-foot building addition, parking lot expansion, and storm sewer improvements.

## Stormwater and Drainage

### Flood Control

The Cascade Charter Township stormwater Ordinance (SWO), Section 1.04, states the ordinance shall apply to all development that requires any permit for work which will alter the stormwater drainage characteristics of the development site. The proposed project includes additional impervious surfaces that will alter the existing drainage characteristics of the site. Therefore, the proposed improvements must comply with the requirements of the SWO.

The site is located in stormwater Management Zone A, which requires retention ponds and infiltration to the greatest extent possible as allowed by the local soil conditions. Retention basins shall be designed to store runoff from a single 100-year storm event. The SWO also requires the first 0.5-in of stormwater runoff be detained and released over a 24 hour period.

The proposed stormwater design will discharge all runoff from the roof and paved surfaces to an infiltration basin located north of the building addition, adjacent to Cascade Road. Roof drains will be tied directly to the onsite storm sewer system that discharges to the infiltration basin. The infiltration basin is sized for the 100-year storm event.

The applicant provided an infiltration test at the location of the proposed basin and the soils were found to be favorable for infiltration. The test was taken at 5-ft below existing grade at the location of the proposed basin bottom. Two soil borings were also taken at the location of the infiltration basin to a depth of 5-ft below the bottom of the proposed basin. Below the basin bottom soils were found to be sandy, favorable for infiltration. Groundwater was not encountered in the soil borings.

### Water Quality Control

The SWO requires the first 0.5 inch of stormwater runoff be detained and infiltrated where conditions permit, or released over a 24-hour period. The first 0.5-in of runoff from the proposed building addition and paved surfaces will discharge to the infiltration basin. This requirement has been satisfied.



### **Stormwater Runoff**

The applicant provided stormwater calculations to size the proposed infiltration basin. All stormwater runoff from the impervious areas of the site will be captured by the basin. Therefore, the site will not see an increase in peak flow rate of stormwater leaving the site.

### **Drainage Plan**

The applicant has submitted drawings, calculations, and additional documentation as required in the SWO Section 2.03, Drainage Plan. Please refer to the attached checklist for items and comments on each item. Please note a maintenance agreement is required before construction begins. The agreement should be submitted to the Township for review. The maintenance agreement and plan should include at a minimum, cleaning of catch basin sumps, sediment and debris removal from the infiltration basin, and landscape maintenance of the infiltration basin to maintain the design volume and ensure the system is operating as it was designed.

### **Utilities**

No new utility services are proposed for the building addition. The new building addition will tie-in to the existing building's water and sanitary sewer services.

### **Soil Erosion and Sedimentation Control**

Soil Erosion and Sedimentation Control (SESC) measures are provided on the plan drawings. The applicant has included silt fence along the limits of clearing and grading, silt sacks in catch basins, and seeding with mulch at all disturbed areas of the site. SESC falls under the review and approval of the Kent County Road Commission and a permit is required before construction can begin. The SESC measures indicated on the drawings appear appropriate given the expected work.

### **Summary**

The proposed stormwater design meets the Township SWO requirements for new developments. The applicant will need to apply for and obtain an SESC permit prior to beginning construction. We recommend approval of the site plan from an engineering standpoint.

If you have any questions or require additional information, please contact me at 616.464.3786 or [nrtorrey@ftch.com](mailto:nrtorrey@ftch.com).

Sincerely,

FISHBECK, THOMPSON, CARR & HUBER, INC.

A handwritten signature in black ink, appearing to read "N. Torrey", is positioned above the typed name.

Nathan R. Torrey, PE, CFM

jlk  
Attachment  
By email



**Cascade Charter Township**

Storm Water Ordinance, Ordinance 7 of 2002, as amended by Ordinance No. 2 of 2008, May 14, 2008

*Reviewing Engineer Comments are Italicized*

*OK - Received and Acceptable*

*NA - Not Applicable*

*NR - Not Received, Needs Follow-up, See Comments*

**Lacks Corporate Office**

**Drainage Plan Checklist**

- OK (1) Location of the development site and water bodies that will receive stormwater runoff  
*All stormwater runoff from the impervious areas of the site will be infiltrated onsite. A 100-year infiltration basin is proposed for the property.*
- OK (2) Existing and proposed topography of the development site, including the alignment and boundary of the natural drainage courses, with contours having a maximum interval of one foot (using USGS datum). The information shall be superimposed on the pertinent Kent County soil map.  
*Existing and proposed contours and spot elevations are included on the site plan.*
- OK (3) Development tributary area to each point of discharge from the development  
*The stormwater calculations submitted by the applicant included tributary area to the proposed infiltration basin.*
- OK (4) Calculations for the final peak discharge rates  
*Peak flow rates were provided for the onsite storm sewer system.*
- OK (5) Calculations for any facility or structure size and configuration  
*Calculations were provided for sizing of the infiltration basin and associated facilities.*
- OK (6) Drawing showing all proposed storm water runoff facilities with existing and final grades  
*All proposed storm water runoff facilities, including existing and final grades, are shown on the site plan drawings.*
- OK (7) The sizes and locations of upstream and downstream culverts serving the major drainage routes flowing into and out of the development site. Any significant offsite and onsite drainage outlet restrictions other than culverts should be noted on the drainage map.  
*The site plan does not indicate any major drainage routes entering the property from offsite areas.*
- OK (8) An implementation plan for construction and inspection of all stormwater runoff facilities necessary to the overall drainage plan, including a schedule of the estimated dates of completing construction of the stormwater runoff facilities shown on the plan and an identification of the proposed inspection procedures to ensure the stormwater runoff facilities are constructed in accordance with the approved drainage plan.  
*A construction schedule was provided by the applicant and is shown on the site plan.*



- OK (9) Plan to ensure the effective control of construction site stormwater runoff and sediment track-out onto roadways.  
*SESC measures are shown on the site plan and appear appropriate given the expected work. SESC falls under the review and approval of the KCRC, and a permit is needed before construction can begin.*
- OK (10) Drawings, profiles, and specifications for the construction of the stormwater runoff facilities reasonably necessary to ensure stormwater runoff will be drained, stored, or otherwise controlled in accordance with this ordinance  
*Details related to the storm sewer system are included on the site plan and are adequate to meet the requirements of the SWO.*
- NR (11) Maintenance agreement, in form and substance acceptable to the Township, for ensuring maintenance of any privately owned stormwater runoff facilities. The maintenance agreement shall include the developer's written commitment to provide routine, emergency, and long-term maintenance of the facilities and, in the event the facilities are not maintained in accordance with the approved drainage plan, the agreement shall authorize the Township to maintain any onsite stormwater runoff facility as reasonably necessary, at the developer's expense  
*Maintenance agreement was not provided and is required.*
- OK (12) Name of the engineering firm and the registered professional engineer who designed the drainage plan and will inspect final construction of the stormwater runoff facilities
- OK (13) All design information must be compatible for conversion to Grand Valley Regional Geographic Information System (REGIS)  
*This is a privately owned system and will not be uploaded to REGIS.*
- OK (14) Other information necessary for the Township to verify the drainage plan complies with the Township's design and performance standards for drains and stormwater management systems



# CASCADe CHARTER TOWNSHIP

2865 Thornhills SE Grand Rapids, Michigan 49546-7140

## PLANNING & ZONING APPLICATION

**APPLICANT:** Name: INTEGRATED ARCHITECTURE  
 Address: 4090 LAKE DR. SE  
 City & Zip Code: GRAND RAPIDS, MI 49546  
 Telephone: 616-574-0220  
 Email Address: mcorby@intarch.com / svyn@intarch.com

**OWNER: \* (If different from Applicant)**  
 Name: LACKS ENTERPRISES, INC  
 Address: 5460 CASCADE RD, SE  
 City & Zip Code: GRAND RAPIDS, MI 49546  
 Telephone: 616-949-6570  
 Email Address: p.knight@lacksenterprises.com

NATURE OF THE REQUEST: (Please check the appropriate box or boxes)

<input type="checkbox"/> Administrative Appeal	<input type="checkbox"/> Administrative Site Plan Review
<input type="checkbox"/> Deferred Parking	<input type="checkbox"/> P.U.D. – Rezoning *
<input type="checkbox"/> P.U.D. – Site Condominium *	<input type="checkbox"/> Rezoning
<input type="checkbox"/> Site Plan Review *	<input type="checkbox"/> Sign Variance
<input type="checkbox"/> Special Use Permit	<input type="checkbox"/> Subdivision Plat Review *
<input type="checkbox"/> Zoning Variance	<input type="checkbox"/> Other: <u>P.U.D. AMENDMENT</u>

*\* Requires an initial submission of 5 copies of the completed site plan*

### BRIEFLY DESCRIBE YOUR REQUEST:\*\*

ADDITION TO EXISTING OFFICE BUILDING  
SEE ATTACHED

(\*\*Use Attachments if Necessary)

**-SEE OTHER SIDE-**

LEGAL DESCRIPTION OF PROPERTY\*\*:

SEE ATTACHED

(\*\*Use Attachments if Necessary)

PERMANENT PARCEL (TAX) NUMBER: 41-19-06-276-024

ADDRESS OF PROPERTY: 5460 CASCADE RD, SE GRAND RAPIDS MI 49516

PRESENT USE OF THE PROPERTY: CORPORATE OFFICE BUILDING

NAME(S) & ADDRESS(ES) OF ALL OTHER PERSONS, CORPORATIONS, OR FIRMS HAVING A LEGAL OR EQUITABLE INTEREST IN THE PROPERTY:

Name(s)

Address(es)

N/A

N/A

SIGNATURES

I (we) the undersigned certify that the information contained on this application form and the required documents attached hereto are to the best of my (our) knowledge true and accurate. I (we) also agree to reimburse the Cascade Charter Township for all costs, including consultant costs, to review this request in a timely manner. I (we) understand that these costs may also include administrative reviews which may occur after the Township has taken action on my (our) request.

I (we) the undersigned also acknowledge that the proposed project does not violate any known property restrictions (i.e. plat restrictions, deed restrictions, covenants, etc.)

PATRICK KNIGHT

Owner - Print or Type Name  
(\*If different from Applicant)

J. Knight

Owner's Signature & Date  
(\*If different from Applicant)

MICHAEL CORBY

Applicant - Print or Type Name

[Handwritten Signature]

Applicant's Signature & Date

PLEASE ATTACH ALL REQUIRED DOCUMENTS NOTED IN THE PROCESS REVIEW SHEET - THANK YOU

Rev. 7/24/14

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**FIRE DEPARTMENT MEMORANDUM**

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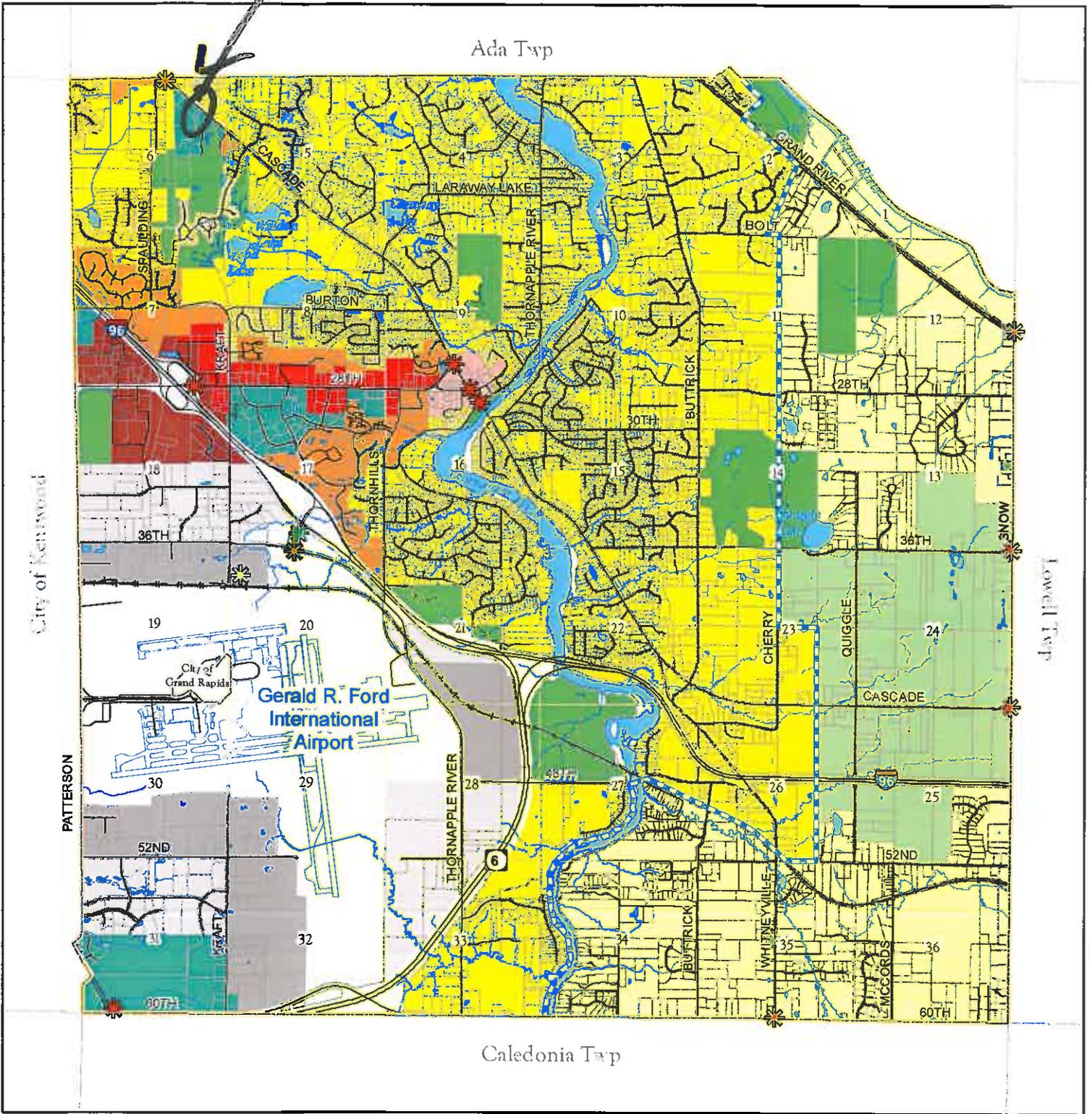
**TO:** STEVE PETERSON – COMMUNITY DEVELOPMENT DIRECTOR  
**FROM:** JOHN SIGG – FIRE CHIEF  
**SUBJECT:** SITE PLAN REVIEW FOR LACKS CORPORATE OFFICE  
**DATE:** SEPTEMBER 8, 2015  
**CC:** DOUG POOLMAN – FIRE INSPECTOR

---

Listed below are items from the site plan review:

- Fire Lanes will be determined by the Fire and Building code Officials.
- Access to the site at all times during construction.
- Hydrants and spacing will be determined by the fire code official and the City of Grand Rapids water department. On plan hydrants are difficult to find, 300 feet spacing along access roads.
- Fire Department Connection (FDC) will be a 5" Stortz fitting with a 30 degree elbow.
- Address posted and visible from the roadway.
- Supra box installed for 24 hour access by Fire Department staff in case of an emergency.
- Access will need to be for fire trucks from Galbraith to Arboretum thru the new parking lot. Appears there are parking spaces on the plan.

Ada Twp



Caledonia Twp

# Cascade Charter

## Township

Kent County, Michigan

### Map 15

### Future Land Use

#### Legend

- Gateway Feature
- Park 'n' Ride
- Rail Station
- Utility Service Area
- Farmland Preservation
- Rural Residential
- Suburban Residential
- Community Residential
- Village Commercial
- General Commercial
- Highway Commercial
- Mixed Use
- Heavy Industrial
- Light Industrial
- Community Facility / Golf Course



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planning process only. Information shown on this  
map is not guaranteed for accuracy. Williams & Works  
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A Division of

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April 22, 2009

category. The Township hopes that the highway commercial area is served by mass transit in the future.



#### **MIXED USE**

**Description and Desired Uses:** The mixed use land use is intended to provide for offices, light industrial, townhome and other types of attached residential development, and retail/commercial uses. The intent is to allow for uses in a master-planned project, giving a greater potential for walkable neighborhoods. Mixed use residential areas are especially desirable where future mass transportation can serve the area.

**Location:** The mixed use land use category is planned for the northern portion of Centennial Park, the southern portion of Meadowbrooke and along the already developed office park on Cascade Road.

**Densities:** Within the mixed use category, residential densities would be 6-8 dwelling units to the acre. Density bonuses may be available for development that incorporates certain green/eco-friendly building technologies at the time of site plan review and approval. Building heights would be the lesser of 40' or 3 stories where surrounding uses and buildings are of comparable heights; however, along Cascade Road where the mixed use area is already developed, existing building heights would remain unchanged.

#### **HEAVY INDUSTRIAL**

**Description and Desired Uses:** This land use designation is intended to provide employment for area residents, manufacture goods and provide services to meet the needs of the larger West Michigan Region. Facilities will be developed with appropriate utility and transportation connections and in harmony with the area's natural features. Industrial uses may include warehousing, manufacturing and assembly, mini-storage, contractor's offices and yards, and shipping facilities. In the vicinity of the airport, industrial land uses should be compatible with the airport and aviation requirements. The Township supports industrial uses near the airport having direct access to the airport property to facilitate greater interconnectedness, growth of transportation-related industry, and limit off-site vehicular movement/trips. Truck traffic leaving industrial land uses will be directed efficiently to regional arterials without traversing residential areas. Landscape credits, credits for energy efficient design, or other types of credits may be offered that may reduce the current front yard setback requirements, landscaping requirements, and/or lot area requirements.

## ***Cascade Road Land Uses***

### **Residential**

The land use classification along Cascade Road did not change significantly. The entire north side of Cascade Road, within the Study Area, remains classified as "Low Density Residential", which allows single family homes at a density of one (1.0) dwelling unit per acre.

Along the south side of Cascade Road, from the southern Study Area limits (Forest Shores Drive) to the eastern border of the Forest Hills Golf Club, the land remained classified as "Low Density Residential", allowing one (1.0) dwelling unit per acre.

The remaining land south of Cascade Road has been changed to the new "Medium Low Density" designation, permitting a maximum residential density of 1.5 dwelling units per acre.

The approved Forest Hills Golf Course site plan conforms to the "Medium Low Density" land use category. The Lacks Industries property, which was previously classified as "Low Density Residential", was changed to "Medium Low Density Residential". Since Lacks is an existing non-conforming use, this was more of a "housekeeping" change to have a "cleaner" land use map.

### **Office**

The entire length of Cascade Road within the Study Area has been placed into one of the residential land use classifications. However, office development will be considered along Cascade Road where it can be assured that specific site standards are met.

For office development to be considered, an applicant would have to proceed through the PUD rezoning process. This will assure that the

proposed project conforms with the office design standards and is compatible with adjacent land uses. The following section provides a description and explanation of each of the adopted office development standards.

### ***Office development standards***

For the standards described below, the rationale supporting them was derived, in part, from the results of the citizen opinion surveys. Most respondents expressed that office development may be allowed along Cascade road as long as it is small in scale and mass and in keeping with the residential character of the area. Other factors that influenced these standards included the location of high voltage transmission towers, existing manufacturing and office facilities, topography, soils, and traffic volumes on Cascade Road. The following standards have been adopted in an attempt to control the location, appearance and style of office development.

#### ***♦ 2 Acre Minimum Lot Size***

This requirement stems from the Zoning Ordinance which requires that a parcel of property be at least two acres in size before it is eligible to be rezoned to a Planned Unit Development (PUD). Since any proposed office buildings must proceed through the PUD rezoning process, it is appropriate to require the same minimum lot size. In addition, a parcel of this size will allow for a smaller scale office building while providing adequate room for the landscaping, parking, and driveway access.

#### ***♦ Maximum Building Size of 10,000 square feet.***

The requirement for a maximum building size of 10,000 square feet is in response to the preference of township residents to see smaller scale office buildings along this portion of

Cascade Road. The maximum building size includes all areas within the walls. For example, a two story office building with 5,000 square feet on each floor would be at its maximum square foot allotment. A building of this size, in conjunction with the other design standards, would retain the residential character in the area.

◆ *Sloped or pitched roof*

Any new office building should be constructed with an actual sloped or pitched roof. The use of mansard or flat roofs is discouraged. This will create the appearance of a residential structure while discouraging the look of larger, more massive office building usually found in an office park setting. The exact slope or pitch of the roof will be considered during the PUD rezoning process.

◆ *Owner-occupy at least 50% of Building*

The requirement that the owner occupy at least 50% of the building is intended to discourage the development of speculative office buildings that could potentially sit vacant for long periods of time. With the owner utilizing at least half of the leasable area for offices, the remaining portion (which would be 5,000 square feet at most), could be available for absorption in the office leasing market.

◆ *Parking Behind Front Yard Setback*

In order to prohibit the construction of parking areas between Cascade Road and any proposed office building, parking within the front yard setback is discouraged. All parking areas should be located in either the side or rear yards of the parcels. When viewed from the road, it will appear as a residential setting, as opposed to a commercial strip with large parking lots in the front yards.

◆ *Maximum Building Height of 25 feet*

This standard stems from the requirements of the B1, Village Business zoning district where the maximum building height is 25 feet. It allows new office buildings to construct two floors if desired, but maintains a smaller structure that can be designed to be compatible with adjacent land uses.

◆ *Increased landscaping.*

Landscaping will be reviewed on a case by case basis for any new office development along Cascade Road. Factors that will be considered when determining the required landscaping will be topography, neighboring land uses, distance from the road, and existing vegetation. All landscaping will be performance based: more plantings will be required in cases where it is needed the most (such as adjacent to a residence), and less dense landscaping will be required when an adjacent use is more compatible (such as a neighboring office building). Regardless, the landscaping will be addressed in detail during the PUD rezoning process.

◆ *Low profile, monument signs with no lighting.*

Freestanding signs are intended to be constructed in a low profile, monument style. This will prevent the installation of larger pole signs that are often found in commercialized areas. It will also prevent the visual clutter produced by numerous signs of various heights and sizes. In addition, signs shall not be lighted in any manner, assuring that the corridor will not have the appearance of a commercial strip once the sun sets.

♦ *Controlled access to site*

This standard is intended to take several issues into consideration when planning access to a site. It is desired, where possible, that driveways be shared between property owners. The standard is not, however, intended to encourage the development of frontage roads along Cascade Road. The spacing of driveways along Cascade Road should be maintained at adequate distances from one another. When conditions warrant, the use of directed turning movements (e.g. right-turn in, right-turn out only) will be encouraged for driveways. These measures are intended to provide a safer means of ingress and egress to individual properties along a road with a 55 mile an hour speed limit in place.

### **Conclusion**

As the preceding sections of this report demonstrate, countless hours of research, analysis, public input, and consideration went into preparing the Cascade Road / Spaulding Avenue Planning District Study. Although the amendments to the General Development Plan resulting from this process seem minimal, they are reflective of trends occurring within the Study Area, and township-wide. More importantly, this planning process allowed the Planning Commission and Planning Department the opportunity to focus on the Study Area and revisit decisions regarding developments that were previously made. Decisions will now be made with more confidence when an applicant requests a development approval on property located in this area of the township.

# CASCADE CHARTER TOWNSHIP

## Ordinance # 9 of 1999

### AN ORDINANCE TO AMEND THE CASCADE CHARTER TOWNSHIP ZONING ORDINANCE AND ZONING MAP TO ESTABLISH THE GOLF VIEW OFFICE PARK PLANNED UNIT DEVELOPMENT PROJECT.

#### **Cascade Charter Township Ordains:**

#### **Section I. An Amendment to The Cascade Charter Township Zoning Ordinance.**

The application received from Sports Plex Properties of Cascade or their assigns (hereinafter referred to as the "Developer"), for Planned Unit Development designation for the proposed Golf View Office Park Development Project (herein after referred to as the "Project") was recommended by the Cascade Charter Township Planning Commission for approval on September 7, 1999. The Project is recommended for rezoning from an existing Health Plex PUD, Planned Unit Development, to PUD, Planned Unit Development permitting an office complex. This action requires an amendment to the Cascade Charter Township Zoning Ordinance and Zoning Map to incorporate the Planning Commission's recommendation and the Cascade Charter Township Board of Trustees' action on September 30, 1999.

#### **Section II. Legal Description.**

The legal description of the Project is as follows:

Lots 17 through 32, inclusive, Cascade Gardens (Liber 35 of Plats, Page 17) and part of the Northeast one-quarter of Section 6, Town 6 North, Range 10 West, Cascade Township, Kent County, Michigan, and all being described as: COMMENCING at the East one-quarter corner of said Section 6; thence North 88 degrees 31'00" West 1322.96 feet along the East - West one-quarter line to the Southeast corner of the West one-half of the Northeast one-quarter of said section; thence North 88 degrees 31'00" West 500.00 feet along the East - West one-quarter line to the TRUE PLACE OF BEGINNING; thence North 00 degrees 25'44" West 2093.28 feet along a line which goes through a point being 101.65 feet Northwesterly (as measured along a line being parallel with and 70.00 feet Southwesterly of the centerline of Cascade Road) of the West line of the East 500.00 feet of the West one-half of the Northeast one-quarter of said section; thence South 47 degrees 00'53" East 129.84 feet along a line being parallel with and 50.00 feet Southwesterly of the centerline of Cascade Road; thence Southeasterly 466.35 feet parallel with said centerline on a 17238.73 foot radius curve to the left, the chord of which bears South 47 degrees 47'23" East 466.34 feet; thence South 48 degrees 33'53" East 728.99 feet parallel with said centerline; thence Southeasterly 109.15 feet along the Northeasterly line of Lot 17 of Cascade Gardens on a 105.69 foot radius curve to the right, the chord of which bears South 18 degrees 58'48" East 104.36 feet; thence South 10 degrees 36'16" West 986.00 feet along the West right of way line of Galbraith Avenue; thence Southerly 178.04 feet along said right of way line on a 1265.02 foot radius curve to the left, the chord of which bears South 06 degrees 34'21" West 177.89 feet to the

Southeast corner of Lot 32 of said plat; thence South 85 degrees 43'51" East 44.90 feet along the South line of Lot 32 extended Easterly; thence South 11 degrees 01'00" West 170.38 feet; thence North 88 degrees 31'00" West 380.00 feet parallel with and 185.00 feet South of the East - West one-quarter line; thence South 01 degrees 16'48" West 315.84 feet along the West line of the East 60.00 feet of the West one-half of the Southeast one-quarter of said section; thence North 88 degrees 22'52" West 440.00 feet along the North line of the South 824.53 feet of the North - West one-quarter of the Southeast one-quarter of said section; thence North 01 degrees 16'48" East 499.80 feet to the place of beginning. (41.7529 acres excluding right of way)

### **Section III. General Provisions.**

The following provisions shall hereby apply to the Project, in addition to those Provisions outlined in Chapter 16 of the Cascade Charter Township Zoning Ordinance (Ordinance No. 11 of 1988, as amended).

### **Section IV. Purpose.**

The Project occupies approximately 42 acres of land that presently contains an office building, manufacturing facility, wetlands, and vacant property. The Project is proposed to be developed into an office complex. The Planned Unit Development technique has been chosen by the Developer to provide more control over the Project's aesthetics and appearance. This development technique provides the Developer with the ability to develop the Project in a manner to meet market expectations and develop the project in a unified manner.

The regulations contained herein are established to define the procedures necessary to insure high quality development in the Project. Additionally, they are designed to achieve integration of this development with adjacent land uses.

### **Section V. Approval Limitations.**

- A. The provisions of this Ordinance are not intended as a substitute for the Cascade Charter Township Zoning Ordinance and the General Development Plan, nor do they in any way relieve the Developer from obtaining all approvals and permits required by the township, except as otherwise expressly provided herein. In the event that a development issue or site plan element is not addressed by this Ordinance, the specifications and requirements of the Cascade Charter Township Zoning Ordinance shall be enforced.
- B. Except as otherwise provided herein, the Developer and his assigns must meet all applicable provisions and regulations of Cascade Charter Township, as well as federal and state law, and must obtain all necessary approvals from state and county governmental agencies that are required for operation or use.
- C. This PUD approval is expressly contingent upon all conditions of approval herein remaining fully effective and valid. If any condition imposed herein is determined to be illegal or contrary to law as a result of a successful legal challenge by the Developer or its assigns, or any other party, the Township reserves the right to review the entire

Project under the PUD provisions of the Cascade Charter Township Zoning Ordinance, and further, to withdraw its approval of this PUD if it finds that, absent the effect of any condition imposed herein, the PUD no longer meets the standards for PUD approval contained in the Zoning Ordinance.

- D. All conditions contained herein shall be binding upon the Developer, as well as its successors, tenants and assigns. The conditions may be modified or amended only pursuant to a formal amendment of the PUD approval and ordinance amendment.
- E. This approval document shall be recorded with the Kent County Register of Deeds by the Developer prior to construction occurring on site and shall run with and bind the lands involved. Copies of this recorded document shall be supplied by the Developer to the Cascade Charter Township Clerk.
- F. Failure to comply with the site plan or any condition of approval herein shall be deemed a violation of the Cascade Charter Township Zoning Ordinance.

**Section VI. Permitted Uses.**

The permitted uses for the Golf View Office Park PUD do not include any retail sales operations, the following uses are allowed:

**EXISTING**

- A. One (1) 20,000 square foot corporate office building

**PHASE 1**

- B. The renovation of the existing Lack's manufacturing and warehousing facility will be broken down into three (3) multi-use office buildings, each building is separated by an open atrium. The maximum square footage of all three buildings is 127,000 square feet. Uses permitted within this building shall be limited to those listed below:

1. Computer design and service business
2. Health/Sports Club
3. Professional Office
4. Church
5. Executive and administrative offices, data processing centers and business offices such as real estate, insurance, and non-profit organizations.
6. The amount of square footage devoted to office uses shall be allowed to a maximum of 92,000 square feet. The total square footage of the building will not exceed 127,000 square feet. A minimum of 35,000 square feet shall be devoted to the Health/Sports Club.

**PHASE 2**

- C. One (1) professional office building containing a maximum of 60,000 square feet, labeled building "D" on the approved site plan. This building may be developed originally as one 40,000 square foot office, with a maximum addition in the future of 20,000 square feet. The building is intended to be used as an office facility for an engineering firm.

### **PHASE 3**

- D. Two (2) office buildings containing a maximum of 10,000 square feet each. These are buildings labeled "A" and "B" on the approved site plan and are subject to the design requirements of the Cascade Road Spaulding Avenue Corridor Study.

### **PHASE 4**

- A. Two (2) professional office buildings containing a maximum of 30,000 square feet each located toward the rear of the property and labeled buildings "E" and "F" on the approved site plan. These buildings are intended to be used for the future development of the same engineering firm.

### **PHASE 5**

- B. One (1) office building containing a maximum of 10,000 square feet. This building is labeled "C" on the approved site plan and is subject to the design requirements of the Cascade Road Spaulding Avenue Corridor Study.

### **Section VII. Master Development Plan - Phasing.**

The project shall conform in as much as reasonably possible to the master development plan approved by the Township Board and signed by the Township Supervisor on September 30, 1999. The Developer will develop the project in five (5) separate and distinct phases, and will be required to submit site plans for each phase, building, or site improvement. This includes the plans for Phase 1. This will also allow the Township to ensure that only those areas needed to be disturbed for each phase, are the areas planned to be disturbed. The Planning Commission shall review and approve all building or site improvement plans prior to the construction of each phase to insure consistency with the master development plan.

All phases of the Project shall comply with the Permitted Uses listed in Section VI and the Specific Development Regulations in Section VIII of this Ordinance. Site plan approval of each phase, building, or site improvement shall only be granted in accordance with Chapters 16 and 21 of the Zoning Ordinance, as may be amended.

Each phase shall be considered complete with the issuance of the required occupancy permit granted by the Township. Phase 1, 2 and 3 can occur concurrently and must be completed in entirety prior to the commencement of any site work or construction of Phase 4 and 5.

### **Section VIII. Specific Development Regulations.**

The Project shall be developed in accordance with the site plan approved and signed by the Township. The site plan shall indicate where each building will be located and provide appropriate measurements demonstrating compliance with this ordinance. Engineering plans and documents relating to utilities, topography, drainage, and the survey of the Project shall be reviewed and approved by the Township Engineer. Approval of these documents shall be based upon their meeting recognized, acceptable engineering standards and practices. No alterations, expansions or additions may take

place to the Project without an amendment to this Ordinance, unless authorized otherwise herein.

**A. Design Guidelines, Requirements and Limitations.**

With the exceptions listed below, all of the requirements of the Cascade Township Zoning Ordinance, as may be amended, must be complied with for site plan review for any new construction within the Project. Landscaping shall be provided within each Phase consistent with the approved landscape plans for each site as their individual site plans are considered for approval.

- **Phase 1 (existing Lack’s manufacturing building)**
  - a. Maximum Building Square Footage - 127,000 square feet-
    - 92,000 square feet - office
    - 35,000 sports related
  - b. Maximum Building Height - 45 feet
  - c. Parking - The total amount of parking for Phase 1 shall be a maximum of 496 parking spaces.
  - d. Setback Requirements – No part of the building shall extend closer to the lot line than currently exists.
  
- **Phase 2 (One Building, marked Building “D” on the approved site plan)**
  - a. Maximum Building Square footage – 60,000 square feet
  - b. Maximum Building Height – 32 feet
  - c. Parking – The total amount of parking for Phase 2 shall be a maximum of 231 parking spaces.
  - d. The buildings must be constructed of an actual sloped or pitched roof on all sides of the building.
  - e. The material of the roof to be considered at the time of site plan review.
  - f. No access directly to Cascade Road, access to come from the one and only curb cut on Cascade Road for the development, and the one and only curb cut on Galbraith.
  
- **Phase 3 (Two Buildings, marked Buildings “A” and “B” on the approved site plan)**
  - a. Maximum Building Square footage – 20,000 square feet, with a maximum building size of 10,000 square feet for each building.
  - b. Maximum Building Height – 25 feet
  - c. Parking – The total amount of parking for Phase 3 shall be a maximum of 82 parking spaces. Due to the topography near buildings “A” and “B” parking to be allowed in the front yard provided it is well screened from Cascade Road. This will be assured during site plan review. The berm along Cascade Road to remain.
  - d. The buildings must be constructed of an actual sloped or pitched roof on all sides of the building.
  - e. The material of the roof to be considered at the time of site plan review.

- f. No access directly to Cascade Road, access to come from the one and only curb cut on Cascade Road for the development, and the one and only curb cut on Galbraith.
  - g. The buildings must be at least 50% owner occupied.
  - h. Increased landscaping where necessary.
- **Phase 4 (Two Buildings, marked “E” and “F” on the approved site plan)**
    - a. Maximum Building Square footage – 60,000 square feet
      - Two 30,000 square foot buildings
    - b. Maximum Building Height – 32 feet
    - c. Parking – The total amount of parking for Phase 2 shall be a maximum of 232 parking spaces
    - d. The buildings must be constructed of an actual sloped or pitched roof on all sides of the building.
    - e. The material of the roof to be considered at the time of site plan review.
    - f. No access directly to Cascade Road, access to come from the one and only curb cut on Cascade Road for the development, and the one and only curb cut on Galbraith.
- **Phase 5 (One Building, marked “C” on the approved site plan)**
    - a. Maximum Building Square footage – 10,000 square feet.
    - b. Maximum Building Height – 25 feet
    - c. Parking – The total amount of parking for Phase 5 shall be a maximum of 42 parking spaces. Parking to be located as shown on the approved site plan. This will be assured during site plan review.
    - d. The buildings must be constructed of an actual sloped or pitched roof on all sides of the building.
    - e. The material of the roof to be considered at the time of site plan review.
    - f. No access directly to Cascade Road, access to come from the one and only curb cut on Cascade Road for the development, and the one and only curb cut on Galbraith.
    - g. The buildings must be at least 50% owner occupied.
    - h. Increased landscaping where necessary.

**Section IX. Setbacks.**

The setbacks for each phase and building shall comply with the approved PUD site plan dated September 30, 1999, in as much as possible. This will be assured when each phase submits for site plan approval.

**Section X. Signs.** The following signs shall be permitted for Phase 1, 2, 3, 4 and 5:

1. One (1) freestanding ground mounted development identification sign along Cascade Road. Such sign shall contain no more than 50 square feet and shall not be lighted in any manner. Subject to the provisions of the Cascade Charter Township Sign Ordinance (Ordinance 12 of 1988, as amended).

2. One (1) freestanding ground mounted development identification sign along Galbraith Avenue. Such sign shall contain no more than 50 square feet and shall not be lighted in any manner. Subject to the provisions of the Cascade Charter Township Sign Ordinance (Ordinance 12 of 1988, as amended).
3. One (1) wall sign or marquee per building, not to exceed fifty (50) square feet in total sign area. Or, one (1) awning/canopy sign per building, not to exceed thirty-two (32) square feet in total sign area. In the event the building has multiple tenants, each tenant space will be allowed a sign area equal to one square foot for each linear foot of building frontage that each respective tenant occupies, not to exceed a sign length of more than two-thirds the subject frontage and a height of 24 inches.
4. The non-conforming Billboard sign located on the property must be removed before the start of phase four or five.
5. One directional sign shall be allowed for each building in the project. The total size of each directional sign shall be no larger than 10 square feet. The placement for the signs shall be regulated by the Sign Ordinance for directional signs and shall be placed to avoid seeing the directional signs from Cascade Road.

**Section XI. Temporary Buildings.**

No structure of a temporary nature; trailer, tent or construction shack shall be constructed, placed or maintained within the Project except accessory to and during construction/ renovation of buildings or infrastructure improvements.

**Section XII. Land Splits**

The entire premises shall be under the control of one owner. Should the developer request smaller lots, permission to perform a Land Division must be granted by the Planning Department. The Planning Department will review the proposed land division under the criteria of the Land Division Act and the Cascade Charter Township Zoning Ordinance. In no case shall any lot be smaller than 2 Acres in size.

**Section XIII. Utilities .**

A. Public Water and Sanitary Sewer - All buildings within the Project shall be served by public sanitary sewer and water at the developer's expense. No building permits will be issued for any construction within the Project until final approval of the public utility system is approved by the City of Grand Rapids and Cascade Township. This does not preclude the applicant from starting on Phase 1. However, no Occupancy permit will be granted for Phase 1 until the utilities are approved.

B. Stormwater Drainage - All proposed stormwater drainage facilities shall be reviewed and approved by the Township Engineer and the Kent County Drain Commissioner's office prior to the development of the Project. The Developer shall provide the Township Planning Department with copies of all correspondence and permits

received from the Kent County Drain Commissioner and Michigan Department of Environmental Quality regarding stormwater disposal and wetland issues.

- C. The Developer shall provide all necessary easements within the Project for telephone, electricity, gas and cable television to the appropriate utility provider without cost. Said easements shall be recorded with the Kent County Register of Deeds and provided to each utility provider for their records.

**Section XIV. Lighting**

The required lighting section of the Zoning Ordinance as amended shall regulate lighting for the entire project. Furthermore, the total height of individual light poles shall be limited to a maximum of 20 feet high. The use of wall pack and/or unshielded lights is discouraged unless in areas not viewed by the public or passerby.

**Section XV. Soil Erosion Control Requirements.**

Prior to each phase of construction, the Developer shall submit a soil erosion control plan showing all temporary and permanent soil erosion control measures to be taken before, during, and after construction on the Project. This plan shall be reviewed and approved by the Township Engineer prior to commencing any building on the site.

**Section XVI. Performance Guarantee.**

To insure compliance with this Ordinance and any conditions herein, Cascade Township may require reasonable performance guarantees, as authorized under the Township Rural Zoning Enabling Act to insure completion of improvements such as, but not limited to, landscaping, drainage, lighting, roads, and utilities. The Township Board, Engineer, or Planning Department may require such guarantees at any time they deem necessary to insure completion of the improvements.

**Section XVII. Reimbursement of Review Fees.**

The Developer shall re-imburse the Township for all fees associated with the review of the Project. These fees may include, but not be limited to, legal, engineering, publishing, and planning review fees.

**Section XVIII. Consistency With Planned Unit Development (PUD) Standards.**

The rezoning to Planned Unit Development will result in a recognizable benefit to the ultimate users of the Project and to the community. The conversion of a manufacturing building to a office complex is viewed as a more compatible use to adjacent residential and recreational land uses.

In relation to the underlying zoning (R1, Residential and PUD, Planned Unit Development) the Township finds the Project will not result in a material increase in the need for public services. Utility extensions and construction will be the responsibility of the Developer and will not place a material burden upon the subject property or the surrounding properties. The Project is not anticipated to cause undo impact to the stormwater drainage of the surrounding area. All stormwater and soil erosion control plans have been approved by the Township Engineer and the appropriate County and State agencies. All stormwater created by this development will be maintained on site.

The Project has been determined by the Township to be compatible with the General Development Plan of the Township and with the spirit and intent of the Planned Unit Development Chapter of the Zoning Ordinance. The Project is also consistent with the standards recommended in the Cascade Road Spaulding Avenue Corridor Study.

The Township finds the Project will not result in an unreasonable negative economic impact upon surrounding properties.

The Township finds the Project to have more wetlands, green areas, and usable open space than would typically be required by the Township Zoning Ordinance.

Finally, the Township recognizes the Project will be under single ownership or control. The Township recognizes that the Developer or its assigns will retain ownership and control of the project until some of the buildings may be sold to other parties.

**Section XIX. Effective Date.**

This Ordinance shall become effective upon publication of the ordinance, or a summary thereof, in The Grand Rapids Press, a newspaper of general circulation within Cascade Charter Township. All prior Planned Unit Development ordinances that were previously approved for this property shall become null and void.

The foregoing Ordinance was offered by Board Member Timmons, supported by Board Member Kleinheksel. The roll call vote being as follows:

YEAS: Timmons, Kleinheksel, Goodyke, and Julien  
NAYS: Johnson, Carpenter, and Parrish  
ABSENT: None

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Marlene Kleinheksel  
Cascade Charter Township Clerk

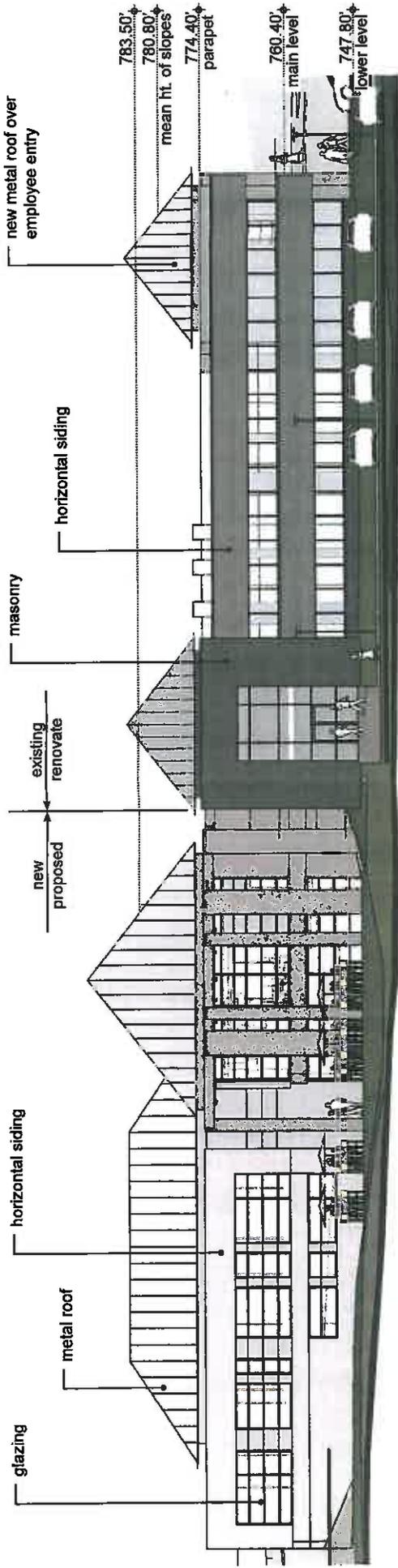
**CERTIFICATION**

I hereby certify the foregoing to be a true copy of an Ordinance adopted at a Regular Meeting of the Cascade Charter Township Board on the 30th day of September, 1999.

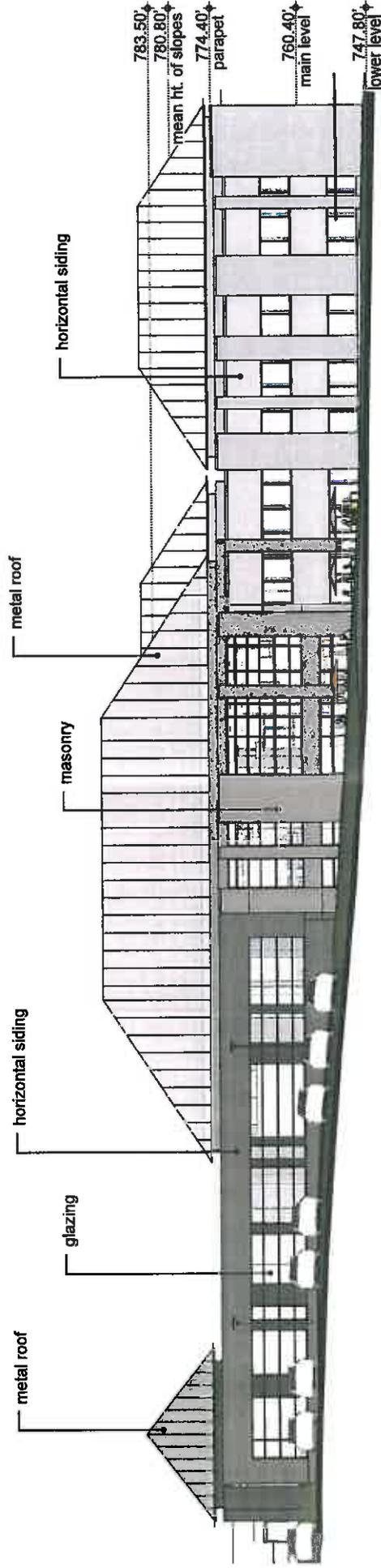
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Marlene Kleinheksel  
Cascade Charter Township Clerk

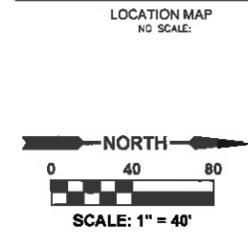
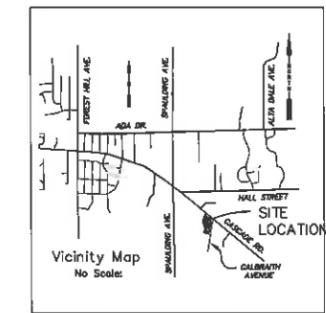
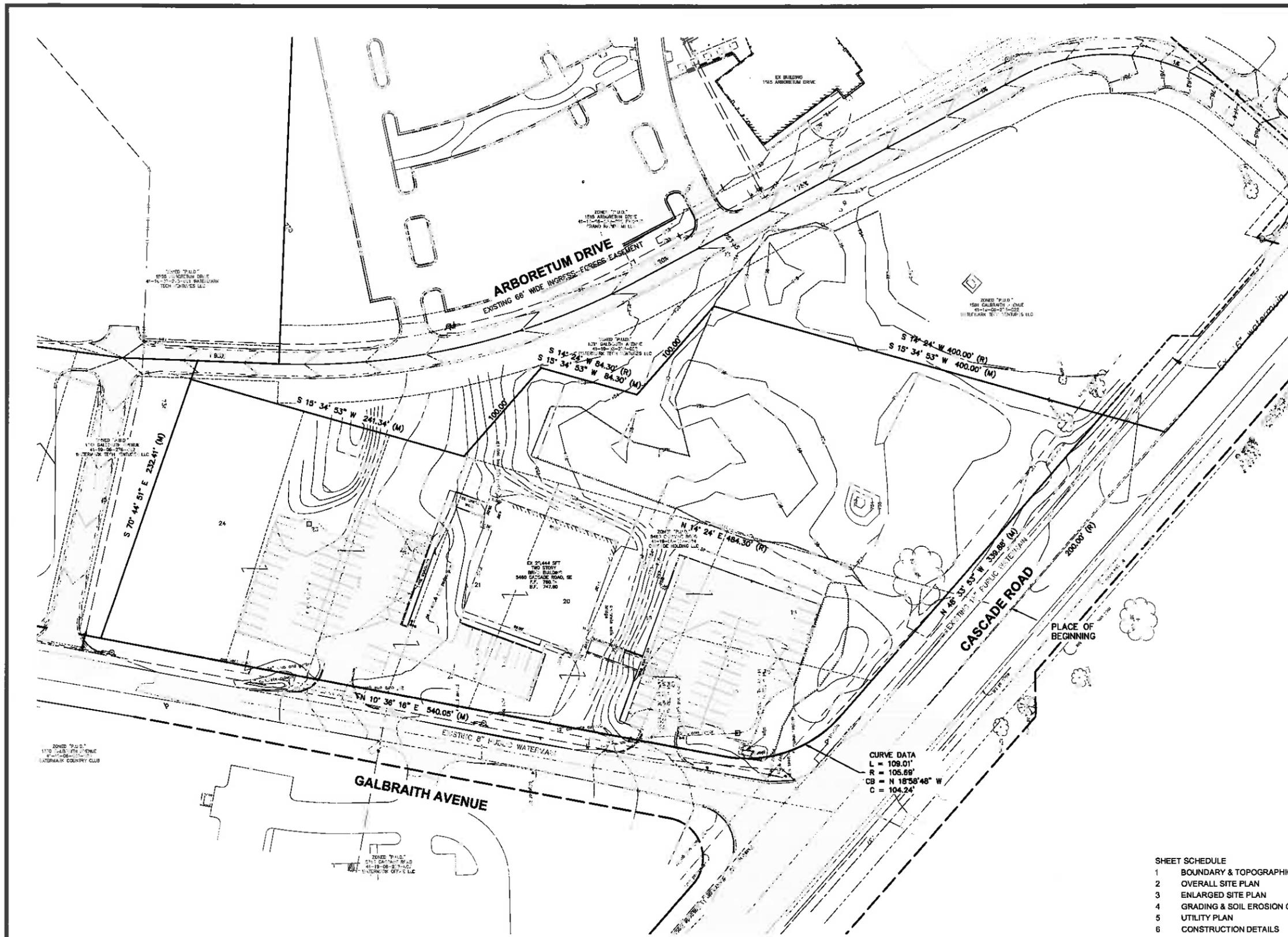




South Elevation



West Elevation



**PROPERTY DESCRIPTION**

PART OF THE NORTHEAST ONE-QUARTER, SECTION 6, TOWN 6 NORTH, RANGE 10 WEST, CASCADE TOWNSHIP, KENT COUNTY, MICHIGAN, COMMENCING AT THE INTERSECTION OF THE WESTERLY LINE OF CASCADE GARDENS EXTENDED NORTH 14° 24' EAST AND THE CENTERLINE OF CASCADE ROAD; THENCE NORTHWESTERLY ALONG SAID CENTERLINE 200.0 FEET; THENCE SOUTH 14° 24' WEST PARALLEL WITH THE WESTERLY LINE OF SAID PLAT 400.0 FEET; THENCE SOUTHEASTERLY PARALLEL WITH SAID CENTERLINE 100.0 FEET; THENCE SOUTH 14° 24' WEST PARALLEL WITH THE WESTERLY LINE OF SAID PLAT 84.30 FEET; THENCE SOUTHEASTERLY PARALLEL WITH SAID CENTERLINE 100.0 FEET TO THE WESTERLY LINE OF SAID PLAT; THENCE NORTH 14° 24' EAST ALONG SAID WESTERLY LINE 484.30 FEET TO THE PLACE OF BEGINNING.

ALSO, LOTS 17 THROUGH 24 INCLUSIVE, CASCADE GARDENS, PART OF THE NORTHEAST ONE QUARTER, SECTION 6, TOWN 6 NORTH, RANGE 10 WEST, CASCADE TOWNSHIP, KENT COUNTY, MICHIGAN,

198,102.3 SFT EXCL. RC#  
4.55 ACRES EXCL. ROW

**CURVE DATA**  
 L = 109.01'  
 R = 105.68'  
 CB = N 18°58'48" W  
 C = 104.24'

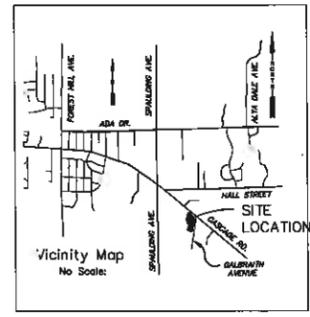
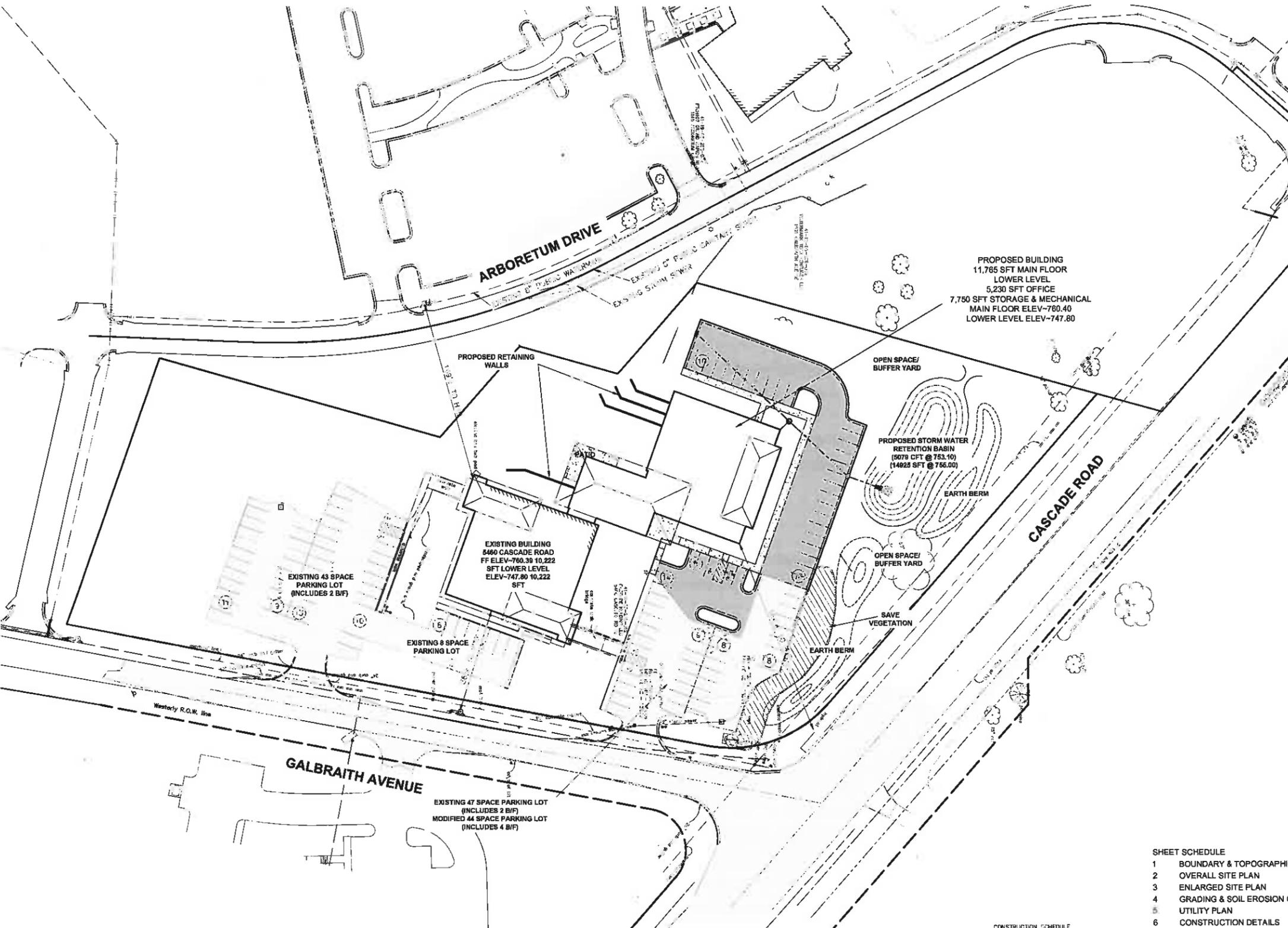
- SHEET SCHEDULE**
- 1 BOUNDARY & TOPOGRAPHIC SURVEY
  - 2 OVERALL SITE PLAN
  - 3 ENLARGED SITE PLAN
  - 4 GRADING & SOIL EROSION CONTROL
  - 5 UTILITY PLAN
  - 6 CONSTRUCTION DETAILS

PREPARED FOR:  
 LACKS ENTERPRISES, INCORPORATED  
 5460 CASCADE ROAD, SE  
 GRAND RAPIDS, MI 49504  
 (616) 948-8870

PLAN REVISIONS	<b>SURVEY PLAN</b>		FIELD SURVEY / DATE:
	FOR <b>5460 CASCADE ROAD</b> CASCADE TOWNSHIP, KENT COUNTY, MICHIGAN		M: 8
	<b>MOORE &amp; BRUGGINK, INC.</b> Consulting Engineers 2020 Moore Avenue N.W. Grand Rapids, Michigan 49505-6298 Phone: (616) 363-9801 Web: www.mbc.com		DESIGNED BY: WJK
			DESIGN DRAWN BY: FEF
			CHECKED BY: WJK
			PLAN DATE: 09-25-15
			PROJECT NO.: 020102.2
			SHEET NUMBER
			<b>1 OF 6</b>



Utility locations are approximate only. Please contact "Hire Dig" three working days prior to the start of construction for exact locations. (1-800-482-7171)



**PROPERTY DESCRIPTION**  
 PART OF THE NORTHEAST ONE-QUARTER, SECTION 5, TOWN 5 NORTH, RANGE 10 WEST, CASCADE TOWNSHIP, KENT COUNTY, MICHIGAN, COMMENCING AT THE INTERSECTION OF THE WESTERLY LINE OF CASCADE GARDENS EXTENDED NORTH 14' 24" EAST AND THE CENTERLINE OF CASCADE ROAD; THENCE NORTHEASTERLY ALONG SAID CENTERLINE 200.0 FEET; THENCE SOUTH 14' 24" WEST PARALLEL WITH THE WESTERLY LINE OF SAID PLAT 400.0 FEET; THENCE SOUTHEASTERLY PARALLEL WITH SAID CENTERLINE 100.0 FEET; THENCE SOUTH 14' 24" WEST PARALLEL WITH THE WESTERLY LINE OF SAID PLAT 84.30 FEET; THENCE SOUTHEASTERLY PARALLEL WITH SAID CENTERLINE 100.0 FEET TO THE WESTERLY LINE OF SAID PLAT; THENCE NORTH 14' 24" EAST ALONG SAID WESTERLY LINE 484.30 FEET TO THE PLACE OF BEGINNING.

ALSO, LOTS 17 THROUGH 24 INCLUSIVE, CASCADE GARDENS, PART OF THE NORTHEAST ONE QUARTER, SECTION 5, TOWN 5 NORTH, RANGE 10 WEST, CASCADE TOWNSHIP, KENT COUNTY, MICHIGAN,

198,192.3 SFT EXCL ROW  
 4.55 ACRES EXCL ROW

**SITE DATA:**  
 EXISTING BUILDING: 20,444 SFT  
 EXISTING PARKING: 98 SPACES (INCL. 4 BIF)  
 PROPOSED BLDG ADDITION: 24,745 SFT  
 TOTAL ENLARGED BLDG: 44,189 SFT  
 (16,995 SFT OFFICE)  
 (7,750 SFT STORAGE/MECH)

**PARKING REQUIREMENTS:**  
 GENERAL OFFICE: 3 SPACES/1000 SFT  
 EX BLDG: 20444 SFT/1000 = 20.4 X 3 = 61 SPACES  
 PROPOSED ADDITION: 11765 + 5230 = 16995 SFT/1000 = 17 X 3 = 51 SPACES  
 TOTAL PARKING REQUIRED: 112 SPACES  
 TOTAL PARKING PROVIDED: 121 SPACES

**NOTE:**  
 THE PROPOSED BUILDING ADDITION SHALL HAVE PUBLIC SANITARY SEWER AND WATER SERVICE FROM THE EXISTING BUILDING CONNECTIONS.

ALL SURFACE IMPROVEMENTS ON THIS PROPERTY SHALL DRAIN TO THE PROPOSED STORM WATER RETENTION BASIN.

- PROPOSED BITUMINOUS PAVEMENT
- PROPOSED CONCRETE SURFACE
- PROPOSED CONCRETE CURB & GUTTER

- SHEET SCHEDULE**
- 1 BOUNDARY & TOPOGRAPHIC SURVEY
  - 2 OVERALL SITE PLAN
  - 3 ENLARGED SITE PLAN
  - 4 GRADING & SOIL EROSION CONTROL
  - 5 UTILITY PLAN
  - 6 CONSTRUCTION DETAILS

CONSTRUCTION SCHEDULE

ITEM	S	O	N	D	J	F	M	A	M	J	J	A
TEMP. EROSION CONTROL												
TOPSOIL STRIPPING												
SITE GRADING												
SITE UTILITIES												
DETENTION POND												
BUILDING CONSTRUCTION												
PERM. EROSION CONTROL												
LANDSCAPING												
PAVING												
FINAL TEMP. EROSION CONTROL												

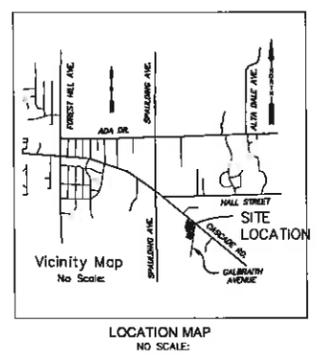
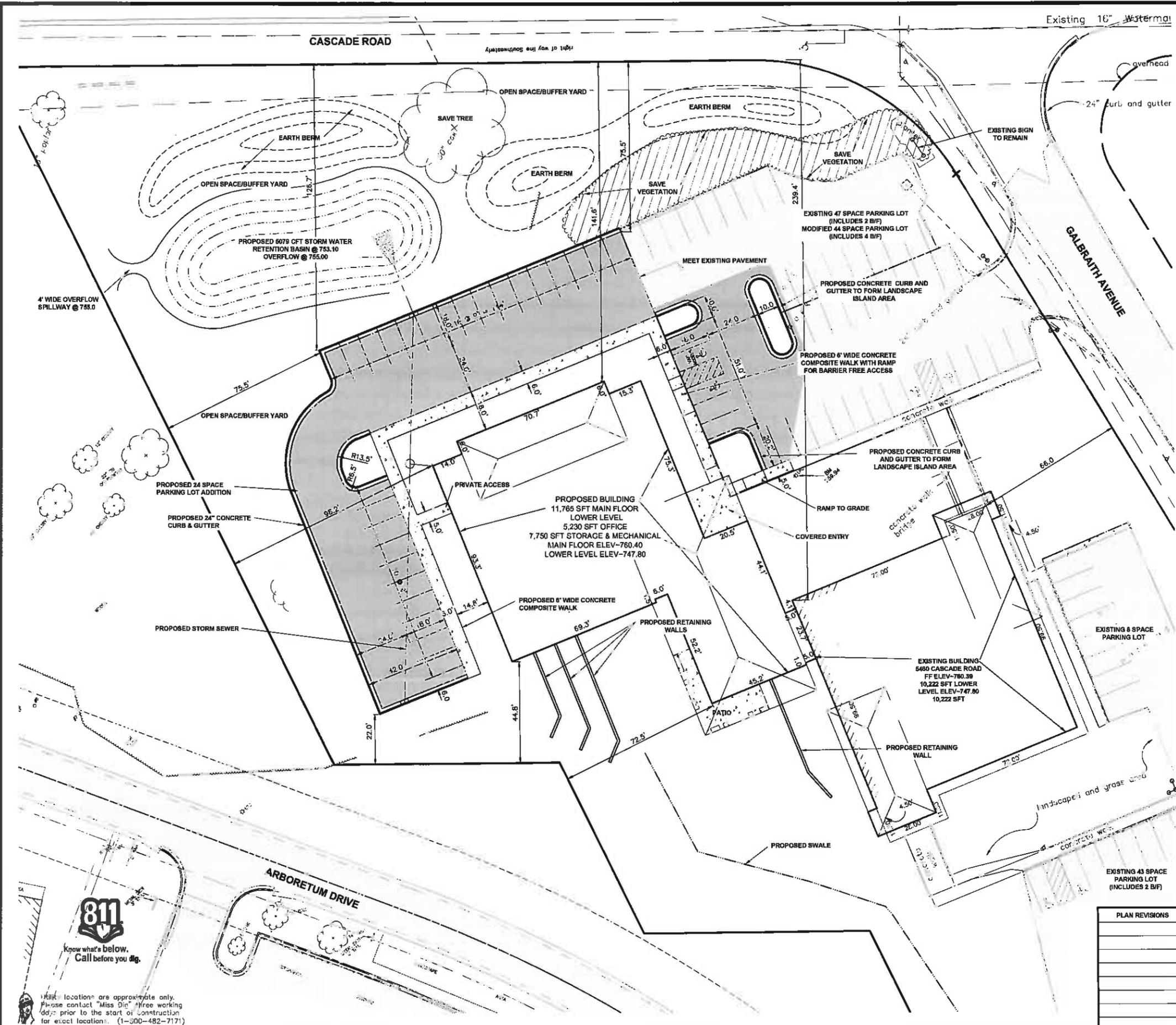
PREPARED FOR:  
 LACKS ENTERPRISES, INCORPORATED  
 6400 CASCADE ROAD, SE  
 GRAND RAPIDS, MI 49506  
 (616) 948-4870

PLAN REVISIONS	<b>OVERALL SITE PLAN</b>		FIELD SURVEY DATE: M:8
	FOR <b>5460 CASCADE ROAD</b>		DESIGNED BY: WGK
	CASCADE TOWNSHIP, KENT COUNTY, MICHIGAN		DESIGN DRAWN BY: FEF
	<b>MOORE &amp; BRUGGINK, INC.</b>		CHECKED BY: WGK
	Consulting Engineers		PLAN DATE: 09-25-15
	2020 Monroe Avenue N.W.		PROJECT NO.: 1520106.2
	Grand Rapids, Michigan 49505-6298		SHEET NUMBER
	Phone: (616) 363-9801 Web: www.mbcc.com		<b>2 OF 6</b>



Know what's below.  
 Call before you dig.

Utility locations are approximate only.  
 Please contact "Mira Dig" three working days prior to the start of construction for exact locations. (1-800-482-7171)



- SITE PLAN GENERAL NOTES:**
1. THE CONTRACTOR SHALL OBTAIN ALL PERMITS AND SURETY AS PART OF THIS WORK.
  2. THE CONTRACTOR SHALL CALL MISS DIG 3 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.
  3. ALL STORM SEWER PIPE SHALL BE 4" N-12 PLASTIC PIPE UNLESS OTHERWISE SPECIFIED.
  4. ALL CATCH BASINS AND MANHOLES SHALL BE MINIMUM 4' DIAMETER PRECAST CONCRETE, UNLESS NOTED OTHERWISE.
  5. PAVED AREAS SHALL BE CONSTRUCTED WITH:  
12" MOD CL-2 SAND SUBBASE (C.I.P.)  
6" 22-A GRAVEL BASE (C.I.P.)  
1 1/2" 3C FINE LEVELING COURSE  
1 1/2" 4C FINE WEARING COURSE
  6. THE CONTRACTOR SHALL BED AND BACKFILL ALL UNDERGROUND PIPING WITH MOD CL-2 SAND TO A MINIMUM OF 95% MAXIMUM DRY DENSITY PER ASTM-1557.
  7. THIS SITE PLAN SHALL NOT BE USED TO STAKE THE LOCATION OF PROPOSED BUILDING COLUMN LINES. THE SURVEYORS ARE TO USE THE BUILDING FOUNDATION PLANS.
  8. THE CONTRACTOR SHALL PLACE AND COMPACT FILL UNDER THE PROPOSED BUILDING AREA TO A MINIMUM OF 95% MAXIMUM DRY DENSITY PER ASTM-1557. ALL OTHER AREAS SHALL BE COMPACTED TO A MINIMUM OF 92% MAXIMUM DRY DENSITY.
  9. THE CONTRACTOR SHALL PIPE ALL BUILDING ROOF WATER TO THE STORM WATER RETENTION FOND AS SHOWN AND SPECIFIED.
  10. THE CONTRACTOR SHALL REQUEST CONSTRUCTION STAKING BY FAX USING THE MOORE & BRUGGINK, INC. CONTRACTOR'S CONSTRUCTION STAKING REQUEST FORM. ONLY COMPLETED REQUESTS WILL BE SCHEDULED. NOTE THE PROJECT OWNER WILL PAY THE SURVEYOR TO PLACE STAKES ONLY ONCE. ALL LOST AND DAMAGED STAKES ARE THE CONTRACTORS RESPONSIBILITY.

CONSTRUCTION SCHEDULE

ITEM	S	O	N	D	J	F	M	A	M	J	J	A
TEMP. EROSION CONTROL												
TOPSOIL STRIPPING												
SITE GRADING												
SITE UTILITIES												
DETENTION FOND												
BUILDING CONSTRUCTION												
PERM. EROSION CONTROL												
LANDSCAPING												
PAVING												
REMOVE TEMP. EROSION CONTROL												

- SHEET SCHEDULE**
- 1 BOUNDARY & TOPOGRAPHIC SURVEY
  - 2 OVERALL SITE PLAN
  - 3 ENLARGED SITE PLAN
  - 4 GRADING & SOIL EROSION CONTROL
  - 5 UTILITY PLAN
  - 6 CONSTRUCTION DETAILS

PREPARED FOR:  
LACKS ENTERPRISES, INCORPORATED  
8480 CASCADE ROAD, SE  
GRAND RAPIDS, MI 49546  
(616) 948-8270

PLAN REVISIONS

NO.	DESCRIPTION

**ENLARGED SITE PLAN**  
FOR  
**5460 CASCADE ROAD**  
CASCADE TOWNSHIP, KENT COUNTY, MICHIGAN

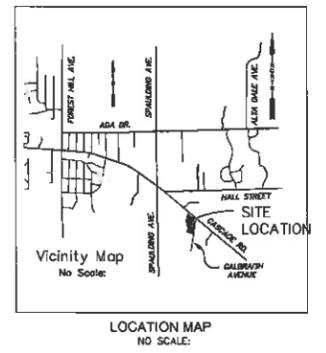
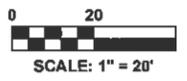
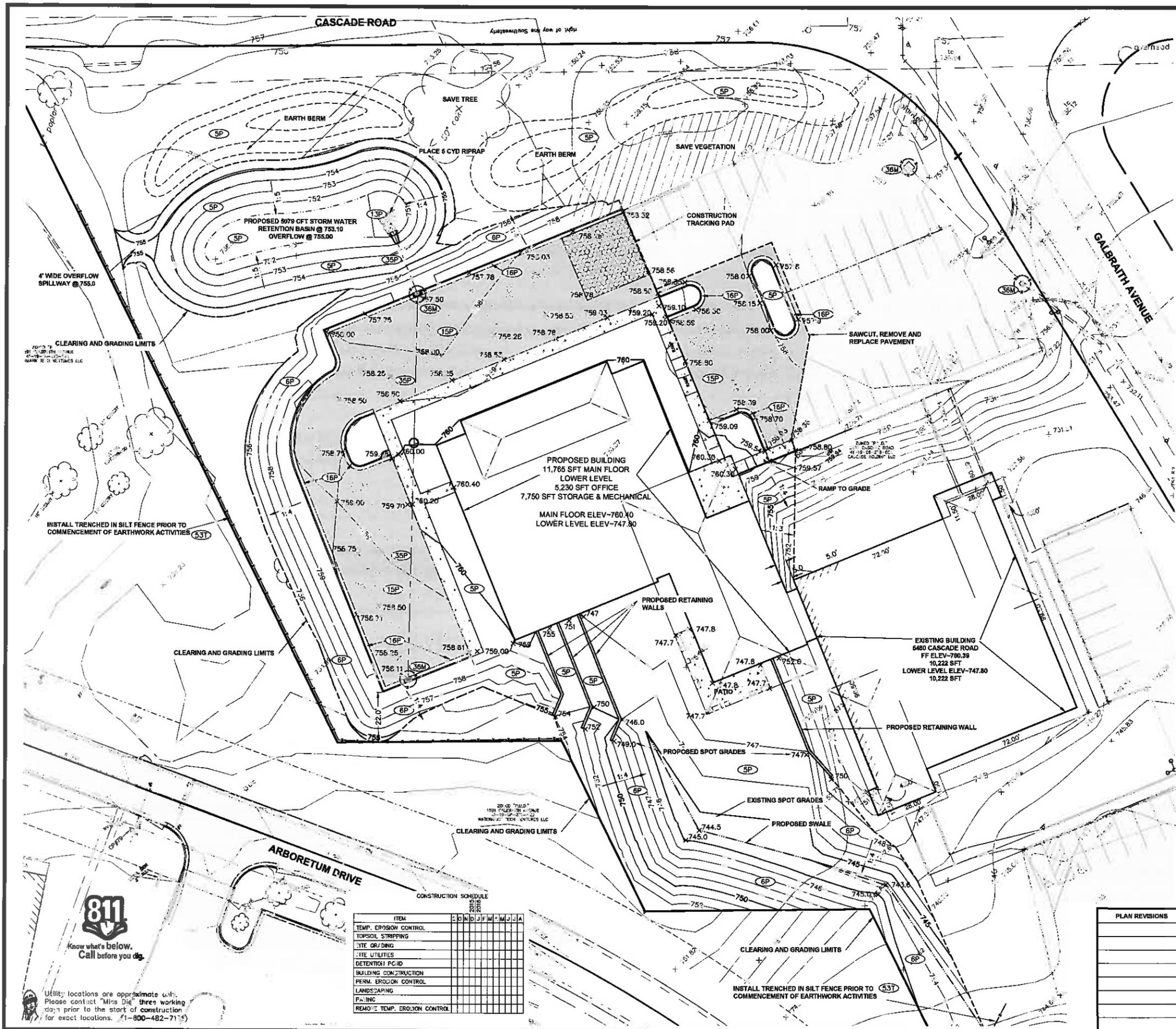
**MOORE & BRUGGINK, INC.**  
Consulting Engineers  
2020 Moore Avenue N.W.  
Grand Rapids, Michigan 49505-6298  
Phone: (616) 363-9801 Web: www.mbec.com

FIELD SURVEY DATE: M-8  
DESIGNED BY: WCK  
DESIGN DRAWN BY: FEF  
CHECKED BY: E.GK  
PLAN DATE: 09-25-15  
PROJECT NO.: 9201-K-2

SHEET NUMBER  
**3 OF 6**



Utility locations are approximate only. Please contact "Miss Dig" three working days prior to the start of construction for exact locations. (1-800-482-7171)



**SOIL EROSION CONTROL NOTES:**

1. THE CONTRACTOR SHALL OBTAIN ALL PERMITS AND SAFETY AS PART OF THE WORK.
2. THE CONTRACTOR SHALL CALL MISS DIG 3 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.
3. THE CONTRACTOR SHALL REQUEST CONSTRUCTION STAKING BY FAX USING THE MOORE & BRUGGINK, INC. CONTRACTOR'S CONSTRUCTION STAKING REQUEST FORM. ONLY COMPLETED REQUESTS WILL BE SCHEDULED. NOTE THE PROJECT OWNER WILL PAY THE SURVEYOR TO PLACE STAKES ONLY ONCE. ALL LOST AND DAMAGED STAKES ARE THE CONTRACTOR'S RESPONSIBILITY.
4. THE CONTRACTOR SHALL REMOVE ALL CONCRETE, BIT PAVEMENT, STORM SEWER STRUCTURES, STORM SEWER PIPE, LIGHT POLES, FENCES, UNDERGROUND ELECTRIC, VEGETATION AND SO ON TO PREPARE THE SITE FOR IMPROVEMENTS. CATCH BASINS, VALVE BOXES AND/OR OTHER UTILITY STRUCTURES TO REMAIN SHALL BE ADAPTED AND PROTECTED FROM DAMAGE.
5. NORTH AMERICAN GREEN D5-150 EROSION CONTROL BLANKET SHALL BE PLACED ON ALL SLOPES 1:3 OR GREATER. SECURE BLANKET TO SLOPE PER MANUFACTURER'S SPECIFICATIONS.
6. ALL SILT FENCING SHALL BE TRENCHED IN PRIOR TO COMMENCEMENT OF EARTHWORK ACTIVITIES.
7. SILT FENCING IS REQUIRED ALONG ALL DOWNSTREAM EDGES OF THE GRADING LIMITS AND MUST REMAIN IN PLACE UNTIL VEGETATION IS UNIFORMLY RE-ESTABLISHED.
8. ALL SOIL EROSION CONTROL MEASURES SHALL COMPLY WITH THE CITY OF GRAND RAPIDS LIQUID PERMIT, ACT 471 OF PUBLIC ACTS OF 1997, SOIL EROSION AND SEDIMENTATION CONTROL, NATURAL RESOURCES AND ENVIRONMENTAL PROTECTION ACT.
9. NEW & EXISTING STORM SEWER INLET POINTS SHALL BE PROTECTED FROM SEDIMENT INFILTRATION WITH INLET FABRIC DROP (SILT SACK) PER CITY OF GRAND RAPIDS APPROVED MANUFACTURER (H-FLOW AND/OR ACP BRANDS). CONTRACTOR SHALL PROVIDE PRODUCT INFORMATION TO THE CITY PRIOR TO INSTALLATION.
10. ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED ON A DAILY BASIS, AND IMMEDIATELY FOLLOWING EVERY SIGNIFICANT RAINFALL EVENT.
11. ALL EXCESS SPOILS ARE TO BE REMOVED FROM THE SITE. OTHERWISE STOCKPILES MUST BE PROVIDED WITH TEMPORARY AND PERMANENT STABILIZATION MEASURES.
12. IF EXCESS DIRT IS TO BE PLACED ON SITE, THE LOCATION SHALL BE APPROVED BY THE PROPERTY OWNER & ENGINEER.
13. ALL TEMPORARY EROSION CONTROLS MUST REMAIN IN PLACE UNTIL VEGETATION IS UNIFORMLY RE-ESTABLISHED.
14. DUST CONTROL SHALL BE PROVIDED BY MEANS OF WATER DISTRIBUTION ON A REGULAR BASIS OVER AREAS THAT COULD POTENTIALLY PRODUCE DUST CONDITIONS.
15. A TRACKING PAD MUST BE PROVIDED AT CONSTRUCTION ACCESS POINTS TO PREVENT SOILS FROM BEING TRACKED OFF-SITE, PER DETAIL THIS SHEET.
16. CONTRACTOR SHALL SWEEP PAVED AREAS EACH DAY (OR MORE AS NEEDED) BY MECHANICAL MEANS FOR ALL PAVED AREAS IN AND AROUND THE PERIMETER OF THE PROJECT AFFECTED BY TRUCKING OPERATIONS.
17. CONSTRUCTION ENTRANCE SHALL BE PROVIDED FROM GALBRATH AVENUE.

**SOIL EROSION CONTROL LEGEND**

- 5 SEEDING
- 6 SEEDING W/ MULCH
- 13 RIP-RAP
- 15 PAVING
- 16 CURBING
- 33 SEDIMENT TRAP
- 36 CATCH BASIN
- 53 SILT FENCE
- P PERMANENT
- T TEMPORARY
- M MODIFIED

**SHEET SCHEDULE**

- 1 BOUNDARY & TOPOGRAPHIC SURVEY
- 2 OVERALL SITE PLAN
- 3 ENLARGED SITE PLAN
- 4 GRADING & SOIL EROSION CONTROL
- 5 UTILITY PLAN
- 6 CONSTRUCTION DETAILS

PREPARED FOR:  
LACKS ENTERPRISES, INCORPORATED  
5460 CASCADE ROAD, SE  
GRAND RAPIDS, MI 49546  
(616) 949-6679

CONSTRUCTION SCHEDULE

ITEM	2018	2019	2020	2021	2022	2023	2024	2025	2026	2027	2028	2029	2030
TEMP. EROSION CONTROL													
TOPSOIL STRIPPING													
SITE GRADING													
SITE UTILITIES													
DETENTION PC ID													
BUILDING CONSTRUCTION													
PERM. EROSION CONTROL													
LANDSCAPING													
PAVING													
REMOVE TEMP. EROSION CONTROL													

**PLAN REVISIONS**

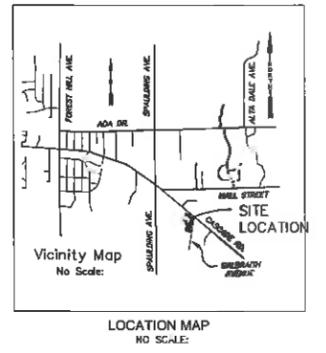
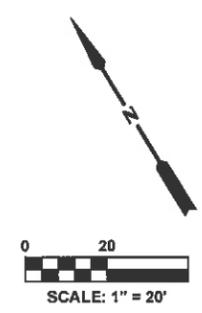
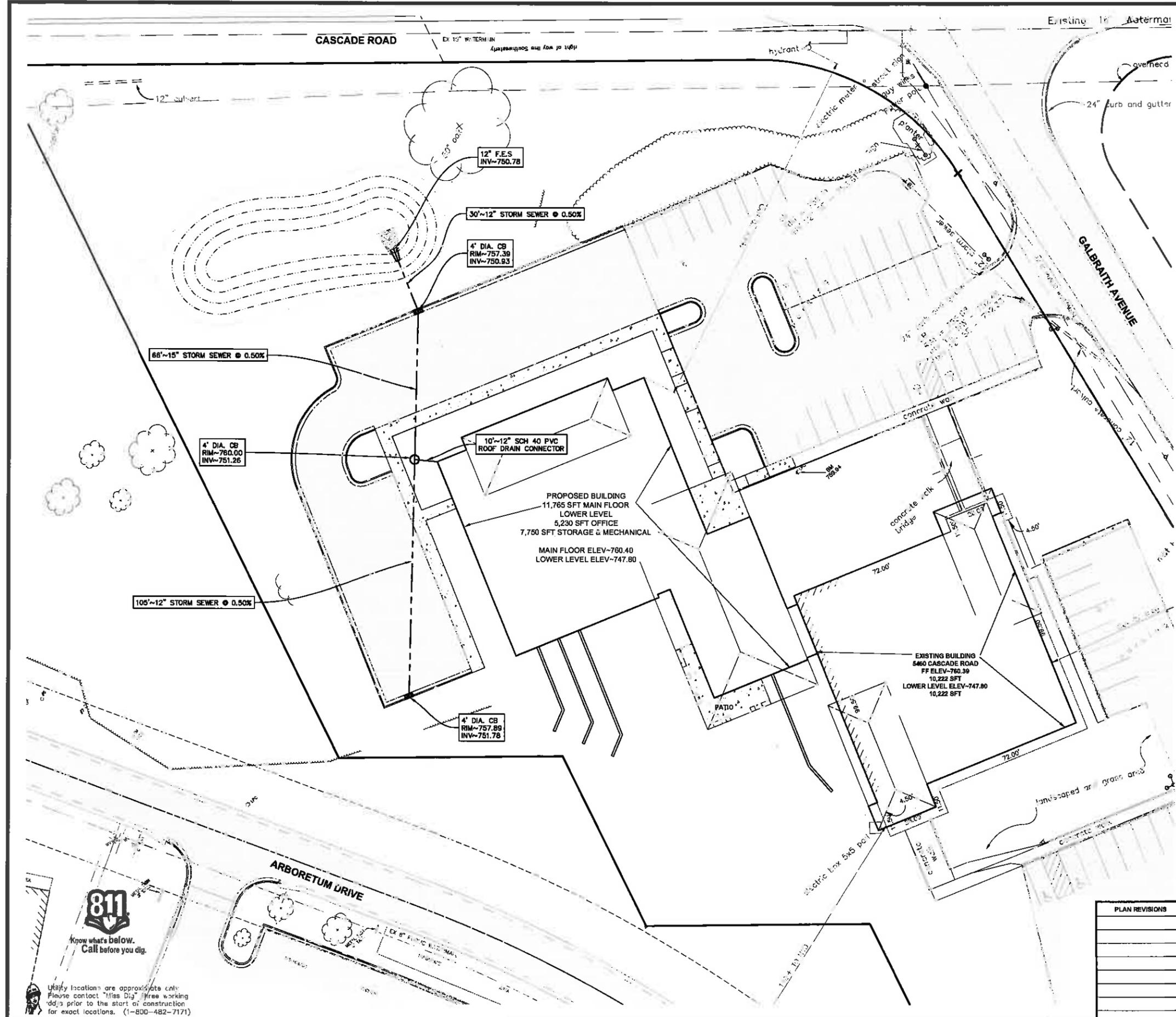
NO.	DATE	DESCRIPTION

**GRADING & SOIL EROSION CONTROL**  
FOR  
**5460 CASCADE ROAD**  
CASCADE TOWNSHIP, KENT COUNTY, MICHIGAN  
**MOORE & BRUGGINK, INC.**  
Consulting Engineers  
2020 Monroe Avenue N.W.  
Grand Rapids, Michigan 49505-6298  
Phone: (616) 363-9801 Web: www.mbc.com

FIELD SURVEY / DATE: M.L.B.  
DESIGNED BY: WCK  
DESIGN DRAWN BY: FEJ  
CHECKED BY: WCK  
PLAN DATE: 08-25-18  
PROJECT NO.: 9201-8.2  
SHEET NUMBER  
**4 OF 6**



Utility locations are approximate only. Please contact "Miss Dig" three working days prior to the start of construction for exact locations. (1-800-482-7111)



- UTILITY PLAN GENERAL NOTES:**
1. THE CONTRACTOR SHALL OBTAIN ALL PERMITS AND SURETY AS PART OF THIS WORK.
  2. THE CONTRACTOR SHALL CALL MISS DIG 3 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.
  3. ALL STORM SEWER PIPE SHALL BE ADS N-12 PLASTIC PIPE UNLESS OTHERWISE SPECIFIED.
  4. ALL CATCH BASINS AND MANHOLES SHALL BE MINIMUM 4' DIAMETER PRECAST CONCRETE, UNLESS NOTED OTHERWISE.
  5. THE CONTRACTOR SHALL BED AND BACKFILL ALL UNDERGROUND PIPING WITH MDOT CL-2 SAND TO A MINIMUM OF 95% MAXIMUM DRY DENSITY PER ASTM-1557.
  6. THE CONTRACTOR SHALL PIPE ALL BUILDING ROOF WATER TO THE STORM WATER DETENTION POND AS SHOWN AND SPECIFIED.
  7. THE CONTRACTOR SHALL REQUEST CONSTRUCTION STAKING BY FAX USING THE MOORE & BRUGGINK, INC. CONTRACTORS CONSTRUCTION STAKING REQUEST FORM. ONLY COMPLETED REQUESTS WILL BE SCHEDULED. NOTE THE PROJECT OWNER WILL PAY THE SURVEYOR TO PLACE STAKES ONLY ONCE. ALL LOST AND DAMAGED STAKES ARE THE CONTRACTORS RESPONSIBILITY.

CONSTRUCTION SCHEDULE

ITEM	S	O	N	D	J	F	A	M	J	J	A
TEMP. EROSION CONTROL											
TOPSOIL STRIPPING											
SITE GRADING											
SITE UTILITIES											
DETENTION POND											
BUILDING CONSTRUCTION											
PERM. EROSION CONTROL											
LANDSCAPING											
PAVING											
REMOVE TEMP. EROSION CONTROL											

- SHEET SCHEDULE**
- 1 BOUNDARY & TOPOGRAPHIC SURVEY
  - 2 OVERALL SITE PLAN
  - 3 ENLARGED SITE PLAN
  - 4 GRADING & SOIL EROSION CONTROL
  - 5 UTILITY PLAN
  - 6 CONSTRUCTION DETAILS

PREPARED FOR:  
LACS ENTERPRISES, INCORPORATED  
6460 CASCADE ROAD, SE  
GRAND RAPIDS, MI 49548  
(616) 945-9870

PLAN REVISIONS


**UTILITY PLAN**  
FOR  
**5460 CASCADE ROAD**  
CASCADE TOWNSHIP, KENT COUNTY, MICHIGAN

**MOORE & BRUGGINK, INC.**  
Consulting Engineers  
2020 Monroe Avenue N.W.  
Grand Rapids, Michigan 49505-6298  
Phone: (616) 363-9801 Web: www.mbcc.com

FIELD SURVEY / DATE: M:28

DESIGNED BY: WJK

DESIGN DRAWN BY: FEF

CHECKED BY: WJK

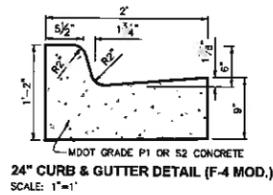
PLAN DATE: 09-25-16

PROJECT NO.: 920106.2

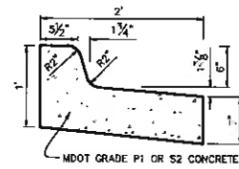
SHEET NUMBER  
**5 OF 6**



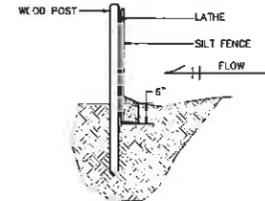
Utility locations are approximate only. Please contact "Miss Dig" three working days prior to the start of construction for exact locations. (1-800-482-7171)



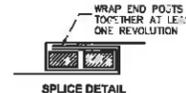
24" CURB & GUTTER DETAIL (F-4 MOD.)  
SCALE: 1"=1'



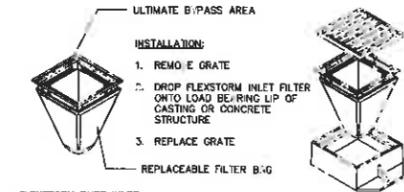
24" CURB & GUTTER DETAIL (INVERTED RESIDENTIAL/COMMERCIAL)  
SCALE: 1"=1'



SILT FENCE DETAIL  
SCALE: 1"=2'



SPLICE DETAIL

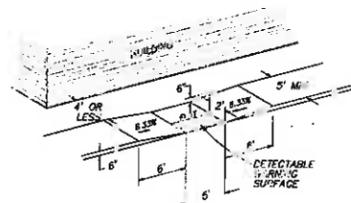


FLEXSTORM PURE INLET FILTERS FOR RECTANGULAR OPENINGS WITH GRATES

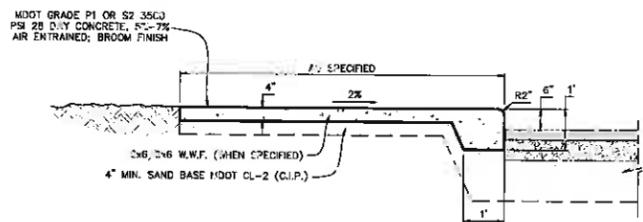
NOTES:

1. ALL FRAMING IS CONSTRUCTED OF 304 STAINLESS STEEL FOR 25 YEAR SERVICE LIFE RATING.
2. TOTAL BYPASS CAPACITY: BYPASS CAPACITY WILL VARY WITH EACH SIZE DRAINAGE STRUCTURE. FLEXSTORM DESIGNS FRAMING BYPASS TO MEET OR EXCEED THE DESIGN FLOW OF THE PARTICULAR DRAINAGE STRUCTURE.
3. UPON ORDERING CONFIRMATION OF THE DOT C/D/OUT, PRECAST OR CASTING MAKE AND MODEL OR DETILED DIMENSIONAL FORMS MUST BE PROVIDED TO CONFIGURE AND ASSEMBLE YOUR CUSTOMIZED FLEXSTORM INLET FILTER. PART NUMBER 1110NE IS NOT SUFFICIENT.
4. FOR WRITTEN SPECIFICATIONS AND MAINTENANCE GUIDELINES VISIT WWW.INLETFILTERS.COM

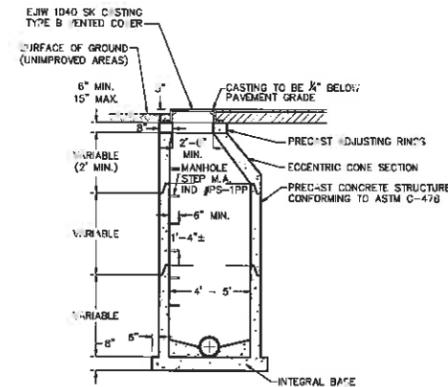
INLET PROTECTION DETAIL



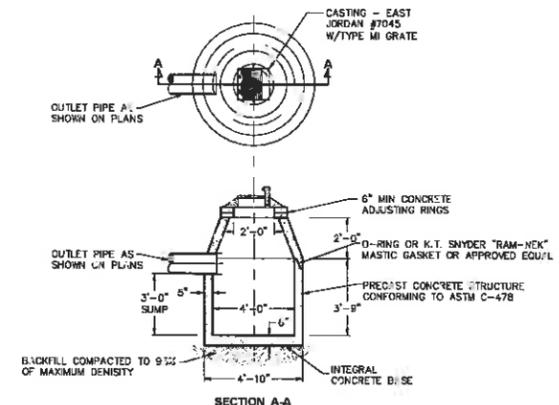
BARRIER FREE RAMP DETAIL "A"



COMPOSITE CONCRETE WALK & CURB DETAIL  
SCALE: 1"=2'



STORM SEWER MANHOLE DETAIL  
SCALE: 1"=4'



4' DIA. CATCH BASIN DETAIL (IN CURB AREAS)  
SCALE: 1"=4'

SHEET SCHEDULE

- 1 BOUNDARY & TOPOGRAPHIC SURVEY
- 2 OVERALL SITE PLAN
- 3 ENLARGED SITE PLAN
- 4 GRADING & SOIL EROSION CONTROL
- 5 UTILITY PLAN
- 6 CONSTRUCTION DETAILS

PREPARED FOR:  
LACKS ENTERPRISES, INCORPORATED  
6465 CASCADE ROAD, SE  
GRAND RAPIDS, MI 49548  
(616) 948-0870

PLAN REVISIONS	CONSTRUCTION DETAILS FOR 5460 CASCADE ROAD CASCADE TOWNSHIP, KENT COUNTY, MICHIGAN	FIELD SURVEY / DATE: N:BB
	<b>MOORE &amp; BRUGGINK, INC.</b> Consulting Engineers 2020 Monroe Avenue N.W. Grand Rapids, Michigan 49505-6298 Phone: (616) 363-9801 Web: www.mbrce.com	DESIGNED BY: WCK
		DESIGN DRAWN BY: FEF
		CHECKED BY: WCK
		PLAN DATE: 09-25-15
		PROJECT NO.: 920108.2
		SHEET NUMBER <b>6 OF 6</b>



Know what's below.  
Call before you dig.

Utility locations are approximate only.  
Please contact "Miss Dig" three working  
days prior to the start of construction  
for exact locations. (1-800-482-7171)



Integrated Architecture  
4080 Lake Drive SE  
Grand Rapids, MI 49546  
616.574.0220 P  
616.574.0253 F  
www.iaarch.com

Lacks Corporate Office

5700 Cascade Road  
Comdale, MI 49307  
Kurt C. Smith, M.D.

LANDSCAPE NOTES:

- CONTRACTOR SHALL OBTAIN ALL NECESSARY STATE AND LOCAL PERMITS REQUIRED. ALL CONSTRUCTION SHALL CONFORM TO STATE AND LOCAL STANDARDS AND CODES THAT PERTAIN TO THE SITE UNDER CONSTRUCTION.
- CALL "MISS DIG" 1-800-271-7171, THREE (3) DAYS PRIOR TO THE START OF CONSTRUCTION, EXCLUDING SATURDAYS, SUNDAYS, AND HOLIDAYS.
- EXISTING UNDERGROUND UTILITIES ARE PLOTTED FROM ORIGINAL SITE DRAWINGS AND SITE TOPOGRAPHIC SURVEY. EVERY ATTEMPT HAS BEEN MADE TO SHOW ALL UTILITY LINES WHERE THEY EXIST. CONTRACTOR SHALL USE EVERY PRECAUTION IN EXCAVATIONS FOR NEW UTILITIES. OTHER UNDERGROUND UTILITIES MAY NOT BE SHOWN. CONTRACTOR SHALL MAKE HIMSELF THOROUGHLY FAMILIAR WITH ALL UNDERGROUND UTILITY LOCATION PRIOR TO ANY EXCAVATION AND VERIFY LOCATIONS AND DEPTHS OF ALL UTILITIES.
- CONTRACTOR SHALL PROVIDE HIS OWN LAYOUT, GRADING, STAKING, AND SURVEYING REQUIRED FOR CONSTRUCTION. REFER TO EXISTING TOPOGRAPHIC SURVEY FOR BENCHMARKS AND OTHER EXISTING INFORMATION. CONTRACTOR SHALL FIELD VERIFY LAYOUT PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL PROTECT ALL EXISTING AND NEW CONSTRUCTION FROM DAMAGE SHOULD ANY DAMAGE OCCUR. CONTRACTOR SHALL MAKE ALL NECESSARY REPAIRS AT NO COST TO THE OWNER.
- LANDSCAPE CONTRACTOR SHALL COORDINATE HIS WORK WITH OTHER CONTRACTORS ON SITE TO MINIMIZE DAMAGE TO COMPLETED LANDSCAPE RESTORATION AND PLANT MATERIAL.
- IF ANY DISCREPANCY EXISTS BETWEEN THE QUANTITIES, SIZES OR MATERIALS INDICATED ON THE PLAN AND SHOWN IN THE PLANT LIST, THE PLAN SHALL GOVERN.
- IT IS THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO VISIT THE SITE PRIOR TO BID SUBMITTAL, TO BECOME FAMILIAR WITH EXISTING CONDITIONS AT THE SITE.
- THE EARTHWORK CONTRACTOR IS RESPONSIBLE FOR ROUGH GRADING OF "URGRADE BELOW" LAYOUT AND LANDSCAPE AREAS.
- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR RESPREADING TOPSOIL, FINE GRADING AND PREPARATION OF ALL LAWN AND LANDSCAPE AREAS.
- BEFORE PLANTING, CONTRACTOR SHALL ACCEPT ALL BASE OF GRADE. ANY DEVIATION FROM LINE AND GRADE INDICATED ON THE GRADING PLAN SHALL BE CORRECTED BY THE CONTRACTOR BEFORE PLACING ANY TOPSOIL.
- BEFORE PLANT MATERIAL INSTALLATION BEGINS, STAKE LOCATION OF NEW PLANT MATERIAL AND NOTIFY ARCHITECT FOR APPROVAL. NOTIFY ARCHITECT ONE WEEK MINIMUM PRIOR TO THE DATE OF STAKING.
- CONTRACTOR SHALL NOTIFY ARCHITECT IF AREAS OF POOR DRAINAGE OR OTHER UNUSUAL SURFACE CONDITIONS ARE ENCOUNTERED DURING EXCAVATION FOR PLANTING PITS.
- ALL GRADING, UTILITY, AND IRRIGATION WORK SHALL BE COMPLETED PRIOR TO INSTALLATION OF PLANT MATERIAL AND LANDSCAPE MULCH.
- ALL SHRUB BEDS ADJACENT TO LAWN AREAS SHALL HAVE A SPREAD EDGE BORDER, UNLESS METAL EDGE IS PERMITTED BY THE PLANNING DEPARTMENT.
- ALL SHRUB BED AREAS SHALL HAVE A MINIMUM 5" THICK LAYER OF LANDSCAPE MULCH.
- PRE-EMERGENT HERBICIDE SHALL BE USED UNDER MULCH IN ALL LARGE BED AREAS.
- LANDSCAPE CONTRACTOR SHALL REEED ALL AREAS DISTURBED BY CONSTRUCTION NOT DESIGNATED TO BE SOODED.
- LANDSCAPE CONTRACTOR SHALL WORK OTHER LAWN AREAS THAT HAVE REMAINED PARTIALLY UNTOUCHED DURING CONSTRUCTION AND SOOED TO FORM A SMOOTH, FULL, EVEN LAWN, FREE OF BARE SPOTS, INDENTATIONS, AND DEBRIS.
- LANDSCAPE CONTRACTOR SHALL COORDINATE PLANTING SCHEDULE WITH IRRIGATION CONTRACTOR TO ENSURE PROPER WATERING OF PLANTS. REEDED AREAS AFTER INSTALLATION, LANDSCAPE CONTRACTOR SHALL COORDINATE PLANTING WITH IRRIGATION CONTRACTOR TO MINIMIZE CONFLICTS WITH SPRINKLER HEADS AND LINES.

GENERAL STANDARDS:

- TOPSOIL SHALL BE INSTALLED WITH A MINIMUM DEPTH OF FOUR (4) INCHES FOR LAWN AREAS, AND EIGHT (8) INCHES FOR PLANTING AREAS.
- TREE STAKES, JULY WIRES AND TREE TIES SHALL BE REMOVED AFTER COMPLETION OF THE INITIAL GROWING SEASON.
- LANDSCAPING SHALL BE INSTALLED WITHIN NINETY (90) DAYS OF COMPLETION OF THE BUILDING OR STRUCTURE, OR UNLESS PERMITTED IN WRITING BY THE PLANNING DEPARTMENT AT A LATER DATE.
- UNDERGROUND SPRINKLING SYSTEMS SHALL BE INSTALLED ON PRIVATE PROPERTY WHERE NECESSARY TO SERVE LANDSCAPED AREAS AND SUCH SYSTEMS SHALL BE NEATLY MAINTAINED, BY A LICENSED MAINTENANCE PERSONNEL.
- PLANT MATERIALS, INCLUDING LAWN SHALL BE MAINTAINED IN A SUBSTANTIALLY FREE TREE, HEALTHY CONDITION, NEAT AND CROSSBLY IN APPEARANCE IN ACCORDANCE WITH THE APPROVED SITE PLAN.
- PLANTS SHALL BE CONTROLLED BY PRUNING, TRIMMING, OR OTHER SUITABLE METHODS SO THAT THEY DO NOT INTERFERE WITH PUBLIC UTILITIES, RESTRICT PEDESTRIAN OR VEHICULAR ACCESS, OR CONSTITUTE A TRAFFIC HAZARD.
- UNHEALTHY, DETERIORATED, SEVERELY PRUNED, DISEASED OR DEAD PLANTS SHALL BE REPLACED WITHIN ONE (1) YEAR OR THE NEXT APPROPRIATE PLANTING PERIOD, WHICHEVER COMES FIRST.

CHAPTER 20 - LANDSCAPE AND GREENBELT REGULATIONS

SECTION 20.04 BUFFERYARD REQUIREMENTS

- ADJACENT LAND USE: OFFICE - ARTERIAL/COLLECTOR
  - REQUIRED ALONG CASCADE ROAD - 2 CANOPY TREE, 4 UNDERSTORY TREES AND 8 SHRUBS PER 100 TO MEET BUFFER TYPE 10'. TOTAL FRONTAGE FOR NEW DEVELOPMENT IS 185 FEET. TOTAL TREES NEEDED 4 DECIDUOUS, 2 UNDERSTORY TREES AND 12 SHRUBS.
  - PROVIDED 4 CANOPY TREE, 8 UNDERSTORY TREES, 8 EVERGREEN TREES AND 47 SHRUBS.

SECTION 20.05 PARKING AREAS: FRONT YARD - REQUIRED LANDSCAPING

- PARKING LOTS CONTAINING LESS THAN 90 PARKING SPACES SHALL PROVIDE 15 S.F. OF LANDSCAPED AREAS
  - REQUIRED INTERNAL LANDSCAPE FOR 15' SPACES = 210 S.F.
  - PROVIDED 1,000 S.F. OF PLANT MATERIAL

SECTION 20.05 BUFFERYARD DESIGN REQUIREMENTS

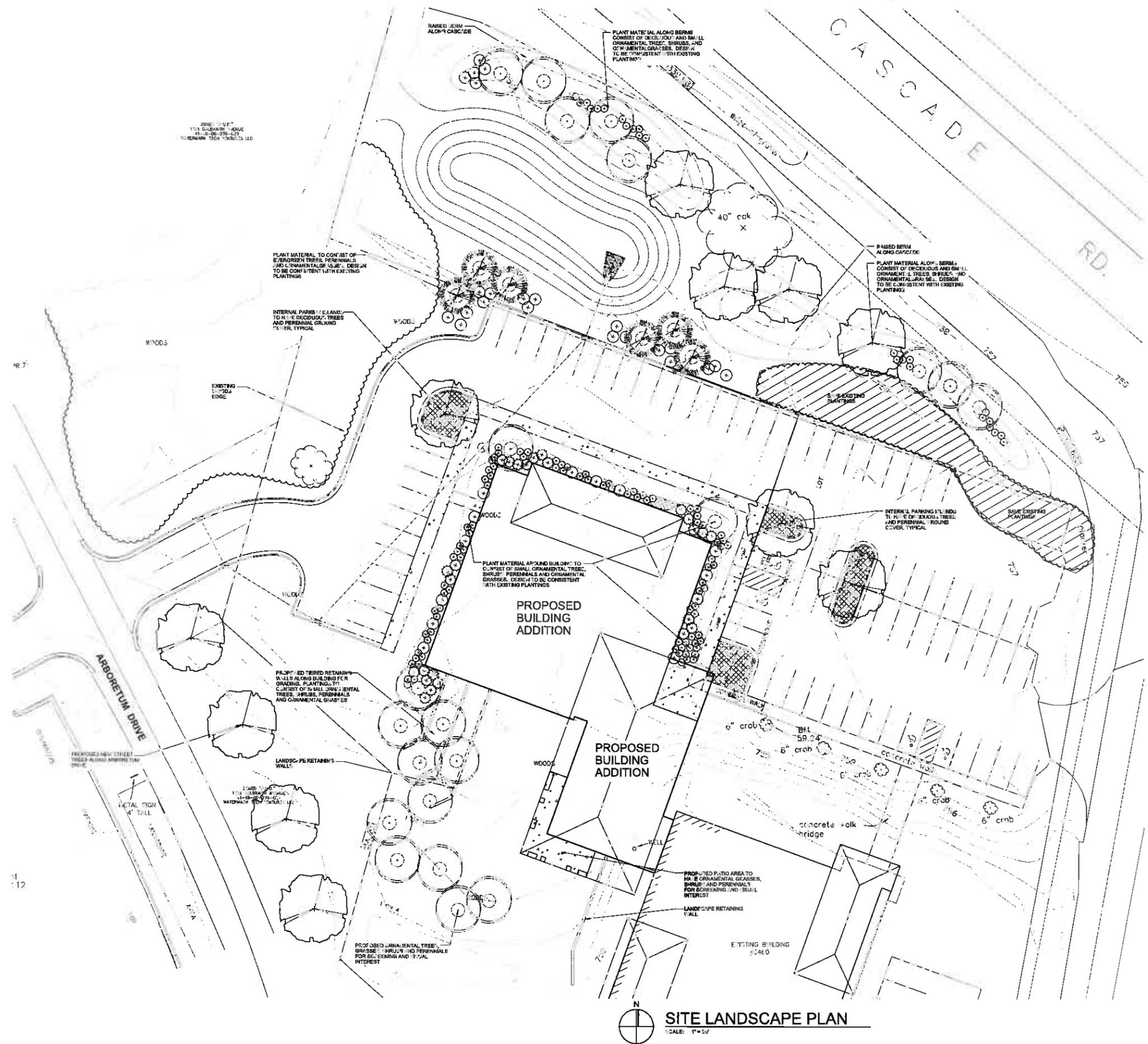
- ALL BUFFERYARD REQUIREMENTS WILL BE MET INCLUDING MINIMUM PLANT SIZES AND MAINTENANCE PROCEDURES.

LEGEND

	DECIDUOUS TREE
	EVERGREEN AND ORNAMENTAL (UNDERSTORY TREES)
	SHRUBS AND ORNAMENTAL GRASSES
	GROUND COVERS - PERENNIALS

SITE LANDSCAPE PLAN

LP1.0



SITE LANDSCAPE PLAN  
SCALE: 1" = 50'