

Cascade Charter Township Planning Commission
Monday, October 03, 2016
7:00 pm
Cascade Library Wisner Center
2870 Jacksmith Ave. SE

- ARTICLE 1. Call the meeting to order
Record the attendance**
- ARTICLE 2. Pledge of Allegiance to the flag**
- ARTICLE 3. Approve the current Agenda**
- ARTICLE 4. Approve the Minutes of the September19, 2016 meeting**
- ARTICLE 5. Acknowledge visitors and those wishing to speak to non-agenda items.
(Comments are limited to five minutes per speaker.)**
- ARTICLE 6. Case #16-3321 Growney Mixed Use P.U.D Amendment
Property Address: 2899 Thornapple River Dr.
Requested Action: The applicant is requesting to rezone property at 2899 Thornapple River Dr. from B-1, and add it to the Thornapple Hilltop P.U.D.**
- ARTICLE 7. Case #16-3305 Spruce Meadows P.U.D Amendment
Property Address: 5375 28th St Ct SE
Requested Action: Recommendation of P.U.D Amendment**
- ARTICLE 8. Case # 16-3334 Shaun Burkett – Suburban Landscapes
Property Address: 9500 Cascade Rd
Requested Action: The applicant is requesting site plan approval for a 3,800 sq ft addition.**
- ARTICLE 9. Adjournment**

Meeting format

1. **Staff Presentation** *Staff report and recommendation*
2. **Project presentation-** *Applicant presentation and explanation of project*
 - a. **PUBLIC HEARINGS**
 - i. **Open Public Hearing.** *Comments are limited to five minutes per speaker; exception may be granted by the chair for representative speakers and applicants*
 - ii. **Close public hearing**
3. **Commission discussion – May ask for clarification from applicant, staff or public**
4. **Commission decision - Options**
 - a. *Table the decision*
 - b. *Deny*
 - c. *Approve*
 - d. *Approve with conditions*
 - e. *Recommendation to Township Board*

MINUTES
Cascade Charter Township
Planning Commission
Monday, September 19, 2016
7:00 P.M.

ARTICLE 1. Vice Chairman Sperla called the meeting to order at 7:00 P.M.
Members Present: Katsma, Lewis, Mead, Pennington, Rissi, Robinson and Williams
Members Absent: Waalkes (E)
Others Present: Community Development Director, Steve Peterson and those listed on the sign in sheet.

ARTICLE 2. Pledge of Allegiance.

ARTICLE 3. Approve the current Agenda.

Motion was made by Member Rissi to approve the Agenda. Supported by Member Lewis. Motion carried 8 to 0.

ARTICLE 4. Approve the Minutes of the September 12, 2016 Meeting.

Motion was made by Member Robinson to approve the Minutes as presented. Supported by Member Rissi. Motion carried 8 to 0.

ARTICLE 5. Acknowledge visitors and those wishing to speak to non-agenda items.

No visitors who were present wished to speak about non-agenda items.

ARTICLE 6. Case #16:3300 Cascade Lodging – Meijer P.U.D. Amendments

Property Address: 5411 28th Street

Requested Action: The Applicant is requesting to amend the existing P.U.D. to allow for a new hotel.

Director Peterson stated that the Applicant is requesting Basic Plan Review in order to develop a new hotel on vacant property currently owned by Meijer.

The new hotel is in addition to the hotel recently reviewed to the North of this property. This new hotel is being located just to the west of the main Meijer truck docks. Between the location and the odd shape of the lot leaves little room to make adjustments.

The Meijer property was put into a P.U.D. in 2002 to accommodate the development along 28th Street. The underlying zoning district is B2, general business. This designation requires a minimum of 3 acre parcels. With approximately 36 acres in total, the development could accommodate as many as 12 parcels. This development would allow for parcels 8 and 9 to be created.

The new hotel is seeking the P.U.D. amendment not only to add the hotel use but because it does not meet several of the underlying zoning regulations. Those include parcel size of 2.57 acres, building height of 60 feet and 4 stories, North front setback of 63 feet, West front setback of 51 feet, and bufferyards of 10 feet.

The Master Plan designation for this property is Highway commercial and is in line with the ES zoning district.

Director Peterson feels that a traffic study is not warranted for this project. The surrounding roads have the capacity to address the traffic from a hotel. The Township Board has already asked the KCRC to address the paving issues on Kraft Avenue and the KCRC is already looking into possible changes to the timing of the lights at the Kraft and 28th Street intersection.

He indicated Meijer cannot give access to the private road that they are on, nor does it allow for access to Kraft Avenue. This should be addressed to ensure that the hotel can indeed use all the available drives for access to Kraft and 28th Street. If this issue is not addressed, they would only be allowed to enter/exit off from 28th Street.

The applicant has indicated that the storm water from the site will be addressed and improved to comply with the storm water ordinance.

Director Peterson asked that before proceeding to the Preliminary Development Plan Review he recommends the Planning Commission address the need for a traffic study, have the applicant provide the required site plan information, approval from the KCRC for the storm water information plan, and provide documentation of easements rights to all drives to Kraft and 28th Street.

Vice Chairman Sperla asked the Applicant to come forward with any comments.

Mr. Dave Ziomkowski of the construction group, and Mr. Matt Piromari, owner, came forward to answer any questions the Commission might have.

A discussion followed mostly concerning access drives, traffic study, design height, layout, storm water flow and timeline of construction.

Vice Chairman Sperla asked applicant to work with staff on the issues discussed. Because this is simply a Base Plan Review, no action was required by the Commission at this time.

ARTICLE 7.

Case #16:3329 Spees

Property Address: 6010 28th Street

Requested Action: The applicant is requesting to amend the existing P.U.D. to allow for new fast food restaurants.

Director Peterson stated that the applicant is requesting Basic Plan Review in order to develop two fast food restaurants along 28th Street. One has been identified as Taco Bell.

Historically, we have used the underlying zoning district to dictate the number of buildings in a development. The underlying zone allows for 50,000 square foot lots. That would allow for as much as 4 lots/buildings. This project has the ability to develop three buildings on the site. Two restaurants up front and possible one office in the rear.

Up for discussion is whether or not to require a traffic study given the change in the project. In general, this type of commercial development can have a high turnover. This section of 28th Street has plenty of capacity and the development provides for multiple ways out by connecting through the parking area to the East. Director Peterson feels a traffic study is not necessary, unless the Planning Commission decides otherwise.

The storm water design for this site will need to meet the storm water ordinance. The developer has also been working on plans to address sewer and water to accommodate the project. These will need to be approved prior to scheduling the Planning Commission public hearing.

Pedestrian access has been provided for, any outdoor dumpsters must be fully shielded, and any outdoor lighting will need to meet lighting regulations.

The two buildings on the site are not getting the normal amount of landscaping around the outside nor the interior landscaping. Applicant has included quite a bit of stone landscape areas, which are not permitted. Applicant should provide some alternatives to the current site plan to better evaluate the need for the current design.

Signage will need approval from the Centennial Park Review Board, as well as the overlay zone. Director Peterson would like to know that they have discussed this with them so they are aware of the signage that they are allowed.

Before proceeding to the Preliminary Development Plan Review, Director Peterson recommends that the Planning Commission require the Applicant to:

1. Provide the required site plan information;
2. Provide elevation drawings of all proposed buildings;
3. Revise the site plan to include the necessary storm water information;
4. Provide the alternative site plans that have been developed;
5. Remove the stone interior landscaping and place grass/landscape areas; and
6. Provide a cross access agreement with the property to the East that will be recorded to ensure the access will always remain open.

Vice Chairman Sperla asked the Applicant to come forward with any comments.

Mr. Mike Housman, of Wolverine Building, Group came forward representing the buyer to address the issues staff had and answer any questions the Commission might have.

A discussion followed mostly concerning access points, traffic flow, storm water flow and potential occupant of the second building.

Vice Chairman Sperla asked Applicant to work with staff on the issues discussed. Because this is simple a Base Plan Review, no action was required by the Commission at this time.

ARTICLE 8. Any other business.

The next meeting will be held October 3, 2016.

ARTICLE 9. Adjournment.

Motion was made by Member Williams to adjourn. Supported by Member Robinson. Motion carried 8 to 0. The meeting was adjourned at 8:00 p.m.

Respectfully submitted,
Scott Rissi, Secretary

STAFF REPORT

TO: Cascade Charter Township Planning Commission
FROM: Steve Peterson, Community Development Director
REPORT DATE: September 23, 2016
MEETING DATE: October 3, 2016
CASE: #16-3321/ Growney Mixed Use P.U.D amendment

GENERAL INFORMATION

- A. **Applicant:** G Place LLC
5723 Mancheater Hills Dr
Grand Rapids MI 49512

- B. **Status of Applicant:** Owner

- C. **General Location:** North Side of Thornapple River Dr across street from Tassell Park.

- D. **Requested Action:** Rezone property at 2899 Thornapple River Dr from B-1, and add it to the Thornapple Hilltop P.U.D.

- E. **Existing Zoning on Subject Parcels:** B1

- F. **Zoning on Adjoining Parcels:**

N – P.U.D.
S – R2
E – B-1
W – B-1

- G. **Parcel Size:** Approximately .7 acres

- H. **Existing Land Use on Subject Parcel:** Commercial

- I. **Adjacent Area Land Uses:**
North - Residential
East - Commercial
South - Tassell Park
West - Commercial

STAFF ANALYSIS

- A. The applicant is requesting Preliminary approval in order to construct a new mixed use building. This building would include about 5,000sq ft of retail/restaurant space with 7 residential units.
- B. This would come to about 8 units per acre. The B-1 zoning district allows for up to 9 units per acre
- C. This is the second phase of the planned development of the Thornapple Hilltop development.
- D. The first phase was the small residential (6 units) development off of Overlook summit. This new phase would be added to the existing Thornapple Hilltop PUD.
- E. The site has been planned for a restaurant. This would not include any drive-through restaurant since they are not permitted in the B-1 zoning district.
- F. The project also included some small property line reconfigurations between the first and second phase. These changes allow for additional parking on this phase of the project. But they do not impact the first phase in a negative way that would have altered their approval.
- G. The applicant has designed the building at about 35 feet tall. This is an exception of 5 feet. The B-1 zone allows for 30 feet tall for mixed use projects that include residential. The developer has provided some perspective drawing to help show what the building would look like.
- H. The current Master Plan designation for this property is Village Commercial. This designation is a reflection of the current B1 zoning district.
- I. Current traffic counts in this area are about 4,000 trips. In general, a two lane road can handle about 10,000 trips per day.
- J. The project includes a path to the north connecting to the residential uses in the Thornapple Hilltop PUD. It also shows sidewalk along Thornapple river dr. this sidewalk would ultimately provide a connection to Cascade Rd. this pedestrian connection would be consistent with the Mater Plan.
- K. The site plan has been reviewed and approved by the township engineer. They will have to execute the storm water agreement.
- L. Any outdoor lighting will need to meet our lighting regulations.
- M. The existing PUD Ordinance already include the airport recognition statement.
- N. While we don't have a landscaping requirement for residential uses, the project does include commercial uses and they have provided landscaping plantings consistent with a type C plantings.

O. The project was introduced at your August 15, 2016 meeting. At that meeting you asked the applicant to come back with the following information:

1. Have the applicant provide the required site plan information.
2. Provide elevation drawings of all proposed buildings.
3. Revise the site plan to include the necessary storm water information.
4. Revise the plans to provide the required sewer and water system as approved by the Township Engineer.
5. Provide a sidewalk along the Thronapple River Drive frontage that is at least 7 feet wide.
6. Supply the township with building prospective drawings from Thornapple River Dr.

P. Now that they have completed these items it has been noticed for public hearing

Standards

Section 16.03 of the Zoning Ordinance requires that a Planned Unit Development must demonstrate that:

Standard	Staff Comment
Granting of the Planned Unit Development rezoning will result in a recognizable and substantial benefit to the ultimate users of the project and to the community, where such benefit would otherwise be unfeasible or unlikely to be achieved.	The reason for the PUD change is due to the exception for height, to add it to the existing PUD and to tie in the building elevations with the approval.
In relation to underlying zoning, the proposed type and density of use shall not result in a material increase in the need for public services, facilities and utilities, and shall not place a material burden upon the subject or surrounding land or property owners and occupants or the natural environment	The type of use and density is consistent with the master plan would not result in a material increase in the need for public services.
The proposed development shall be compatible with the General Development Plan of the Township, and shall be consistent with the intent and spirit of this Chapter	The project is consistent with the master plan. Inclusion of residential uses was encouraged in the master plan and the zoning ordinance was revised to allow this type of development.
In relation to underlying zoning, the proposed development shall not result in an unreasonable negative economic impact upon surrounding properties	The underlying zoning/use of the area is commercial and the amendment to allow the mixed use would not result in an unreasonable negative economic impact
The proposed development shall contain at least as much green area and usable open space as would otherwise be required by this Ordinance with respect to the most	Although we don't require landscape buffers of residential projects. This plan does include commercial uses. They are providing a landscape buffer similar to what

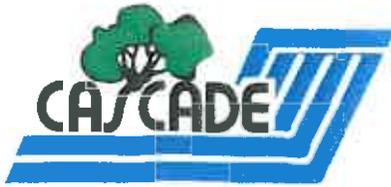
dominant use in the development	we would have with the PUD rezoning.
The proposed development shall be under single ownership or control such that there is a single person or entity having responsibility for completing the project in conformity with this Ordinance. This provision shall not prohibit a transfer of ownership or control, upon due notice to the Planning Director of the Township	Standard met

Staff Recommendation

Staff recommends approval of the preliminary plan. If approved, the applicant will come back for a recommendation to the Township Board when the PUD Ordinance language is worked out with the applicant. After your recommendation the Township Board will consider the matter at the final public hearing.

ATTACHMENTS:

- APPLICATION
- SITE PLAN
- MASTER PLAN EXCERPTS
- PERSPECTIVE DRAWINGS



CASCADE CHARTER TOWNSHIP

2865 Thornhills SE Grand Rapids, Michigan
49546-7140

PLANNING & ZONING APPLICATION

APPLICANT: Name: G Place, LLC; attn: Sean Growney
Address: 5723 Machester Hills Drive, SE
City & Zip Code Grand Rapids, MI 49546
Telephone: (616) 405-3226
Email Address: _____

OWNER: * (If different from Applicant)
Name: same as applicant
Address: _____
City & Zip Code: _____
Telephone: _____
Email Address: _____

NATURE OF THE REQUEST: (Please check the appropriate box or boxes)	
<input type="checkbox"/> Administrative Appeal	<input type="checkbox"/> Administrative Site Plan Review
<input type="checkbox"/> Deferred Parking	<input checked="" type="checkbox"/> P.U.D. – Rezoning *
<input type="checkbox"/> P.U.D. – Site Condominium *	<input type="checkbox"/> Rezoning
<input type="checkbox"/> Site Plan Review *	<input type="checkbox"/> Sign Variance
<input type="checkbox"/> Special Use Permit	<input type="checkbox"/> Subdivision Plat Review *
<input type="checkbox"/> Zoning Variance	<input type="checkbox"/> Other: _____ *

*** Requires an initial submission of 5 copies of the completed site plan**

BRIEFLY DESCRIBE YOUR REQUEST:**

See attached.

(**Use Attachments if Necessary)

-SEE OTHER SIDE-

LEGAL DESCRIPTION OF PROPERTY:**

See attached and site plan.

(**Use Attachments if Necessary)

PERMANENT PARCEL (TAX) NUMBER: 41-19-16-201-015

ADDRESS OF PROPERTY: 2899 Thornapple River Dr. SE

PRESENT USE OF THE PROPERTY: House currently on property

**NAME(S) & ADDRESS(ES) OF ALL OTHER PERSONS, CORPORATIONS, OR FIRMS HAVING A LEGAL OR
EQUITABLE INTEREST IN THE PROPERTY:**

Name(s)

Address(es)

None that we are aware of

SIGNATURES

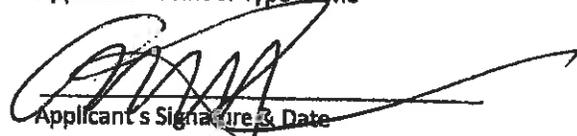
I (we) the undersigned certify that the information contained on this application form and the required documents attached hereto are to the best of my (our) knowledge true and accurate. I (we) also agree to reimburse the Cascade Charter Township for all costs, including consultant costs, to review this request in a timely manner. I (we) understand that these costs may also include administrative reviews which may occur after the Township has taken action on my (our) request.

I (we) the undersigned also acknowledge that the proposed project does not violate any known property restrictions (i.e. plat restrictions, deed restrictions, covenants, etc.)

Owner – Print or Type Name
(*If different from Applicant)

Sean Growney
Applicant – Print or Type Name

* _____
Owner's Signature & Date
(*If different from Applicant)


Applicant's Signature & Date

PLEASE ATTACH ALL REQUIRED DOCUMENTS NOTED IN THE PROCESS REVIEW SHEET – THANK YOU



Growney Mixed-Use PUD

REQUEST: G Place, LLC is proposing to construct a mixed use building at 2899 Thornapple River Drive. The building will have three stories and will have a partial basement. The use of the building will be storage in the partial basement, commercial on the first floor, and residential on the second and third floors. It is envisioned that there will be three commercial users and a total of seven residential units. The residential units will primarily be 2-bedroom units, with the exception of one of the units will be a 3-bedroom unit. The building will be a very attractive building, consisting primarily of modular brick, fiber cement shingle siding, window, and asphalt shingled roof.

The site will be accessed via a single driveway off Thornapple River Drive. Sufficient on-site parking is provided on the property. The building will be serviced by public sanitary sewer and watermain – both of which are available in Thornapple River Drive. And the storm water runoff from the site will be collected and retained/detained on site with the use of oversized storm sewer pipe.

Last, note that as part of the PUD approval, a lot line adjustment is being requested for the Thornapple Hilltop PUD (Parcel Number 41-19-16-201-017), which is located immediately to the north of this site. The intent is to reduce the area of the Thornapple Hilltop property – giving some of that property to this property and some of that property to 6820 Old 28th Street SE (Parcel Number 41-19-16-201-019).

LEGAL DESCRIPTION OF SUBJECT PROPERTY:

Parcel Number: 41-19-16-201-015

Property Address: 2899 Thornapple River Dr SE

PART OF GOVT 8 COM AT N 1/4 COR TH S ALONG N&S 1/4 LINE 589.35 FT TH S 54D 16M E 157 FT TH N 39D E 120 FT TO BEG OF THIS DESC - TH N 39D E 168 FT TH S 49D 15M E 202.65 FT TO A PT ON CL OF THORNAPPLE RIVER DR WHICH IS 208.1 FT SWLY ALONG SD CL FROM CL OF CASCADE RD TH S 35D 18M W ALONG CL OF SD DR 150.25 FT TO A LINE BEARING S 54D 06M E FROM BEG TH N 54D 06M W TO BEG * SEC 16 T6N R10W 0.75 A.

neighborhoods is a primary concern and measures should be taken periodically to assure proper coverage of these services. Private roads should be considered under certain circumstances, such as for the preservation of large stands of trees, or to preserve steep slopes, where drainage and run-off is a concern, or where important natural features have been identified in the Natural Feature Inventory.

COMMUNITY RESIDENTIAL

Description: The community residential land use designation is intended for attached or detached single family and multi-family housing. A project should be designed and developed to provide attractive, up-scale master planned living environments with amenities such as open spaces, walking paths, street trees, street lighting and attractive architectural style. Buildings and structures should be designed to minimize bulk and massing of attached living units.

Location: The community residential land use area primarily serves as a transition from commercial/mixed use and suburban residential uses along 28th Street. However, there are two areas where this use is proposed along the south side of Cascade Road north of Burton.

Desired Uses and Densities: Uses may include attached and detached residential dwellings, including projects that incorporate a variety of housing options, as well as assisted living and retirement communities. Master-planned retirement communities may also incorporate low-impact commercial uses internal and integrated within the development such as personal service establishments (barber shop or hair salon), post office, financial institution and other necessary uses for the convenience of the residents but not available for use by the general public. Development within the community residential area should include a walking system that connects to any existing or planned non-motorized pathway. The Township desires for the community residential areas to be served by mass transit in the future. Water and sewer must be available for new development or redevelopment in this land use category. Additionally, any natural features should be preserved and protected in projects located in the community residential land use area. Only public roads would be permitted in the community residential land use category. Allowable densities would range between 4-6 dwelling units to the acre.



VILLAGE COMMERCIAL

Description: This land use designation is intended to foster a pedestrian-scale, local shopping district confined to the parcels currently zoned for commercial use. It is not the intent of this land use plan to expand commercial uses either north or south along Cascade Road.

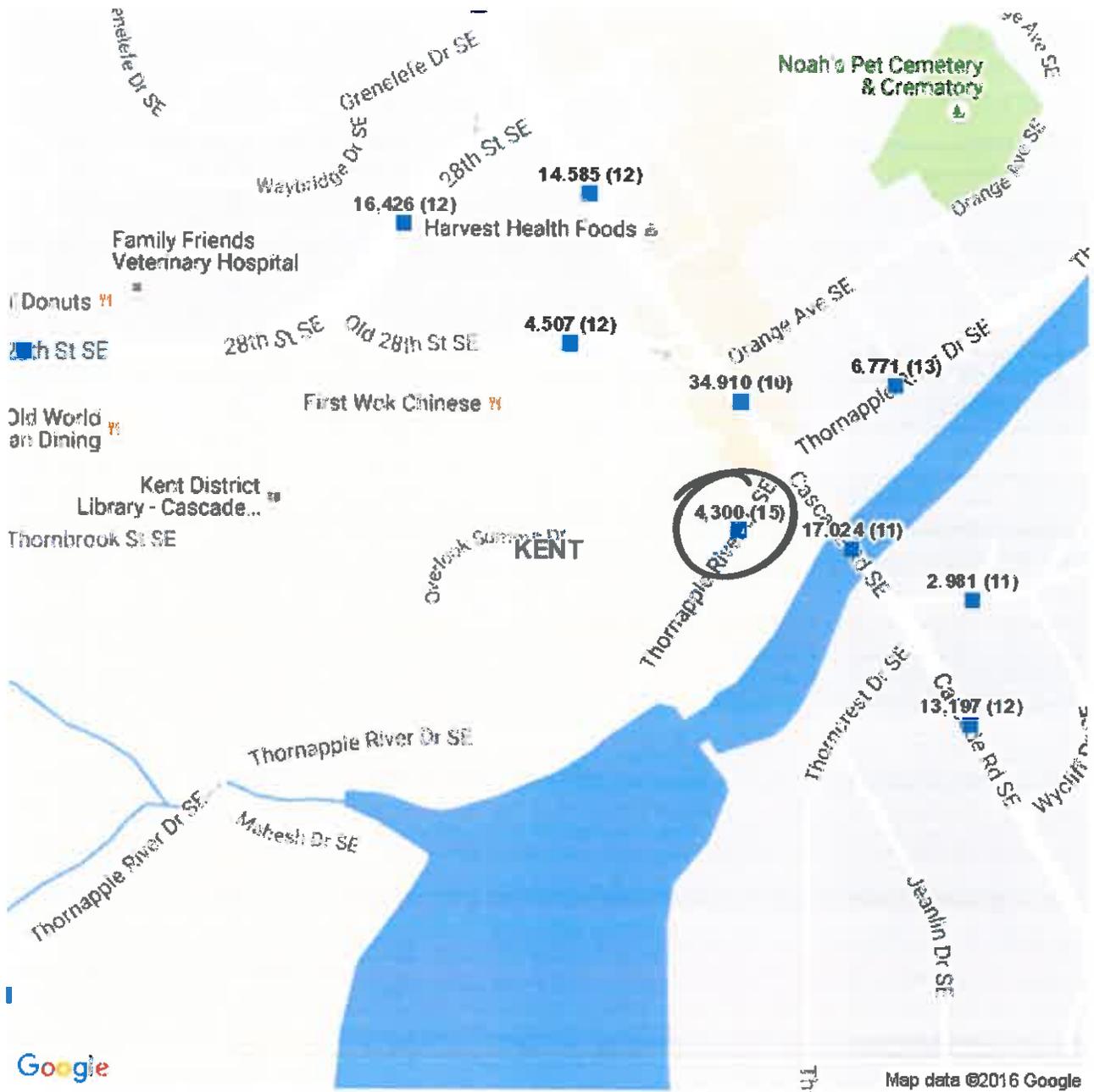
The village commercial area is intended to be a walkable commercial district, where architectural style is paramount, but not rigid. Low shrubbery, picket fences and other features should be in place along the roadway to delineate the use and create interest for pedestrians.

Location: The village commercial land use category is located at the heart of Cascade Charter Township where Cascade Road, 28th Street and the Thornapple River converge. It is not the intent of this land use category to expand beyond the current commercially-zoned properties along Cascade Road.

Desired Uses and Densities: Desired uses include retail commercial, personal service establishments, eating and drinking establishments, financial institutions, and convenience stores with or without fuel stations. Residential uses are also planned, including above retail or office uses. Townhome, retirement centers, assisted living, and other elderly care facilities are also recommended. Other uses should be phased out and encouraged to locate to a more automobile-oriented commercial corridor. Residential densities would be 6-8 dwelling units to the acre. Pedestrian/bicycle circulation plans should be prepared for new development that includes access from sidewalks and non-motorized paths to any building entry. Bicycle racks are encouraged. Traffic calming, crosswalk demarcations, countdown walk signs, plantings and signage are encouraged at 28th Street and Cascade Road at the Village to create a sense of place for shopping, strolling, biking, and walking. Water and sewer must be available for development in this land use category. Additionally, any natural features should be preserved and protected in projects located in the village commercial land use area. The Township hopes that the village commercial area is served by mass transit in the future.

GENERAL COMMERCIAL

Description: This land use designation is intended to provide goods and services to meet the needs of the immediate neighborhood and the larger region. Facilities will be developed in harmony with the area's natural features and in a scale and form to encourage pedestrian access and to minimize auto-pedestrian conflicts. Cross-access easements and access roads will be encouraged to reduce the proliferation of curb-cuts. In addition, landscape standards and signage limitations will be utilized to promote attractive and functional developments. The current three acre minimum lot area requirement may be reduced for projects that incorporate certain green/eco-friendly building technologies, or provide a specific amount of green space, such as 35%.



Map data ©2016 Google

- TCDS Locations**
- Short
- Continuous
- WIM
- Located Short
- Located Continuous
- Located WIM



September 28, 2016
Project No. G080322

Mr. Steve Peterson
Cascade Charter Township
2865 Thornhills Avenue, SE
Grand Rapids, MI 49546-7192

Re: Rivers Edge of Cascade
Site Plan Review

Dear Steve:

We have reviewed the site plan for Rivers Edge of Cascade, located at 2899 Thornapple River Drive, prepared by Nederveld. The current site plan and the basis of this review are dated September 14, 2016. The proposed project is a new 3-story mixed use residential and commercial building.

Stormwater and Drainage

Flood Control

The proposed project is a complete redevelopment of the site, so all improvements shall comply with the requirements of the Cascade Charter Township (Township) Stormwater Ordinance (SWO). The site is located in Storm Water Management Zone A, which requires retention of the 100-year storm event and infiltration where possible. Where soil conditions or other factors do not allow for adequate infiltration, the SWO requires detention of the 25-year storm event with a controlled release and a direct connection for stormwater runoff for the 100-year storm event. The SWO also requires the first 0.5-inch of storm water runoff be detained and released over a 24 hour period.

The applicant provided four soil boring logs for the site. The subsurface soils were found to be predominately clay. Two infiltration test were performed at the elevation of the proposed underground storage and infiltration system, 10-feet below grade. After two hours of testing, no water drop was observed, zero infiltration.

The soils are not conducive for infiltration, so the applicant is proposing an underground storage system designed for the 25-year storm event with a controlled release. The applicant provided calculations and design details for the underground detention system and they were found to be in accordance with the SWO.

Water Quality Control

The SWO requires the first 0.5-inch of stormwater runoff be detained and infiltrated where conditions permit, or released over a 24-hour period. The soils onsite do not allow for infiltration, therefore the applicant is proposing to detain and release the first 0.5-inch over a 24-hour period. The applicant provided calculations and design details for the underground detention system and they were found to be in accordance with the SWO.

Stormwater Runoff

The applicant provided stormwater calculations to size the onsite underground storm sewer system. All stormwater runoff from the impervious areas of the site will discharge to this system. Therefore, the site will not see an increase in rate of stormwater leaving the site.



Drainage Plan

The applicant has submitted drawings, calculations, and additional documentation as required in the SWO Section 2.03, Drainage Plan. Please refer to the included checklist for items and comments on each item. Please note a maintenance agreement is required before construction begins. The agreement should be submitted to the Township for review. The maintenance agreement and plan should include at a minimum monitoring and cleaning of catch basin sumps.

Utilities

A 4-inch domestic water service and 6-inch fire protection line are proposed for the building. The new building will utilize the existing sanitary sewer connection. City permits will be required for the water connections prior to construction taking place.

Soil Erosion and Sedimentation Control

Soil Erosion and Sedimentation Control (SESC) measures are provided on the plan drawings. The applicant has included silt fence along the limits of disturbance, silt sacks in catch basins, and erosion control matting on slopes steeper than 4:1. A hill at the rear of the property will be regraded with a moderately steep slope of 2:1. Care should be taken following construction to properly stabilize this areas. SESC falls under the review and approval of the Kent County Road Commission and a permit is required before construction can begin. The SESC measures indicated on the drawings appear appropriate given the expected work.

Summary

The proposed stormwater design meets the Township SWO requirements for new developments. The applicant will need to apply for and obtain a number of permits (SESC, water from the City) prior to beginning construction. We recommend approval of the site plan from an engineering standpoint.

If you have any questions or require additional information, please contact me at 616.464.3786 or nrtorrey@ftch.com.

Sincerely,

FISHBECK, THOMPSON, CARR & HUBER, INC.

A handwritten signature in black ink, appearing to read 'N. Torrey', is positioned above the name of the signatory.

Nathan R. Torrey, PE

jlk
Attachment
By email



Cascade Charter Township

Storm Water Ordinance, Ordinance 7 of 2002, as amended by Ordinance No. 2 of 2008, 5/14/2008

Reviewing Engineer Comments are Italicized

OK – Received and Acceptable

NA – Not Applicable

NR – Not Received, Needs Follow-up, See Comments

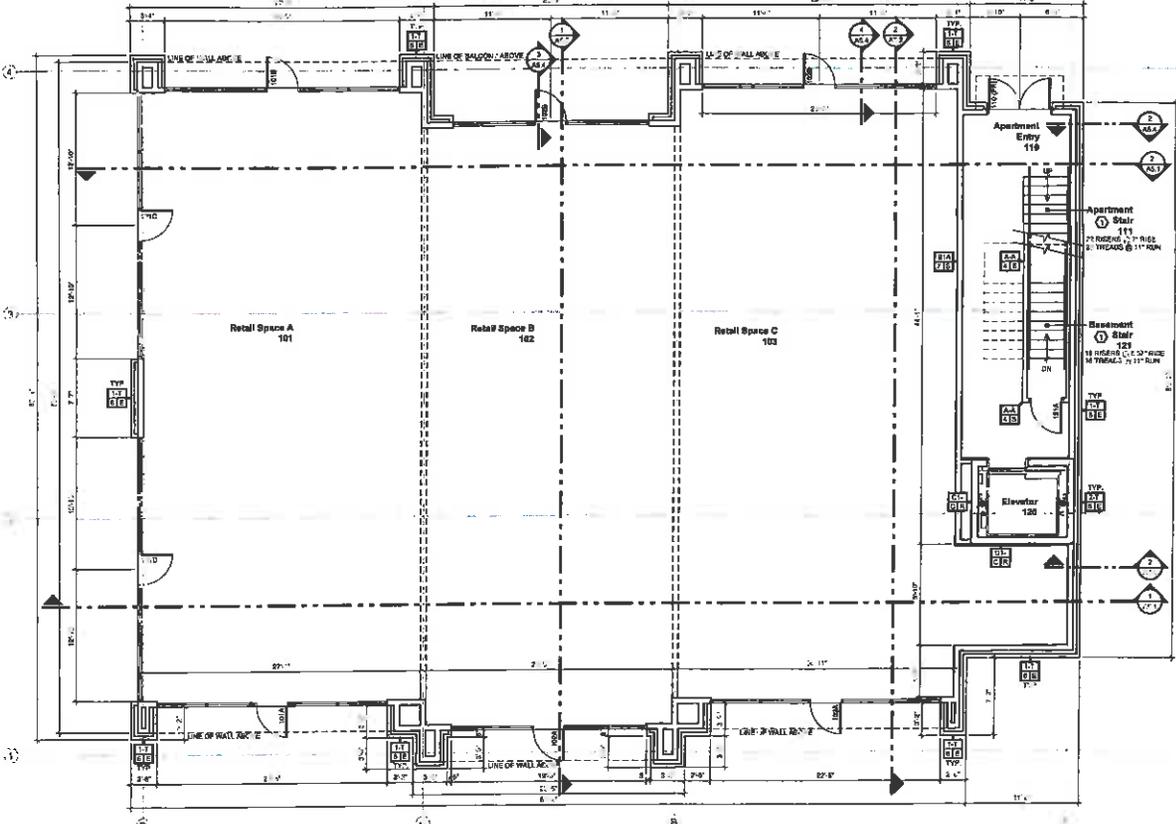
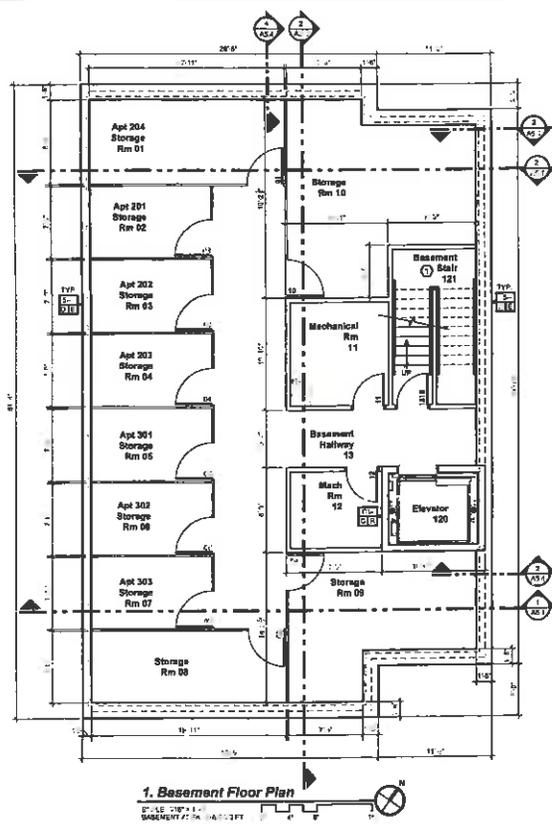
Rivers Edge of Cascade

Drainage Plan Checklist

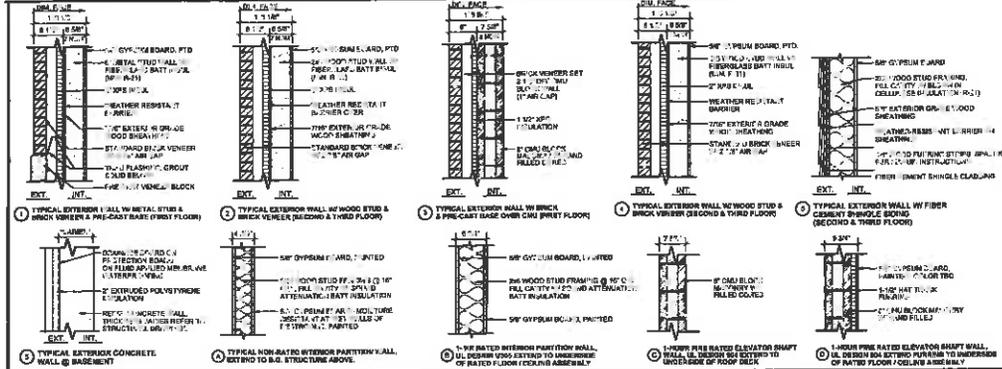
- OK (1) Location of the development site and water bodies that will receive storm water runoff
All stormwater runoff from the site is collected by an underground detention system with a controlled release to the existing storm sewer in Thornapple River Drive.
- OK (2) Existing and proposed topography of the development site, including the alignment and boundary of the natural drainage courses, with contours having a maximum interval of one foot (using USGS datum). The information shall be superimposed on the pertinent Kent County soil map
Existing and proposed contours have been provided. Soil map information is not required for this project.
- OK (3) Development tributary area to each point of discharge from the development
A drainage plan showing tributary areas was provided.
- OK (4) Calculations for the final peak discharge rates
Applicant provided calculations in design of the underground storage system and controlled release structure.
- OK (5) Calculations for any facility or structure size and configuration
The applicant provided calculations for the onsite storm sewer system.
- OK (6) Drawing showing all proposed storm water runoff facilities with existing and final grades
The applicant provided a utility plan showing all proposed stormwater runoff facilities.
- OK (7) The sizes and locations of upstream and downstream culverts serving the major drainage routes flowing into and out of the development site. Any significant off-site and on-site drainage outlet restrictions other than culverts should be noted on the drainage map
An area of offsite flow enters the rear of the property, approximately 0.3 acres. The applicant delineated the tributary area and designed the onsite storm sewer system to accommodate it.
- OK (8) An implementation plan for construction and inspection of all storm water runoff facilities necessary to the overall drainage plan, including a schedule of the estimated dates of completing construction of the storm water runoff facilities shown on the plan and an identification of the proposed inspection procedures to ensure that the storm water runoff facilities are constructed in accordance with the approved drainage plan
A construction schedule was included on the plans.
- OK (9) Plan to ensure the effective control of construction site storm water runoff and sediment track-out onto roadways
The SESC measures shown on the plan appear appropriate given the expected work. SESC falls under the review and approval of the KCRC and a permit is needed before construction can begin.



- OK (10) Drawings, profiles, and specifications for the construction of the storm water runoff facilities reasonably necessary to ensure that storm water runoff will be drained, stored, or otherwise controlled in accordance with this ordinance
The applicant provided calculations and design details for construction of the onsite storm sewer system.
- NR (11) Maintenance agreement, in form and substance acceptable to the Township, for ensuring maintenance of any privately owned storm water runoff facilities. The maintenance agreement shall include the developer's written commitment to provide routine, emergency, and long-term maintenance of the facilities and, in the event that the facilities are not maintained in accordance with the approved drainage plan, the agreement shall authorize the Township to maintain any on-site storm water runoff facility as reasonably necessary, at the developer's expense
Maintenance agreement was not provided and is required.
- OK (12) Name of the engineering firm and the registered professional engineer that designed the drainage plan and that will inspect final construction of the storm water runoff facilities
- NA (13) All design information must be compatible for conversion to Grand Valley Regional Geographic Information System (REGIS)
This is a privately owned system and will not be uploaded to REGIS.
- OK (14) Other information necessary for the Township to verify that the drainage plan complies with the Township's design and performance standards for drains and storm water management systems



Wall Types (EXTERIOR DENOTED WITH MARKER, INTERIOR DENOTED WITH LETTER)



- General Notes**
1. UNLESS NOTED OTHERWISE, ALL INTERIOR PARTITION WALLS SHALL BE CONSTRUCTED OF 5/8" METAL STUDS, 1/2" GYPSUM BOARD, 1/2" GYPSUM BOARD AND 1/2" GYPSUM BOARD PARTS. ALL INTERIOR PARTITION WALLS SHALL BE CONSTRUCTED OF 5/8" METAL STUDS, 1/2" GYPSUM BOARD, 1/2" GYPSUM BOARD AND 1/2" GYPSUM BOARD PARTS. ALL INTERIOR PARTITION WALLS SHALL BE CONSTRUCTED OF 5/8" METAL STUDS, 1/2" GYPSUM BOARD, 1/2" GYPSUM BOARD AND 1/2" GYPSUM BOARD PARTS.
 2. ALL PARTITION WALLS SHALL BE CONSTRUCTED OF 5/8" METAL STUDS, 1/2" GYPSUM BOARD, 1/2" GYPSUM BOARD AND 1/2" GYPSUM BOARD PARTS. ALL PARTITION WALLS SHALL BE CONSTRUCTED OF 5/8" METAL STUDS, 1/2" GYPSUM BOARD, 1/2" GYPSUM BOARD AND 1/2" GYPSUM BOARD PARTS.
 3. REFER TO ALL SECTIONS AND DETAILS FOR EXTERIOR WALL MATERIALS.
 4. INTERIOR METAL STUDS SHALL BE DETERMINED BY METAL STUD SUPPLIER.
 5. ALL 1/2" GYPSUM BOARD SHALL BE IN CONTACT WITH INSULATION MATERIALS SHALL BE TREATED TO RESIST DECAY AND FOR FIRE RESISTANCE TO PREVENT MOISTURE TRANSMISSION.
 6. ALL METAL STUDS SHALL BE 5/8" METAL STUDS. ALL METAL STUDS SHALL BE 5/8" METAL STUDS.
 7. FLOOR DRAIN, UNLESS OTHERWISE NOTED, SHALL BE SET 1" BELOW FLOOR FINISH AND FISH FLOOR BY RADICE.
 8. UNLESS OTHERWISE NOTED, ALL WALL MATERIALS SHALL BE 1/2" BELOW FLOOR FINISH AND FISH FLOOR BY RADICE.
 9. INTERIOR PARTITION WALLS ARE PENETRATED BY FIRE RATED PARTITION WALLS, WATER COOLER, ELECTRICAL DISTRIBUTION PANELS, AND OTHER SMALL TRAFFIC PENETRATIONS OF EQUAL RATING TO PARTITION.
 10. DO NOT OPEN UP IN INTERIOR PARTITION WALLS OCCUR INCLUDING DOOR, WINDOW, SINK, OR OTHER PENETRATIONS. ALL PENETRATIONS SHALL BE CONSTRUCTED TO MATCH RATING OF PARTITION.
 11. REFER TO ALL SECTIONS AND DETAILS FOR EXTERIOR WALL MATERIALS.
 12. REFER TO ALL SECTIONS AND DETAILS FOR EXTERIOR WALL MATERIALS.

dixon
 179 Ave. C
 Ada, MI 49301
 P. (248) 427-0700
 F. (248) 428-7135
 www.dixoncorp.com

AJ Workhorses
 1777 Karlov St. SE
 Grand Rapids, MI 49508
 P. (616) 931-3771
 www.ajwc.com

River's Edge of Cascade
 1899 Thompson Road SW
 Grand Rapids, MI 49508

River's Edge of Cascade
 John SE
 Grand Rapids, Michigan
Basement & First Floor Plans

Revision: _____

Project No: **213161**
 Issue Date: **05/15/16**
 Reviewer: **KCD**
 Drawn By: **PLM**

A2.1

General Notes

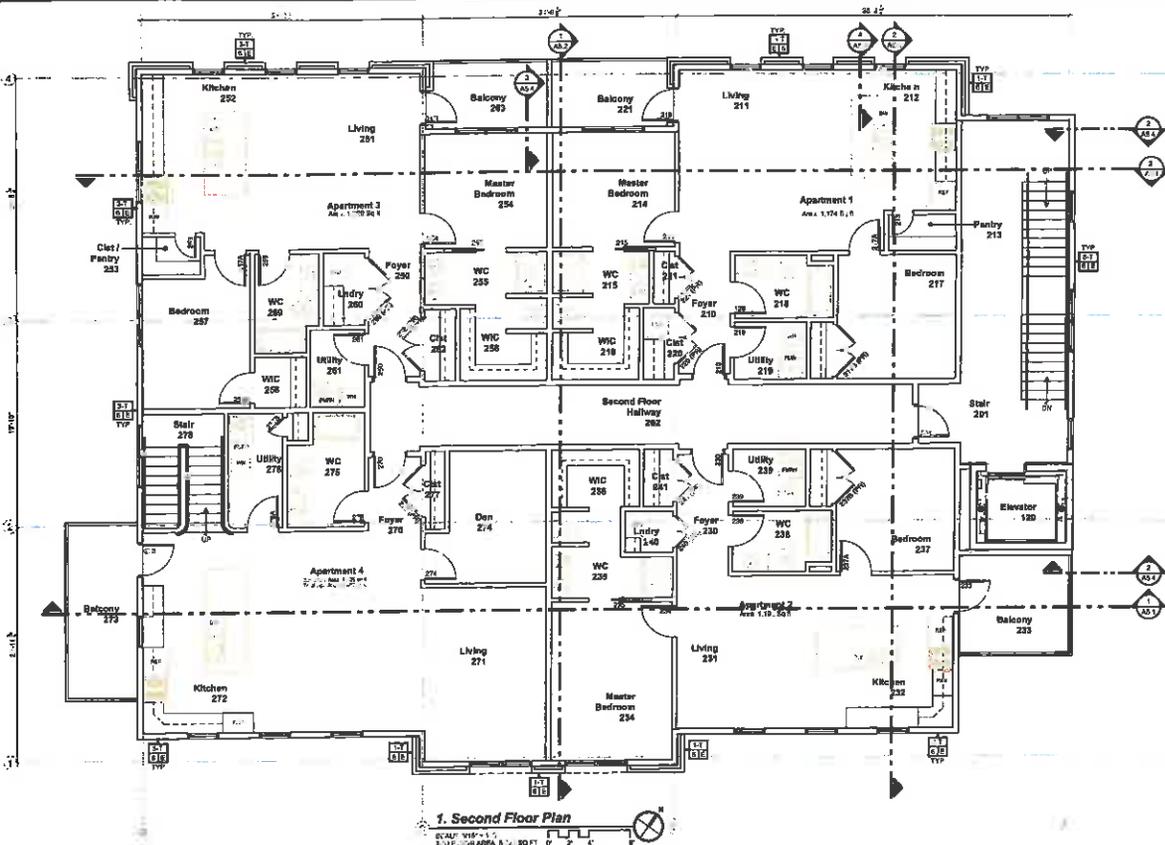
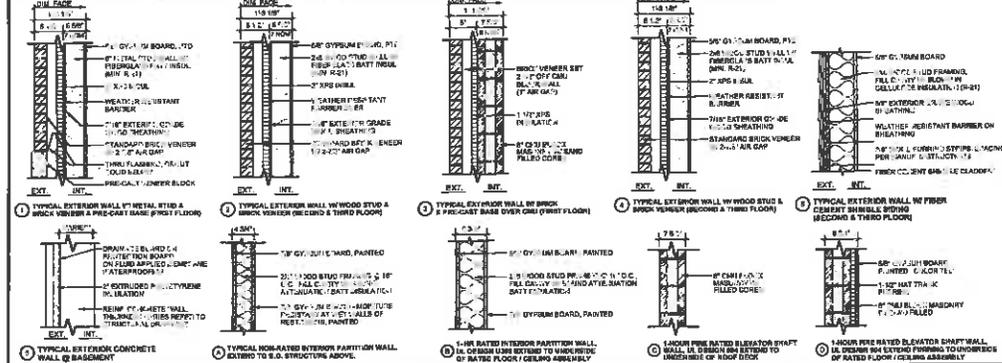
1. GENERAL NOTE: THROUGH ALL INTERIOR PARTITION WALLS SHALL BE CONFINED TO THE PERIPHERY OF THE WALL BY A MINIMUM OF TWO (2) METAL STUDS OR TWO (2) WOOD STUDS. ALL PARTITION WALLS SHALL BE CONFINED TO THE PERIPHERY OF THE WALL BY A MINIMUM OF TWO (2) METAL STUDS OR TWO (2) WOOD STUDS. ALL PARTITION WALLS SHALL BE CONFINED TO THE PERIPHERY OF THE WALL BY A MINIMUM OF TWO (2) METAL STUDS OR TWO (2) WOOD STUDS.
2. ALL BATHROOMS, KITCHENS, BREAK ROOMS, & KITCHENS SHALL BE CONFINED TO THE PERIPHERY OF THE WALL BY A MINIMUM OF TWO (2) METAL STUDS OR TWO (2) WOOD STUDS.
3. INTERIOR METAL STUDS SHALL BE CONFINED TO THE PERIPHERY OF THE WALL BY A MINIMUM OF TWO (2) METAL STUDS OR TWO (2) WOOD STUDS.
4. EXTERIOR METAL STUDS SHALL BE CONFINED TO THE PERIPHERY OF THE WALL BY A MINIMUM OF TWO (2) METAL STUDS OR TWO (2) WOOD STUDS.
5. ALL JOINTS IN FRAMING SHALL BE CONFINED TO THE PERIPHERY OF THE WALL BY A MINIMUM OF TWO (2) METAL STUDS OR TWO (2) WOOD STUDS.
6. ALL JOINTS IN FRAMING SHALL BE CONFINED TO THE PERIPHERY OF THE WALL BY A MINIMUM OF TWO (2) METAL STUDS OR TWO (2) WOOD STUDS.
7. FLOOR DRAINS SHALL BE CONFINED TO THE PERIPHERY OF THE WALL BY A MINIMUM OF TWO (2) METAL STUDS OR TWO (2) WOOD STUDS.
8. UNLESS INDICATED OTHERWISE, FLOOR MATERIALS SHALL BE CONFINED TO THE PERIPHERY OF THE WALL BY A MINIMUM OF TWO (2) METAL STUDS OR TWO (2) WOOD STUDS.
9. WHERE RATED PARTITIONS ARE PENETRATED BY FIRE EXTINGUISHER MOUNTING PANELS, ELECTRICAL DISTRIBUTION PANELS, AIR CONDITIONING UNITS, OR OTHER PENETRATIONS, THE PARTITION SHALL BE CONFINED TO THE PERIPHERY OF THE WALL BY A MINIMUM OF TWO (2) METAL STUDS OR TWO (2) WOOD STUDS.
10. WHERE OPENINGS IN INTERIOR PARTITION WALLS OR CEILING JOISTS ARE MADE, THE PARTITION SHALL BE CONFINED TO THE PERIPHERY OF THE WALL BY A MINIMUM OF TWO (2) METAL STUDS OR TWO (2) WOOD STUDS.
11. PROVIDE DOOR CONTROL JOINTS FOR ANY WALLS WITH UNINTERRUPTED LENGTHS OF 10 FEET OR MORE.
12. CONTROL JOINTS AT ALL EXPOSURES SHALL BE CONFINED TO THE PERIPHERY OF THE WALL BY A MINIMUM OF TWO (2) METAL STUDS OR TWO (2) WOOD STUDS.

Wall Types Legend

FIRE RESISTANCE RATING	WALL INSULATION	WALL STUD & FINISH
1	NONE	WOOD STUD & FINISH
2	1 HOUR	WOOD STUD & FINISH
3	2 HOUR	WOOD STUD & FINISH
4	4 HOUR	WOOD STUD & FINISH

WALL CONSTRUCTION	WALL TYPE
1" METAL STUD	1
2" METAL STUD	2
3" METAL STUD	3
4" METAL STUD	4
2" WOOD STUD	5
3" WOOD STUD	6
4" WOOD STUD	7
OTHER	8

Wall Types (EXTENSION DETAILS WITH NUMBERS IDENTIFIED WITH LETTERS)



1. Second Floor Plan
SCALE: 1/8" = 1'-0"

dixon
517 Adams St. #100
Ann Arbor, MI 48106
Tel: (734) 462-1100
Fax: (734) 462-7145
www.dixoncorp.com

AL Woodhouse
1000 Kumbia St. #2
Grand Rapids, MI 49517
Tel: (616) 351-3731
www.alwood.com

River's Edge of Cascade
1871 Howard St. Riverdale, SE
Grand Rapids, MI 49504

River's Edge of Cascade
2880 7th Street, SE
Grand Rapids, Michigan
Second Floor Plan

Revision:

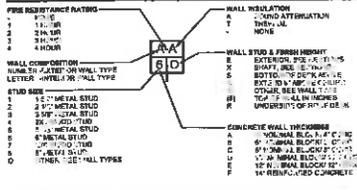
Project No: 215144
Drawn Date: 05/12/18
Rev. name: KCD
C. name: RPH

A2.2

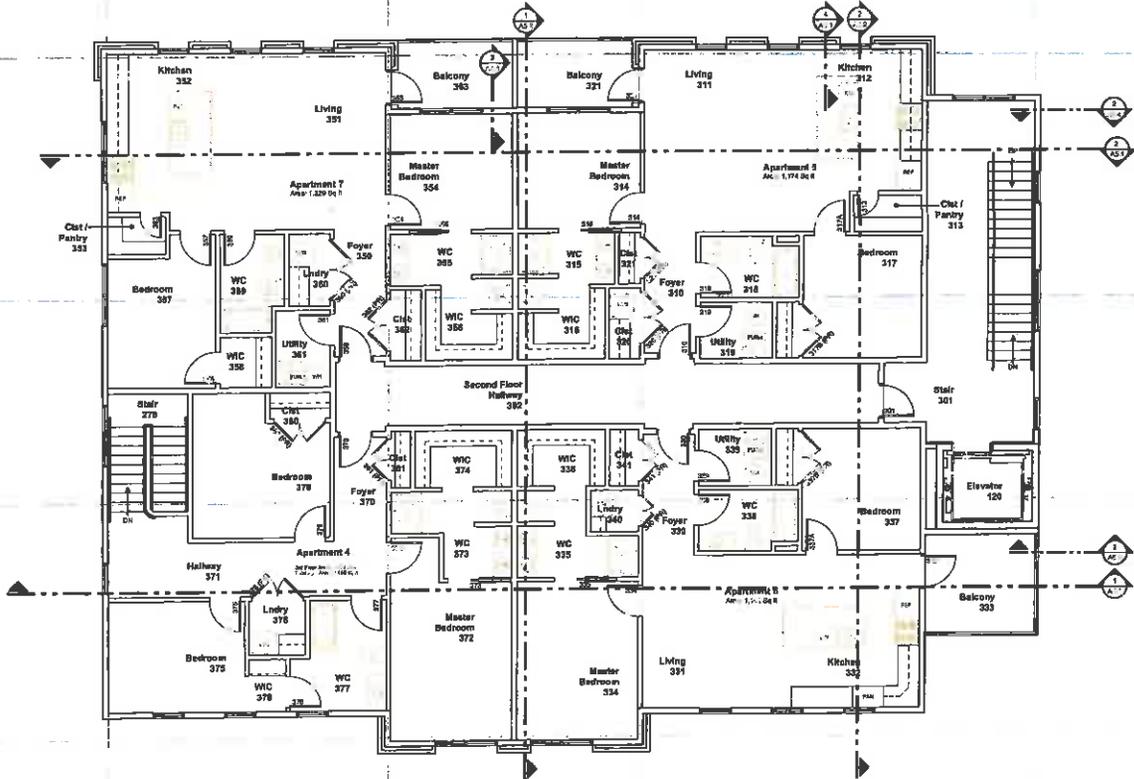
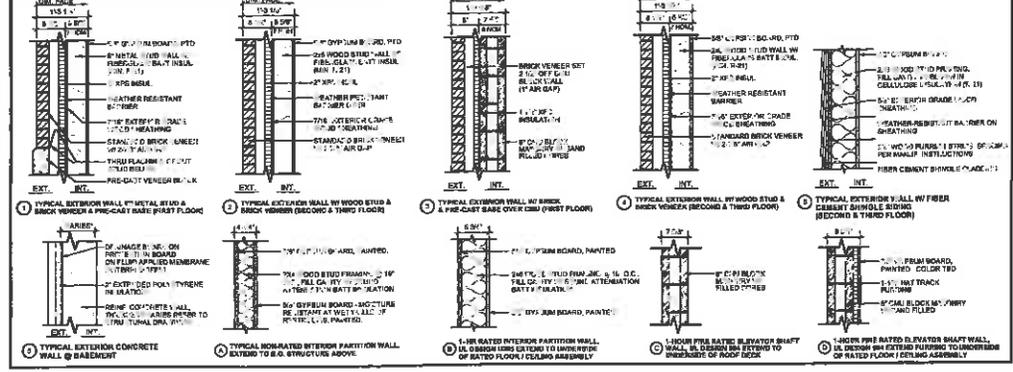
General Notes

1. UNLESS NOTED OTHERWISE, ALL INTERIOR PARTITION WALLS SHALL BE CONSTRUCTED OF 5/8" METAL STUDS @ 16" O.C. WITH 1/2" GYPSUM BOARD ON BOTH SIDES. TOP OF BOARD PARTITION WALLS SHALL BE FINISHED TO MATCH EXISTING FINISH. BOTTOM OF BOARD PARTITION WALLS SHALL BE FINISHED TO BOTTOM OF STRU. FLOOR. EXTERIOR GYPSUM BOARD SHALL BE 5/8" THICK. ALL FIRE RATED PARTITION WALLS SHALL EXTEND TO TOP FLOOR STRUCTURE AND FIRE-CAUSE.
2. ALL BATHS, TOILETS, KITCHENS, PANTRY'S AND KITCHEN ISLANDS SHALL BE CONSTRUCTED WITH A MOISTURE RESISTANT BOARD.
3. REFLECT TO ALL INTERIOR AND EXTERIOR ELEVATIONS FOR EXTERIOR FINISH MATERIALS.
4. INTERIOR METAL STUD WALLS SHALL BE DETECTED BY METAL STUD SURVEY. ALL UNDESIRED WALLS THAT COME IN CONTACT WITH SIMILAR MATERIAL SHALL BE TRACED TO NEAREST DECAY ANCHOR OR A BARRIER TO PREVENT FURTHER TRANSMISSION.
5. ALL METAL TO METAL CONTACTS SHALL BE PROTECTED WITH AN ANTI-CORROSION GALVANIC GALVANIC PAINT.
6. FLOORING SHALL BE INSTALLED OVER ALL FLOORING. ALL FLOORING SHALL BE INSTALLED OVER ALL FLOORING.
7. UNLESS INDICATED OTHERWISE, FLOORING SHALL BE INSTALLED OVER ALL FLOORING.
8. UNLESS INDICATED OTHERWISE, PARTITION WALLS SHALL BE CONSTRUCTED WITH 5/8" METAL STUDS @ 16" O.C. WITH 1/2" GYPSUM BOARD ON BOTH SIDES. TOP OF BOARD PARTITION WALLS SHALL BE FINISHED TO MATCH EXISTING FINISH. BOTTOM OF BOARD PARTITION WALLS SHALL BE FINISHED TO BOTTOM OF STRU. FLOOR. EXTERIOR GYPSUM BOARD SHALL BE 5/8" THICK. ALL FIRE RATED PARTITION WALLS SHALL EXTEND TO TOP FLOOR STRUCTURE AND FIRE-CAUSE.
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Wall Types Legend



Wall Types (EXTERIOR - DESIGNATED WITH NUMBERS; INTERIOR - DESIGNATED WITH LETTERS)



Oxon
 5174 Ave. C
 Suite 100
 Portland, OR 97206
 Phone: 503-253-4370
 Fax: 503-253-4375
 www.oxon.com

SPENCER
 1000 NE Oregon St.
 Suite 100
 Portland, OR 97232
 Phone: 503-253-4370
 Fax: 503-253-4375
 www.spencer.com

River's Edge of Cascade
 2829 Thompson Road, Suite 100
 Corvallis, OR 97331

River's Edge of Cascade
 2829 Thompson Road, Suite 100
 Corvallis, OR 97331
 Third Floor Plan

Revised:

Project No: 213144
 Issue Date: 05/18/10
 Revised: KCD
 Drawn By: PJH

A2.3



1. Southwest Elevation

SCALE: 1/8" = 1'-0"



CURR. MATERIAL	MANUFACTURER	STYLE	COLOR	LAB. #	MATERIAL	MANUFACTURER	STYLE	COLOR
11	BUCKLE BRICK - CANTON BR. CO.	TBD	TEAL	TBD	21	WOOD - LAM. C. LINEN	TBD	TBD
12	FIBER CEMENT LAP SIDING	TBD	SP. BRN'S. GRE.	COLOR 1	22	EXTENSIVE LIGHT FIXTURE 1	TBD	TEAL
13	TRIM BOARD	TBD	TBD	TBD	23	EXTENSIVE LIGHT FIXTURE 2	TBD	TBD
14	FIBERGLASS CORRUG. 2	TRUS-A-TRU	TBD	TEAL	24	EXTENSIVE LIGHT FIXTURE 3	TBD	TBD
15	TRIM BOARD	TBD	TBD	TBD	25	PRECAST CONC. ALUMIN.	TBD	TBD
16	TRIM BOARD	TBD	TBD	TBD	26	PRECAST CONC. ALUMIN.	EMERY 5	TBD
17	TRIM BOARD	TBD	TBD	TBD	27	PRECAST CONC. ALUMIN.	EMERY 5	TBD
18	TRIM BOARD	TBD	TBD	TBD	28	PRECAST CONC. ALUMIN.	EMERY 5	TBD
19	TRIM BOARD	TBD	TBD	TBD	29	PRECAST CONC. ALUMIN.	EMERY 5	TBD
20	TRIM BOARD	TBD	TBD	TBD	30	PRECAST CONC. ALUMIN.	EMERY 5	TBD
21	TRIM BOARD	TBD	TBD	TBD	31	PRECAST CONC. ALUMIN.	EMERY 5	TBD
22	TRIM BOARD	TBD	TBD	TBD	32	PRECAST CONC. ALUMIN.	EMERY 5	TBD
23	TRIM BOARD	TBD	TBD	TBD	33	PRECAST CONC. ALUMIN.	EMERY 5	TBD
24	TRIM BOARD	TBD	TBD	TBD	34	PRECAST CONC. ALUMIN.	EMERY 5	TBD
25	TRIM BOARD	TBD	TBD	TBD	35	PRECAST CONC. ALUMIN.	EMERY 5	TBD
26	TRIM BOARD	TBD	TBD	TBD	36	PRECAST CONC. ALUMIN.	EMERY 5	TBD
27	TRIM BOARD	TBD	TBD	TBD	37	PRECAST CONC. ALUMIN.	EMERY 5	TBD
28	TRIM BOARD	TBD	TBD	TBD	38	PRECAST CONC. ALUMIN.	EMERY 5	TBD
29	TRIM BOARD	TBD	TBD	TBD	39	PRECAST CONC. ALUMIN.	EMERY 5	TBD
30	TRIM BOARD	TBD	TBD	TBD	40	PRECAST CONC. ALUMIN.	EMERY 5	TBD
31	TRIM BOARD	TBD	TBD	TBD	41	PRECAST CONC. ALUMIN.	EMERY 5	TBD
32	TRIM BOARD	TBD	TBD	TBD	42	PRECAST CONC. ALUMIN.	EMERY 5	TBD
33	TRIM BOARD	TBD	TBD	TBD	43	PRECAST CONC. ALUMIN.	EMERY 5	TBD
34	TRIM BOARD	TBD	TBD	TBD	44	PRECAST CONC. ALUMIN.	EMERY 5	TBD
35	TRIM BOARD	TBD	TBD	TBD	45	PRECAST CONC. ALUMIN.	EMERY 5	TBD
36	TRIM BOARD	TBD	TBD	TBD	46	PRECAST CONC. ALUMIN.	EMERY 5	TBD
37	TRIM BOARD	TBD	TBD	TBD	47	PRECAST CONC. ALUMIN.	EMERY 5	TBD
38	TRIM BOARD	TBD	TBD	TBD	48	PRECAST CONC. ALUMIN.	EMERY 5	TBD
39	TRIM BOARD	TBD	TBD	TBD	49	PRECAST CONC. ALUMIN.	EMERY 5	TBD
40	TRIM BOARD	TBD	TBD	TBD	50	PRECAST CONC. ALUMIN.	EMERY 5	TBD



2. Northeast (Cascade Side) Elevation

SCALE: 1/8" = 1'-0"



oxon
 119 Ash Drive SE, Suite 112
 PO Box 401
 Ash, WA 98004
 P: (360) 885-4770
 F: (360) 885-5769
 www.oxon.com

ag
 1000 Keweenaw St. SE
 Grand Rapids, MI 49502
 P: (616) 951-3731
 www.ag-arc.com

River's Edge of Cascade
 2889 Thornapple River Drive SE
 Grand Rapids, MI 49546

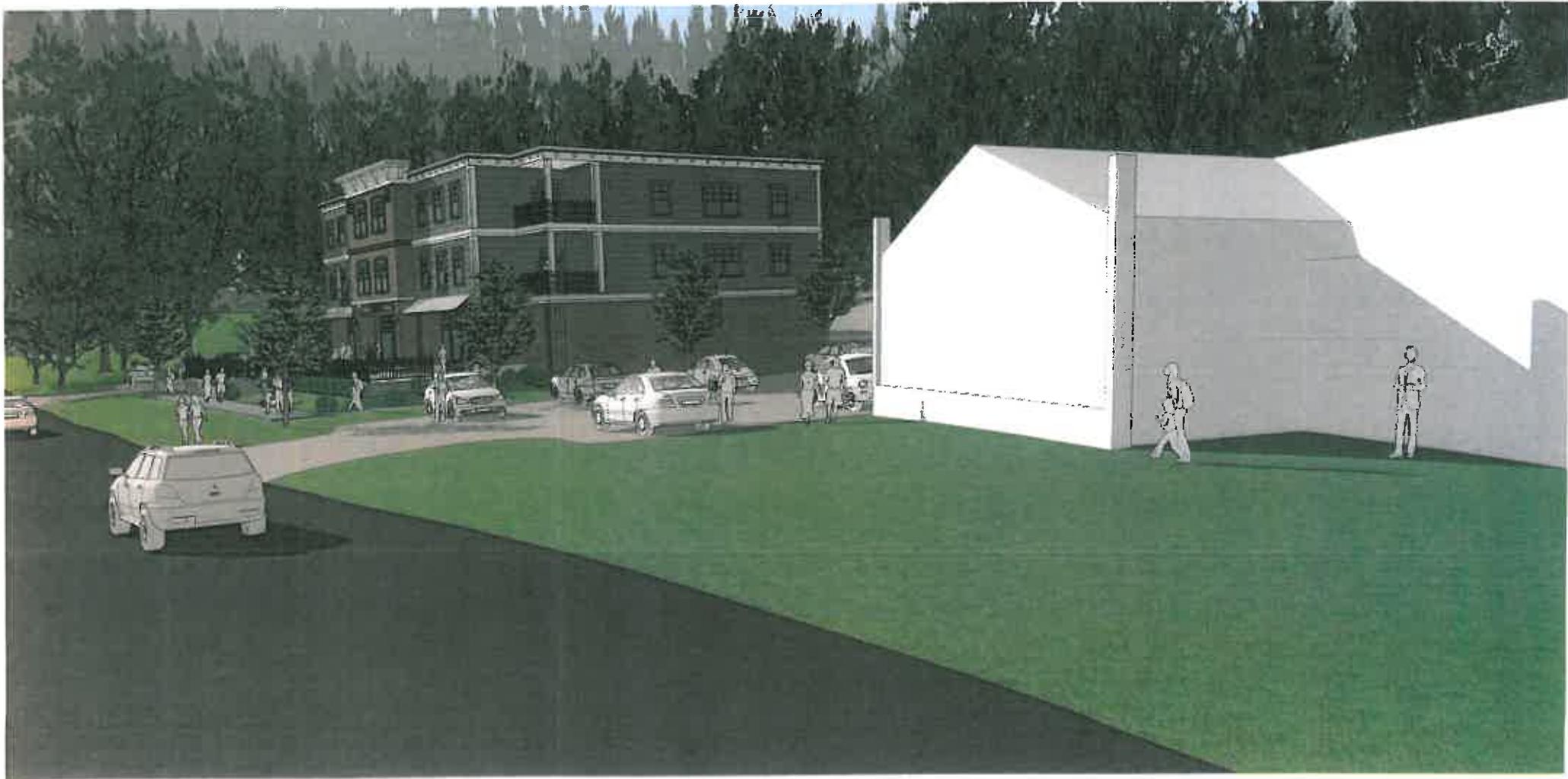
Thornapple Mixed-Use Building
 2889 Thornapple River Drive SE
 Grand Rapids, Michigan
Exterior Elevations

7. Rev. No.:

Project No.: 232144
 Issue Date: 08/28/18
 Reviewer: KCD
 Drawn By: P.B.

A4.2





Memorandum

To: Cascade Charter Township Planning Commission
From: Steve Peterson, Community Development Director
Subject: Case 16-3305 Spruce Meadows PUD Amendment
Meeting date: October 3, 2016

At the Public hearing on September 12, 2016 the Planning Commission awarded preliminary approval of the site plan and instructed staff to write the PUD amendment for the project.

The applicant has reviewed the PUD Ordinance changes and has agreed with the language.

I recommend that you forward a positive recommendation to the Township Board for approval of the PUD amendment and revised site plan.

The Township Board will hold an additional public hearing to consider your recommendation.

Attachments: Proposed PUD Ordinance
Site Plan

CASCADE CHARTER TOWNSHIP
Ordinance # of 2016
AN ORDINANCE TO AMEND ORDINANCE #4 OF 1994, THE
SPRUCE MEADOWS
PLANNED UNIT DEVELOPMENT PROJECT

CASCADE CHARTER TOWNSHIP ORDAINS:

Section 1. Amendment to the Spruce Meadows PUD Ordinance

Section VI.B. Design Guidelines, Requirements and Limitation

This section will be amended to read as follows:

- B. Site Development Standards for the Hotel site. (amended by Ord No 6 of 2007)
 - a. Maximum height – 40 feet or 4 stories whichever is the lesser.
 - b. Setback Requirements:
 - i. Front: 80 feet
 - ii. Side: 25 feet
 - iii. Rear: 50 feet
 - c. Maximum Hotel Size – 114 room 16,000 square feet footprint.
 - d. The lot size and site shall be developed in accordance with the approved site plan dated 8/4/16 and the approved elevation pan dated 5-25-16. These plans shall be signed by the Township.

Section VI.D.2. Design Guidelines, Requirements and Limitation

This section will be amended to read as follows:

- 2. The landscaping and bufferyards for the hotel site shall be in compliance with the landscape plan dated 8/4/16.

Section X.C Miscellaneous Development Requirements

This section shall be added to read as follows:

- C. Each individual site shall be required to enter into a storm water maintenance agreement at the time the site plan is approved in a form acceptable to the Township.

Section 2. Effective Date

This PUD Ordinance amendment shall become effective upon publication in the Grand Rapids Press, a newspaper of general circulation within Cascade Charter Township.

Section 3. Effect

The Cascade Charter Township Zoning Ordinance, as amended, and the remainder of Ordinance #4 of 1994, as amended, except as otherwise expressly amended herein, shall remain in full force and effect.

The foregoing Ordinance amendment was offered by Board Member _____ supported by Board Member _____. The roll call vote being as follows:

YEAS:

NAYS:

ABSENT:

ABSTAIN:

ORDINANCE DECLARED ADOPTED.

Clem Bell
Cascade Charter Township Clerk

CERTIFICATION

I hereby certify the foregoing to be a true copy of an Ordinance adopted at a Regular Meeting of the Cascade Charter Township Board on the ____ day of October 2016.

Clem Bell
Cascade Charter Township Clerk

TITLE



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Printed 9/28/2016 10:36:44 AM

STAFF REPORT

STAFF REPORT: Case #16-3334
REPORT DATE: September 23, 2016
PREPARED FOR: Cascade Charter Township Planning Commission
MEETING DATE: October 3, 2016
PREPARED BY: Steve Peterson, Community Development Director

APPLICANT:
Shaun Burkett
Suburban Landscapes
9500 Cascade Rd
Lowell MI 49331

STATUS
OF APPLICANT: Property Owner

REQUESTED ACTION: The applicant is requesting site plan approval for a 3,800 sq ft addition.

EXISTING ZONING OF
SUBJECT PARCEL(S): FP

GENERAL LOCATION: Southwest corner of Cascade Rd and Snow Ave

PARCEL SIZE: Approximately 36 acres.

EXISTING LAND USE
ON THE PROPERTY: Landscape Nursery

ADJACENT AREA
LAND USES: Agricultural

ZONING ON
ADJOINING PARCELS: FP

STAFF COMMENTS:

1. The applicant wants to construct a new addition on to the building to accommodate additional vehicle storage.
2. This property was awarded a special use permit and site plan approval in 2006 for this use. They have operated at this location since with no complaints. A recent inspection of the site showed that they are operating within the confines of the special use permit.
3. The addition is in the middle of the site and meets setback requirements. In order to stay in compliance with the special use permit they must continue to comply with section 17.07.2.j of the zoning ordinance (attached)
4. This project does not increase an impervious surface since it is already a gravel parking lot. The applicant is already capturing storm water in containers in order to irrigate material at the site. They also have a 12' wide drainage area around the south side of the site to help with drainage.

STAFF RECOMMENDATION

Approve the site plan addition.

Attachments: Application
 Site Plan
 Landscape nursery requirements



CASCADE CHARTER TOWNSHIP

2865 Thornhills SE Grand Rapids, Michigan 49546-7140

PLANNING & ZONING APPLICATION

APPLICANT: Name: Shaun Burkot
 Address: 9500 cascade
 City & Zip Code: Ada MI 49301
 Telephone: 616 868-6500
 Email Address: Burkotse@hotmail.com

OWNER: * (If different from Applicant)
 Name: _____
 Address: _____
 City & Zip Code: _____
 Telephone: _____
 Email Address: _____

NATURE OF THE REQUEST: (Please check the appropriate box or boxes)

<input type="checkbox"/> Administrative Appeal	<input type="checkbox"/> Administrative Site Plan Review
<input type="checkbox"/> Deferred Parking	<input type="checkbox"/> P.U.D. – Rezoning *
<input type="checkbox"/> P.U.D. – Site Condominium *	<input type="checkbox"/> Rezoning
<input checked="" type="checkbox"/> Site Plan Review *	<input type="checkbox"/> Sign Variance
<input type="checkbox"/> Special Use Permit	<input type="checkbox"/> Subdivision Plat Review *
<input type="checkbox"/> Zoning Variance	<input type="checkbox"/> Other: _____

** Requires an initial submission of 5 copies of the completed site plan.*

BRIEFLY DESCRIBE YOUR REQUEST:**
Building addition
* all roof water is collected for watering of nursery

(**Use Attachments if Necessary)
-SEE OTHER SIDE-

Assessing
949-6176

Building
949-3765

Buildings & Grounds
682-4836

Clerk
949-1508

Director
949-1320

Manager
949-1500

Planning
949-0224

Treasurer
949-6944

LEGAL DESCRIPTION OF PROPERTY:**

E 676.5 FT of NE 1/4 Ex N 330 ft of E 198 FT
E Ex STL US16 Relocated E Ex W 100 ft of
N 330 ft * Soc 25 T6W R 10W 34.51 A

(**Use Attachments if Necessary)

PERMANENT PARCEL (TAX) NUMBER: 41-19 25-200-006

ADDRESS OF PROPERTY: 9500 Cascade Dr

PRESENT USE OF THE PROPERTY: Nursery

**NAME(S) & ADDRESS(ES) OF ALL OTHER PERSONS, CORPORATIONS, OR FIRMS HAVING A LEGAL OR
EQUITABLE INTEREST IN THE PROPERTY:**

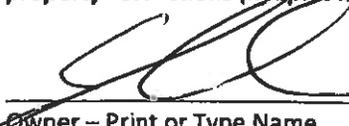
Name(s)

Address(es)

SIGNATURES

I (we) the undersigned certify that the information contained on this application form and the required documents attached hereto are to the best of my (our) knowledge true and accurate. I (we) also agree to reimburse the Cascade Charter Township for all costs, including consultant costs, to review this request in a timely manner. I (we) understand that these costs may also include administrative reviews which may occur after the Township has taken action on my (our) request.

I (we) the undersigned also acknowledge that the proposed project does not violate any known property restrictions (i.e., plat restrictions, deed restrictions, covenants, etc.)

 9/16/16

Owner – Print or Type Name
(*If different from Applicant)

Applicant – Print or Type Name

* _____
Owner's Signature & Date
(*If different from Applicant)

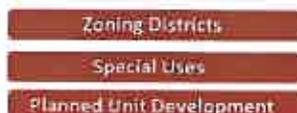
Applicant's Signature & Date

PLEASE ATTACH ALL REQUIRED DOCUMENTS NOTED IN THE PROCESS REVIEW SHEET – THANK YOU

Rev. 7/24/14

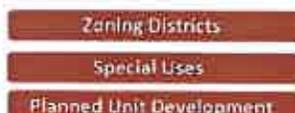
Chapter 17 Special Uses

- 4) Proper measures shall be taken to minimize the nuisance of noise and flying dust or rock. Such measures may include, when considered necessary, limitations upon the practice of stockpiling material upon the site, watering and paving.
 - 5) When processing operations are completed, all structures shall be removed and the affected area shall be reconditioned to support complete re-vegetation. No gradients in disturbed earth shall be steeper than a slope of 3:1(horizontal-vertical). A layer of arable topsoil shall be spread over the affected area to a minimum depth of four (4) inches. The area shall be seeded with a perennial rye grass and maintained until the area is stabilized and approved by the Planning Director.
 - 6) In granting approval the Township Board may require the posting of a letter of credit or certified check to insure compliance with this section.
 - 7) Upon approval of the application and approval of any required surety, the Building Inspector shall issue any necessary building permits and a temporary occupancy permit for a one (1) year period.
 - 8) An occupancy permit may be renewed for up to one (1) year at a time or for the duration of an accepted surety whichever is less, upon a finding by the Township Board that all conditions and plans are being complied with and no nuisance has been created by prior operations. Where any new area is to be considered, or where any area not shown by the original site plan is to be included, the procedures for a new application shall be followed.
 - 9) The Building Inspector shall revoke an occupancy permit where operations do not conform to approved plans or special conditions. All operations shall cease fourteen (14) days following notification by the Building Inspector of such violations unless such conditions are corrected. Reinstatement of a revoked permit shall require a new application and approval therefore.
- i. **Truck freight terminals and yards, public utility and private contractor storage and service yards in association with special services requiring bases of operation and outdoor storage of equipment and material, excluding the major repair of equipment.**
 - 1) A minimum lot size of three (3) acres.
 - 2) The minimum setback for use and structures other than employee and customer parking shall be 100 feet from the street right-of-way and 50 feet from side or rear property line.
 - 3) A buffer strip shall be required along all property lines.
 - 4) Repair of vehicles shall be done within a totally enclosed building.
 - 5) The storage of vehicle parts or inoperable vehicles shall be done within an enclosed building.
 - 6) Except for visitor parking, operable vehicle parking and storage and all material storage shall be within a fenced area.
 - j. **Nurseries and greenhouses with associated limited retail and wholesale trade of nursery stock raised on the premises.**
 - 1) Minimum parcel size shall be 15 acres.
 - 2) All buildings shall be located a minimum of 100 feet from the front property line and 50 feet from any side and rear property lines.
 - 3) All machinery and equipment, except for motor vehicles and trailers used in the conduct of business, shall be stored within a completely enclosed building.
 - 4) Motor vehicles and trailers shall be stored indoors, out-of-view when not in use for longer than a two-week period.
 - 5) Motor vehicles, trailers, and stockpiled materials, such as topsoil, wood mulch, bark, stone, balled and burlapped plant materials and "heeled-in" plant materials, shall be stored a minimum of 100 feet from the front property line and 50 feet from any side or rear property line, in locations which minimize visual impacts of such materials on adjoining properties and adjoining public roads. Permanent landscaping shall be installed as needed to accomplish this objective.

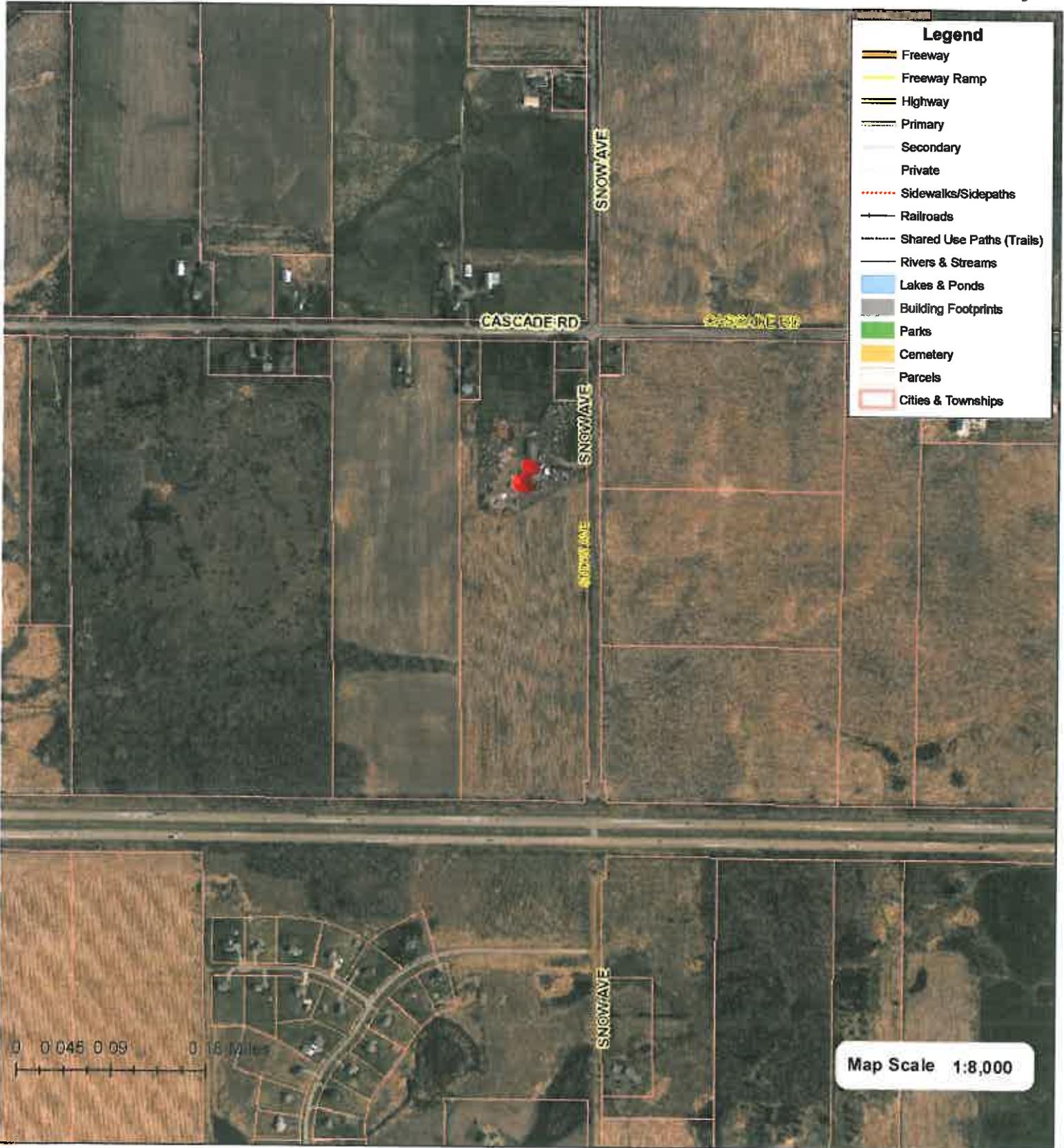


Chapter 17 Special Uses

- 6) Retail and wholesale sales on the premises to the general public shall be limited to nursery and/or greenhouse stock raised on site.
 - 7) No freestanding light poles shall be erected or lights placed on buildings unless deemed necessary in the special use permit review process for safety reasons. Light poles shall not exceed 20 feet in height. Light shall be directed downward and shall not reflect off the premises.
 - 8) Activities on the premises shall be limited to those associated with running a nursery or greenhouse, unless prior special approval is granted by the township.
 - 9) The storage of any fertilizer, chemical or loosely packed material shall be maintained and contained so as to prevent adverse effects upon adjacent properties. (This subsection added by Ordinance #2 of 1997)
- k. **Auto repair shops and garages and car washes.**
- 1) No subject facility existing on the effective date of this Ordinance shall be altered so as to provide a lesser degree of conformance with the provisions of this section than existed on said date.
 - 2) All repair lubrication and service work shall be done within an enclosed building.
 - 3) All storage and display of equipment, materials and merchandise, with the exception of fuel shall be within the building.
 - 4) All outside storage areas for trash, used tires, auto parts and similar items shall be enclosed by a six (6) foot high solid wall or fence.
 - 5) The storage of automobiles, trucks, or trailers for a period in excess of 72 hours or the sale or rental thereof is expressly prohibited without specific approval as part of the special use approval.
 - 6) Vacuuming activities shall not be located in the front yard and shall be at least 50 feet from any adjoining side or rear property line.
 - 7) No vehicle wash establishment shall permit patrons to extend lines of vehicles off the premises.
 - 8) All washing activities must be within a building.
- 9) No more than two (2) curb-cuts shall be constructed to provide ingress and egress. (This subsection amended by Ordinance #6 of 1993)
- l. **New and used car sales and rentals.**
- 1) The display of new and used cars shall not be carried out within any required front yard greenstrip area.
 - 2) All outdoor vehicle display areas shall be of an improved paved surface.
 - 3) Vehicle display or storage shall not be carried out within areas required for visitor, employee or service parking.
 - 4) Vehicle service and repair shall be carried out in accordance with the provisions of Section 17.07(2k) above.
- m. **Roadside stands as defined in Chapter 3.**
- 1) All structures and uses associated with the operation which are of a temporary nature shall be removed when the operation is not active.
 - 2) Adequate off-street parking maintained in a dust free condition shall be provided.
 - 3) The operation is located no less than one hundred (100) feet from any adjacent residential dwelling.
 - 4) The minimum setback for all uses and structures associated with the operation shall be in accordance with the minimum setbacks for residential buildings in the district.
 - 5) Signs shall be subject to the regulations relating to signs in the district as regulated by the Cascade Charter Township Sign Ordinance.
- n. **Transitional Uses.**
- In addition to other permitted uses or special uses which may be provided for, the first ARC, R-1 or R-2 zoned lots or the first 100 feet of unplatted street frontage with a depth not to exceed 200 feet with a side yard adjoining a B-1, B-2, ES, O or I zone may be utilized for the following uses.
- 1) Two-family dwelling units.
 - 2) Offices, including administrative, architectural, engineering, accounting, law, medical, dental, real estate and other typical offices provided that there is no sale of



TITLE



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