

**AGENDA**  
**Cascade Charter Township Planning Commission**  
**Monday, June 6, 2016**  
**7:00 pm**  
**Cascade Library Wisner Center**  
**2870 Jacksmith Ave. SE**

- ARTICLE 1. Call the meeting to order  
Record the attendance**
- ARTICLE 2. Pledge of Allegiance to the flag**
- ARTICLE 3. Approve the current Agenda**
- ARTICLE 4. Approve the Minutes of the May 16, 2016 meeting**
- ARTICLE 5. Acknowledge visitors and those wishing to speak to non-agenda items.  
(Comments are limited to five minutes per speaker.)**
- ARTICLE 6. Case # 14:3208 Thornapple Hilltop / PUD  
Property Address: 6868 Cascade Rd  
Requested Action: The applicant is requesting an extension of site plan approval for another year.**
- ARTICLE 7. Case # 16:3305 Cascade Hospitality-Spruce Meadows  
Public Hearing  
Property Address: 5375 28<sup>th</sup> St. Ct.  
Requested Action: The applicant is requesting to amend the Spruce Meadows PUD to allow for new hotel.**
- ARTICLE 8. Case #16-3309 Riebel / PUD Redwood  
Public Hearing  
Property Address: 6370 28<sup>th</sup> St.  
Requested Action: The applicant is requesting to amend the Riebel development to allow a 60 unit apartment development.**
- ARTICLE 9. Any other business**
- ARTICLE 10. Adjournment**

**Meeting format**

1. *Staff Presentation* *Staff report and recommendation*
2. *Project presentation-* *Applicant presentation and explanation of project*
  - a. **PUBLIC HEARINGS**
    - i. *Open Public Hearing.* *Comments are limited to five minutes per speaker; exception may be granted by the chair for representative speakers and applicants*
    - ii. *Close public hearing*
3. *Commission discussion – May ask for clarification from applicant, staff or public*
4. *Commission decision - Options*
  - a. *Table the decision*
  - b. *Deny*
  - c. *Approve*
  - d. *Approve with conditions*
  - e. *Recommendation to Township Board*

## MINUTES

Cascade Charter Township Planning Commission  
Monday, May 16, 2016  
7:00 P.M.

**ARTICLE 1.** Chairman Waalkes called the meeting to order at 7:00 PM.  
Members Present: Lewis, Mead, Pennington, Robinson, Sperla, Williams  
Members Absent: Member Katsma (Excused) Member Rissi (Excused)  
Others Present: Community Development Director, Steve Peterson, and others listed on the sign in sheet.

**ARTICLE 2.** Pledge of Allegiance to the flag.

**ARTICLE 3.** Approve the current Agenda.

**Motion to adjust the Agenda to move discussion of Article 7 before Article 6 by Member Lewis to approve the amended Agenda. Support by Member Pennington. Motion carried 7-0.**

**ARTICLE 4.** Approve the Minutes of the April 18, 2016 meeting.

**Motion by Member Lewis to approve the minutes of the April 18, 2016 as written. Support by Member Pennington. Motion carried 7-0.**

**ARTICLE 5.** Acknowledge visitors and those wishing to speak to non-agenda items (Comments are limited to five minutes per speaker.)

No one wished to speak on a non-agenda item.

**ARTICLE 6.** Case # 16:3301 Patrick Keeler

**Public Hearing**

**Property Address: 8100 45<sup>th</sup> St**

**Requested Action: The applicant is requesting a Type II Special Use Permit to allow river association members to launch and retrieve boats.**

Director Peterson stated the location is 45th St. between Whitneyville and Cherry Lane. The request is an addition to an accessory building over 832 sq. ft., it is just over 1500 sq. ft. total, the site plan in the packet shows the addition to the existing building. On a recent site inspection, I did find a small plastic out building on the property, it has a roof, so we define that as a building.

Technically this piece of property is only allowed one accessory building, so that particular building has to come down, with or without this project. I believe this building is on the larger side. I am recommending approval with the condition

that the small plastic building be removed and that the accessory building is not used for any business purposes. Member Lewis wanted to make a correction on the presentation, that they not use it for business purposes or for living space. No opposition has been heard on this addition.

Chairman Waalkes asked the Applicant to come forward with comments.

Patrick Keeler, 8100 45<sup>th</sup> St, I did want to address anyone that would have any opposition to the accessory building. I have spoken to my closest neighbors and they have not stated any opposition.

Member Mead asked the reason for the **large** size of the building. The Applicant stated that he wants to put two 10' doors on the building and he needed to be at **24x28** or the 2<sup>nd</sup> door would not fit. My mother-in-law has antique cars that we want to be able to get into the building for storage.

Member Sperla asked the Applicant if he was going to remove the other building from the site. The Applicant stated that is was his intention to remove the building.

Member Mead asked if the building would be plumbed and electric service. The Applicant stated that it would have electric only.

**Member Robinson made a motion to open the Public Hearing. Support by Member Lewis. Motion carried 7-0.**

No one wished to speak at the Public Hearing.

**Member Mead made a motion to close the Public Hearing. Second by Member Sperla. Motion carried 7-0.**

**Member Sperla made a motion to approve the Special Use Permit for Case #16:3301 Patrick Keeler. Second by Member Robinson. Motion passes 7-0.**

**ARTICLE 7. Case #16:3303 Cascade Thornapple River Association  
Public Hearing  
Property Address: 7238 Cascade Road  
Requested Action: The Applicant is requesting TYPE II Special Use Permit to allow river association member to launch and retrieve boats.**

Director Peterson presented the case. The Type II Special Permit is a little different, in that, the Planning Commission will make a recommendation to the

Township Board and Board will make the final decision. They have been after a boat launch for their members for a number of years as our Ordinance stated that access to the river is allowed for only those that have property on the river of have deeded rights to the river prior to November of 1995. This means that there are a lot of people that have rights to the river but have no access. Some of the neighborhoods like Goodwood, Maracaibo Shores, Whispering Ridge and Kilmer have their own neighborhood launch sites. The River Association extends from the Cascade Road dam to 68<sup>th</sup> St so there is a piece of it that is in Caledonia Township. Based on the literature from the River Association there are about 150 members of the association. It is being set up on a private piece of property owned by Scott and Hazel Rissi. They have access and would allow for the launching based on an appointment process. Property is over an acre and the driveway is long enough to allow cars to get off of Cascade Rd and if there were people waiting there is enough space to pass. The River Association wants to use this to gage if it is working for the members and the property owner. I am recommending approval with the proposed rules and the rules recommended in the staff report.

Member Lewis asked if this launch is limited to a specific time of year to be used. They have in their rules that there is an appointment type setup and it is intended to be used in the spring to launch and fall for the retrieve. According to their rules, no greater than April 10 thru the second Sunday in May 9am-9pm and September thru the first Sunday in November 9am-9pm. Member Lewis wants to know if there are any other restrictions would apply to this river launch. Director Peterson thought this is better directed to their association, but indicated they have submitted a

**Chairman Waalkes asked the Applicant to come forward with comments.**

Hazel Rissi, 7238 Cascade Rd, stated that number 11 in the rules states that it would be a scheduled time, done at the property owner's discretion. It would not be all day every day. We did talk to the neighbors and they are on board with it. Member Mead asked if there is a fee associated with the launch. The Applicant responded that the current fee is \$100.00 per season per household and those are fees collected by the River Association. Also are there any Association members of record that don't own enough property to accommodate a boat for the season, if they just want to put the boat in for a day. Director Peterson states that Rule number 4 of their rules addresses that as no daytime use. Member Williams would like to know how many would pay the \$100.00 for the service to the River Association. Carl Mast, 7796 Thornapple Bayou, is Vice President of the River Association, responds that there are approximately 50 active members who do not have adequate access. Our membership is voluntary and this is another thing that we can offer to them.

Member Williams asked if the Applicant would get paid for every boat that is launched. The Applicant replied that some of the money would go to the property owner for maintenance of the ramp, dock and lawn. Chairman Waalkes asked how the Association is going to secure the launch. The Applicant replied that it will not be visible from the road so only the members will know it is there. Member Williams wonders if there will be a time span between each launch and if the cars will have ample space. The Applicant refers to the map and shows that there can potentially be three cars and boat trailers at a time without issue. Member Williams asked if there is any issue with the size of the boats. The Applicant replies that it is a deep ramp and can accommodate any size boat that fits in the river.

Member Lewis needs clarification on what is going to be voted. Are the 17 items and the three additional rules and that the Township be notified if there are any rules that are changed. Member Pennington reiterates that they are making a recommendation for approval of the Special Use Permit, and if any changes are made to their rules that the Township be notified. Chairman Waalkes agrees.

Member Mead asked Director Peterson if it creates any issue if the property owner will financially benefit from this commercial venture. Director Peterson would not categorize this as a commercial venture it is more for getting reimbursed to fix their lawn.

Member Pennington wants to know if the Applicant sells their property, is the next owner stuck with this situation or does this approval make it so the launch can be there. Director Peterson responds that the launch can be there as long as it continues to operate under the conditions that the Township grants, but the next owner can discontinue if they choose.

**Member Pennington made a motion to open the Public Hearing. Support by Member Sperla. Motion passes 7-0.**

Lyle Breem, 7196 Cascade Rd, lives next door to the Applicant. Scott and Hazel Rissi are members of the river association and know what members have paid and which have not. I have been launching boats for 24 years and the Rissi's will have to use that money to fix their lawn, as it will get torn up. We share the same driveway and I am the only one that sees it. I love that they are doing this.

Chuck Whitley, 5030 Sequoia Dr., I am on the board of the River Association. Getting this boat launch started will be a learning curve. I am concerned about the rules that get drafted, being that it is a one year test. What kind of wiggle room is there and do we have to go back to the Township or stop doing something. Being that it is a short window that the boats can launch. Chairman

Waalkes states that the 17 rules have to be followed. If there are any rule changes that need to be made, it will be small enough that Stephanie Fast can address those. Director Peterson says the one year time limit will determine what is working and what isn't.

David Lewis, 7310 Kilmer, I used to have a lot on the river without access and had a difficult time finding someone to let me on the river with their launch. I think with all the rules and regulations put in place this is a great help for people with **no** access.

Dave Mills, 7425 Kenrob DR SE, I have been in the area for many years and I think this solves a need and a problem. I credit the Rissi's and think this is a good thing.

Jeff Carpenter, 5016 Sequoia Dr., we support the granting of the Type II Special Use Permit for the Cascade Thornapple River Association, on the property owned by the Rissi's, regarding the use of the existing boat ramp at 7238 Cascade Rd for the river association members only.

Chairman Waalkes states that everything we have heard tonight seems to be in favor of the launch. I think that goes to communicating to everyone ahead of time instead of getting a notice of a public hearing.

Member Lewis wants to submit that the Township has no plans to add a ramp to the river for public use. Member Sperla states that government can get a bit too technical and strict on what people can do with their property and being that there is no opposition being expressed, I think this should be passed. Chairman Waalkes also states that the Townships has a Key hole Ordinance, where one person has property on the river and it is opened up to others not on the river. I think the rules and how this is set up through the association is a good way to do it.

**Member Pennington made a motion to close Public Hearing. Support by Member Mead. Motion carried 9-0.**

**Member Sperla made a motion to forward Planning Commission approval to the Cascade Township Board on Case #16:3303 to approve the Type II Special Use Permit with the following conditions:**

1. Approval of the proposed CTRA Boat launch rules you submitted.
  - i. As well as the following township conditions:
2. The CTRA add a rule that would require the Association to notify the Township Board of any proposed rule changes to the use and restriction for the launch site.

3. The township should be allowed to revoke launching privileges and/or close the launch site for violations.
4. Permit is granted for one year at that time this could be reviewed again by the Township for approval and/or modifications to the special use permit.
5. Member use only.
6. This approval is only good for the current property owner.
7. The property owner has the right to terminate the agreement with the CTRA.

**Support by Member Williams. Motion passes 9-0.**

**ARTICLE 8. Any other business.**

Member Lewis wanted to thank the members of the Planning Commission in the past. Those that sat through the period in time when the architects were requested to put flowers and bushes into the plans. I am proud of this board and those in the past. Cascade looks beautiful because of it. I tip my hat to them.

**ARTICLE 9. Adjournment**

**Motion made by Member Lewis to adjourn. Support by Member Robinson  
Motion carried 9-0. Meeting adjourned at 8:06 PM.**

Respectfully submitted,  
Scott Rissi, Secretary  
Ann Seykora/Julie Kutchins – Planning Administrative Assistant

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## PLANNING COMMISSION MEMORANDUM

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**To:** Cascade Charter Township Planning Commission  
**From:** Steve Peterson, Community Development Director  
**Subject:** Consider site plan extension for the Thornapple Hilltop project.  
**Meeting Date:** June 6, 2016

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The Township Board awarded P.U.D. rezoning for this project on February 25, 2015. Section 16.08.2 of the Zoning Ordinance requires that construction begin within one year after final approval is awarded. To date nothing has been started on site.

This section also allows the Township Board to approve an extension of the P.U.D. rezoning upon "good cause" shown. The applicant has asked that the Township Board approve the extension for another year. At the Township Board meeting on May 25, 2016 the Township Board extended the PUD rezoning approval but did not extend the site plan approval. The Township Board determined that the applicant did not meet the filing deadline to seek their approval for the site plan extension. Therefore, you are being asked to review the site plan again "in light of the prevailing conditions and applicable laws and ordinances".

Although we have not followed this same process before, we have approved other extensions before. I would suggest that there have been no changes to the prevailing conditions or laws and ordinances that would warrant anything other than an approval. In fact, those are the only standards that you should be applying in this case, rather than a "second shot" at the plan.

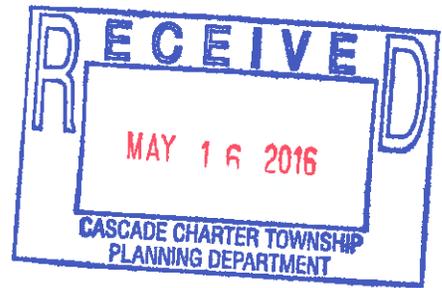
The applicant has indicated that the reasons for the delay in construction were due to family health related issues. They are now ready to get the project started. We have no issues with the project and I would recommend that we approve the site plan extension request for another year.

**Attachment:**

Section 16.08.2 of the Zoning Ordinance  
Request from applicant  
Approved Site plan

May 16, 2016

Steve Peterson  
Cascade Township



RE: PUD Approval for Thornapple Hilltop Townhomes

Dear Steve,

As you may recall my PUD approval for the Thornapple Hilltop Townhomes was approved in March of 2015 and expired in February of this year. This is a project that I was very excited about and I made it as far as having the drawings completed and we had started the bidding process for final numbers.

Unfortunately, everything had to be put on hold due to health reasons. This has been a trying time for my family and my focused needed to be on them. I feel just awful that I was not able to get the project moving forward as I had planned. It has been an incredibly difficult year for me and my family, so I needed to put all my attention into helping my family survive this ordeal.

Things are getting to a new normal now and I feel that I can now put my focus on this project and the adjacent project along Thornapple River Dr. I completely understand that the PUD has expired, but I respectfully ask for an extension of the Thornapple Hilltop Townhomes PUD. This is something that will be wonderful for the community and I hope it is a project that can be started right away.

Thank you for your time and consideration.

Sincerely,

Sean Growney

# CHAPTER 16

## PUD Planned Unit Development District

Township Board determine that the applicant has presented adequate assurances that the residential component or components of the project shall be completed within a specified period.

2. Commencement and Completion of Construction: Construction shall be commenced within one (1) year following final approval of a Planned Unit Development, or within one (1) year of any other necessary governmental approval for commencement of the project, whichever is later, provided all other necessary approvals have been actively pursued. If construction is not commenced within such time, approval of the final plan for the project shall expire. An extension for a specified period may be granted by the Township Board upon good cause shown if such request is made to the Township Board prior to the expiration of the initial period. Moreover, in the event a final plan has expired, the Township Board may rezone the property in any reasonable manner.

If, at the discretion of the Township Board, the property remains classified as Planned Unit Development, prior to the commencement of construction of a new application shall be required, and shall be reviewed in light of the then prevailing conditions and applicable law and ordinance provisions.

### Section 16.09 Effect of Approval:

The Planned Unit Development amendment, and all conditions imposed, if any, shall constitute the land use authorization for the property. All improvement and use shall be in conformity with such amendment. The applicant shall record an affidavit with the Kent County Register of Deeds office containing the legal description of the entire project, specifying the date of approval of the Planned Unit Development, and declaring that all future development of the Planned Unit Development property has been authorized and required to be carried out in accordance with the approved Planned Unit Development and the provisions of Section 16.09(2) of this Chapter unless an amendment thereto is duly adopted by the Township upon the request and/or approval of the applicant, or applicant's transferees and/or assigns.

### Section 16.10 Fees:

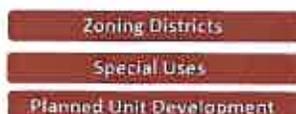
There shall be an advance payment of fees at the time of filing of the Conceptual Plan. The amount of such fees shall be established by the Township Board by ordinance or resolution.

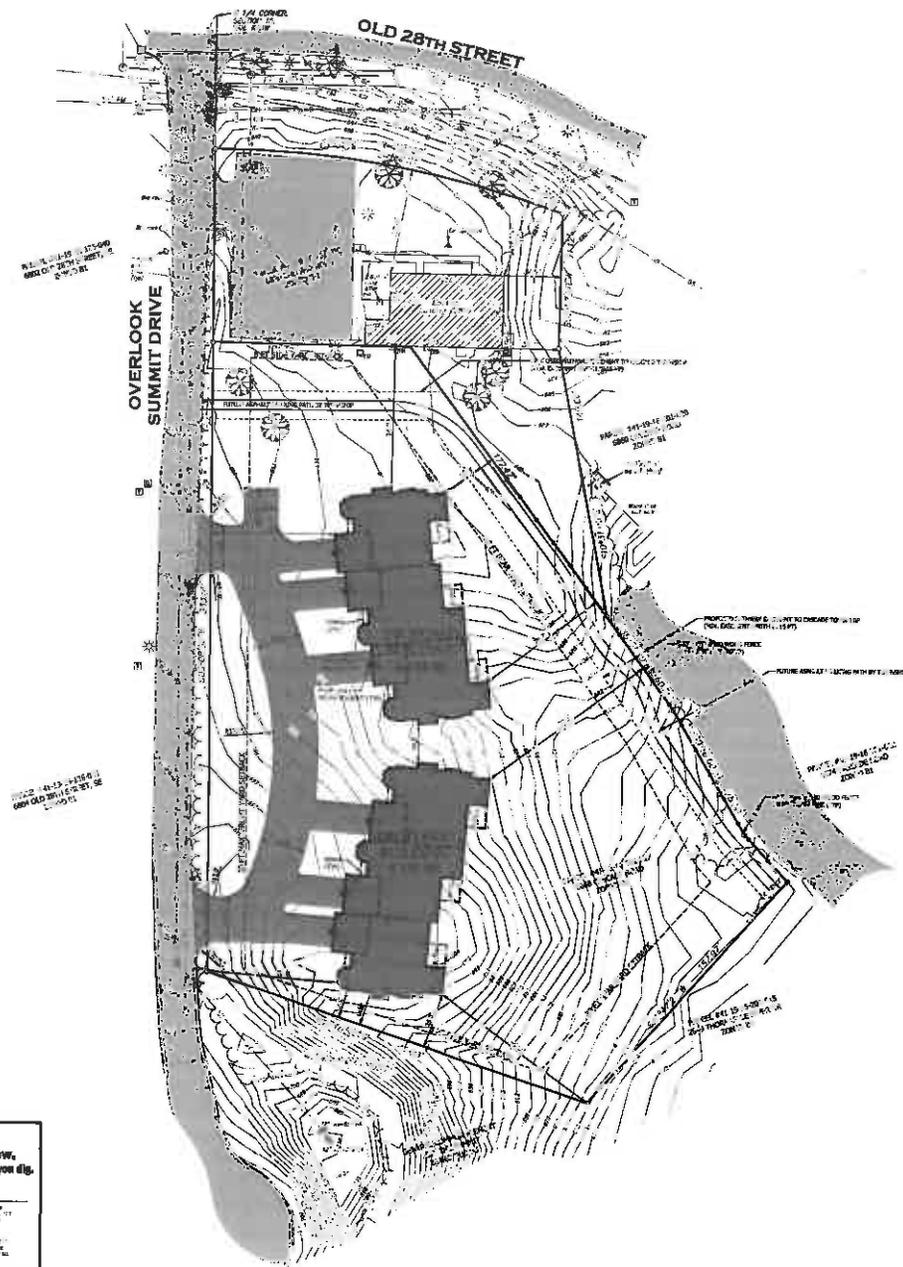
### Section 16.11 Site Condominium Subdivision Approval:

Pursuant to authority conferred by Section 141 of the Condominium Act, (MCLA 559.241), Public Act 59 of 1978, as amended, all site condominium subdivisions must be approved by the Cascade Township Board, upon recommendation from the Planning Commission.

In determining whether to approve a site condominium subdivision, the Township Board shall consult with the Planning Commission, Township Attorney, Township Engineer, Fire Marshall and Planning Department regarding the adequacy of the site condominium plans, deed restrictions, utility systems and streets, subdivision layout and design, and compliance with all requirements of the Condominium Act.

1. **Definitions:** The following terms are defined both in the context of the Condominium Act and in a manner intended to make comparison possible between the terms of this Zoning Ordinance and the Subdivision Ordinance (Ordinance No. 1 of 1978) with the Condominium Act.
  - a. Condominium Act means Public Act 59 of 1978, as amended.
  - b. Condominium dwelling means the building constructed upon a lot or condominium unit which is intended for residential purposes.
  - c. Condominium structure means a building or structure constructed upon a lot or condominium unit which is intended for office, industrial, business, or recreational purposes.
  - d. Condominium unit means that portion of the condominium project designed and intended for separate ownership and use, as described in the Master Deed, regardless of whether it is intended for residential, office, industrial, business, recreational, use as a time-share unit, or any other type of use.
  - e. Lot shall mean the same as "Homesite" and "Condominium Unit".
  - f. Mobile home condominium project means a condominium project which mobiles homes are





### GENERAL NOTES

- 1) ZONING OF PROPERTY: B-1 RESIDENTIAL BUSINESS
- 2) ZONING REGULATIONS:
  - A) MINIMUM LOT AREA = 10,000 SQ. FT.
  - B) MINIMUM LOT WIDTH = 100 FT.
  - C) MINIMUM BUILDING HEIGHT = 20 FT.
  - D) MINIMUM FRONT SETBACK = 5 FT. (NOT APPLICABLE)
  - E) MINIMUM ALLEYSIDE SETBACK = 5 FT.
  - F) MINIMUM SIDE YARD = 7 FT. MINIMUM 16 FT. TOTAL NORTH SIDE
  - G) REAR YARD = 10 FT.
- 3) SUMMARY OF LAND USE:
  - A) TOTAL AREA = 1.17 AC (81,244 SF, EXCLUDING PUBLIC)
  - B) PROPOSED AREA OF PROPOSED BUILDING = APPROXIMATELY 12,000 SF
  - C) PROPOSED BUILDING FOOTPRINT = 10,000 SQ. FT.
  - D) NUMBER OF UNITS = 8 UNITS
  - E) PROPOSED DENSITY = 222 UNITS PER ACRE
  - F) THERE WILL BE 1 BED 1 BATH UNIT
  - G) TOWNHOMES FOUNDATIONS SHALL BE PUD TO THE SOUTH BUILT ON CONCRETE FOUNDATIONS
- 4) PARKING REQUIREMENTS:
  - A) MIN. REQUIREMENT: 1 SPACE PER 1.5 UNITS (12 SPACES)
  - B) MIN. SIZE OF SPACES REQUIRED = 10' x 20' PER UNIT
  - C) NUMBER OF SPACES PROVIDED = 20 (INCLUDING 2 VISITOR SPACES)
- 5) THE PROJECT IS TO BE LOCATED WITHIN THE 10' BUFFER ZONE FROM THE ADJACENT LOT TO THE NORTH AND TO THE SOUTH.
- 6) BEST MANAGEMENT PRACTICES (BMP) SHALL BE UTILIZED TO PREVENT AND AFTER CONSTRUCTION OF THE PROJECT, MINIMIZE THE USE OF SEEDING AND MULCHING, EROSION CONTROL MEASURES, SILT TRAP AND COLLECTION, AND SILT TRAP INLET FILTERS, SILT TRAP AND COLLECTION, AND SILT TRAP INLET FILTERS.
- 7) UTILITIES SHALL BE APPROPRIATELY LOCATED AND DEPTH SHALL BE AS SHOWN ON THE PLAN. ALL UTILITIES SHALL BE LOCATED AS SHOWN ON THE PLAN. ALL UTILITIES SHALL BE LOCATED AS SHOWN ON THE PLAN.
- 8) ALL LIGHTING SHALL BE PROVIDED FOR ALL UNITS AND COMMON AREAS. ALL LIGHTING SHALL BE PROVIDED FOR ALL UNITS AND COMMON AREAS.
- 9) NO LIGHT FIXTURES SHALL BE INSTALLED AT THE ENTRANCE OF UNITS OR AT THE ENTRANCE OF COMMON AREAS.
- 10) THE STRUCTURE SHALL BE PROVIDED WITH THE APPROPRIATE NUMBER OF STAIRS AND LIFTS AS SPECIFIED ON THE CONTRACT DOCUMENTS.
- 11) THE SOIL IS MAINLY CHELSEA CLAY, RECORDED PER THE KENT COUNTY ENGINEERING DEPARTMENT.
- 12) THIS PROJECT WILL BE CONSTRUCTED IN ONE PHASE, WITH CONSTRUCTION STARTING IN THE FALL OF 2014.
- 13) THE PROJECT NUMBER FOR THE PROJECT IS PROPERTY IS 898 41-14-15-01-01.
- 14) THE ADDRESS OF THE PROJECT IS 1408 CANAL DRIVE.
- 15) ADDRESS SHALL BE OBTAINED TO OBTAIN THE SITE FOR THE PROJECT.
- 16) CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND HOLD A CONSTRUCTION TRUCK.
- 17) CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND HOLD A CONSTRUCTION TRUCK.
- 18) STREET LIGHTS SHALL BE PROVIDED PER THE KENT COUNTY ENGINEERING DEPARTMENT.

**NEDERVELD**  
 11222 146  
 NN-RBCR  
 CHICAGO  
 COLUMBUS  
 GRAND RAPIDS  
 HOLLAND  
 INDIANAPOLIS

**THORNAPPLE HILL TOP TOWNHOMES**  
 2899 THORNAPPLE RIVER DR SE  
 Site Plan For

**DIXON ARCHITECTURE**  
 Attention: Ken Dixon  
 219 Oak Drive, SE  
 P.O. Box 841  
 Dalton, GA 30705  
 Phone: 706.278.0278

NO.	DATE	DESCRIPTION	BY	CHKD.
1	10/1/14	ISSUED FOR PERMITS	KD	MD
2	10/1/14	REVISIONS	KD	MD
3	10/1/14	REVISIONS	KD	MD
4	10/1/14	REVISIONS	KD	MD
5	10/1/14	REVISIONS	KD	MD
6	10/1/14	REVISIONS	KD	MD
7	10/1/14	REVISIONS	KD	MD
8	10/1/14	REVISIONS	KD	MD
9	10/1/14	REVISIONS	KD	MD
10	10/1/14	REVISIONS	KD	MD

project no.: 14400661  
**G3C**  
 sheet no.: 3 OF 5

**811** Know what's below. Call before you dig.  
 1-800-4-A-DIG  
 1-800-4-ADIG



- H. The applicant has indicated that the storm water from the site will be addressed and improved to comply with our storm water ordinance. This area is handled by regional storm water system that will need to be approved by the KCDC.
- I. The applicant has submitted this package as required by Section 16.05 (2) of the Zoning Ordinance for Basic Plan Review.
- J. If you find that all of the procedural information has been provided, this application should proceed to a public hearing and consideration of a Preliminary Development Plan. It will be at that stage of the review process that the *merits* of the request will be considered and the detailed site plans will be required and reviewed.

Before proceeding to the Preliminary Development plan review (Public Hearing), I would recommend that the Planning Commission address the following:

1. The need for a traffic study
2. Have the applicant provide the required site plan information.
3. Approval from the KCDC for storm water information plan.

Attachments:      Application  
                            Site plan  
                            Master plan excerpts  
                            Current approved site plan



# CASCADE CHARTER TOWNSHIP

2865 Thornhills SE Grand Rapids, Michigan  
49546-7140

## PLANNING & ZONING APPLICATION

APPLICANT: Name: Cascade Hospitality, Inc.  
Address: 5401 28th St. Ct. SE  
City & Zip Code Grand Rapids, MI 49546  
Telephone: 616-889-0127  
Email Address: matt@grandhospitality.net

OWNER: \* (If different from Applicant)  
Name: Same as above  
Address: \_\_\_\_\_  
City & Zip Code: \_\_\_\_\_  
Telephone: \_\_\_\_\_  
Email Address: \_\_\_\_\_

### NATURE OF THE REQUEST: (Please check the appropriate box or boxes)

- |   |  |
|---|--|
| <input type="checkbox"/> Administrative Appeal                  | <input type="checkbox"/> Administrative Site Plan Review |
| <input type="checkbox"/> Deferred Parking                       | <input type="checkbox"/> P.U.D. – Rezoning *             |
| <input checked="" type="checkbox"/> P.U.D. – Site Condominium * | <input type="checkbox"/> Rezoning                        |
| <input checked="" type="checkbox"/> Site Plan Review *          | <input type="checkbox"/> Sign Variance                   |
| <input type="checkbox"/> Special Use Permit                     | <input type="checkbox"/> Subdivision Plat Review *       |
| <input type="checkbox"/> Zoning Variance                        | <input type="checkbox"/> Other: _____ *                  |

*\* Requires an initial submission of 5 copies of the completed site plan*

### BRIEFLY DESCRIBE YOUR REQUEST:\*\*

Amend Spruce Meadows PUD and Preliminary Site Plan for 4-story hotel with  
114 rooms and 124 parking spaces

(\*\*Use Attachments if Necessary)

-SEE OTHER SIDE-

**LEGAL DESCRIPTION OF PROPERTY\*\*:**

Refer to attached Legal Description.

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(\*\*Use Attachments if Necessary)

**PERMANENT PARCEL (TAX) NUMBER:** 41-19 -07-451-009

**ADDRESS OF PROPERTY:** 5375 28th St. Ct. SE. Grand Rapids, MI 49546

**PRESENT USE OF THE PROPERTY:** Vacant / Abandoned Hotel Development

**NAME(S) & ADDRESS(ES) OF ALL OTHER PERSONS, CORPORATIONS, OR FIRMS HAVING A LEGAL OR EQUITABLE INTEREST IN THE PROPERTY:**

Name(s)

Address(es)

N/A

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**SIGNATURES**

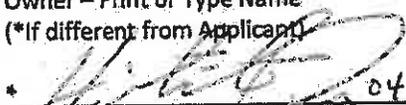
*I (we) the undersigned certify that the information contained on this application form and the required documents attached hereto are to the best of my (our) knowledge true and accurate. I (we) also agree to reimburse the Cascade Charter Township for all costs, including consultant costs, to review this request in a timely manner. I (we) understand that these costs may also include administrative reviews which may occur after the Township has taken action on my (our) request.*

*I (we) the undersigned also acknowledge that the proposed project does not violate any known property restrictions (i.e. plat restrictions, deed restrictions, covenants, etc.)*

Hikmat Piromari

Owner – Print or Type Name

(\*If different from Applicant)

 04/28/16

Owner's Signature & Date

(\*If different from Applicant)

\_\_\_\_\_  
Applicant – Print or Type Name

\_\_\_\_\_  
Applicant's Signature & Date

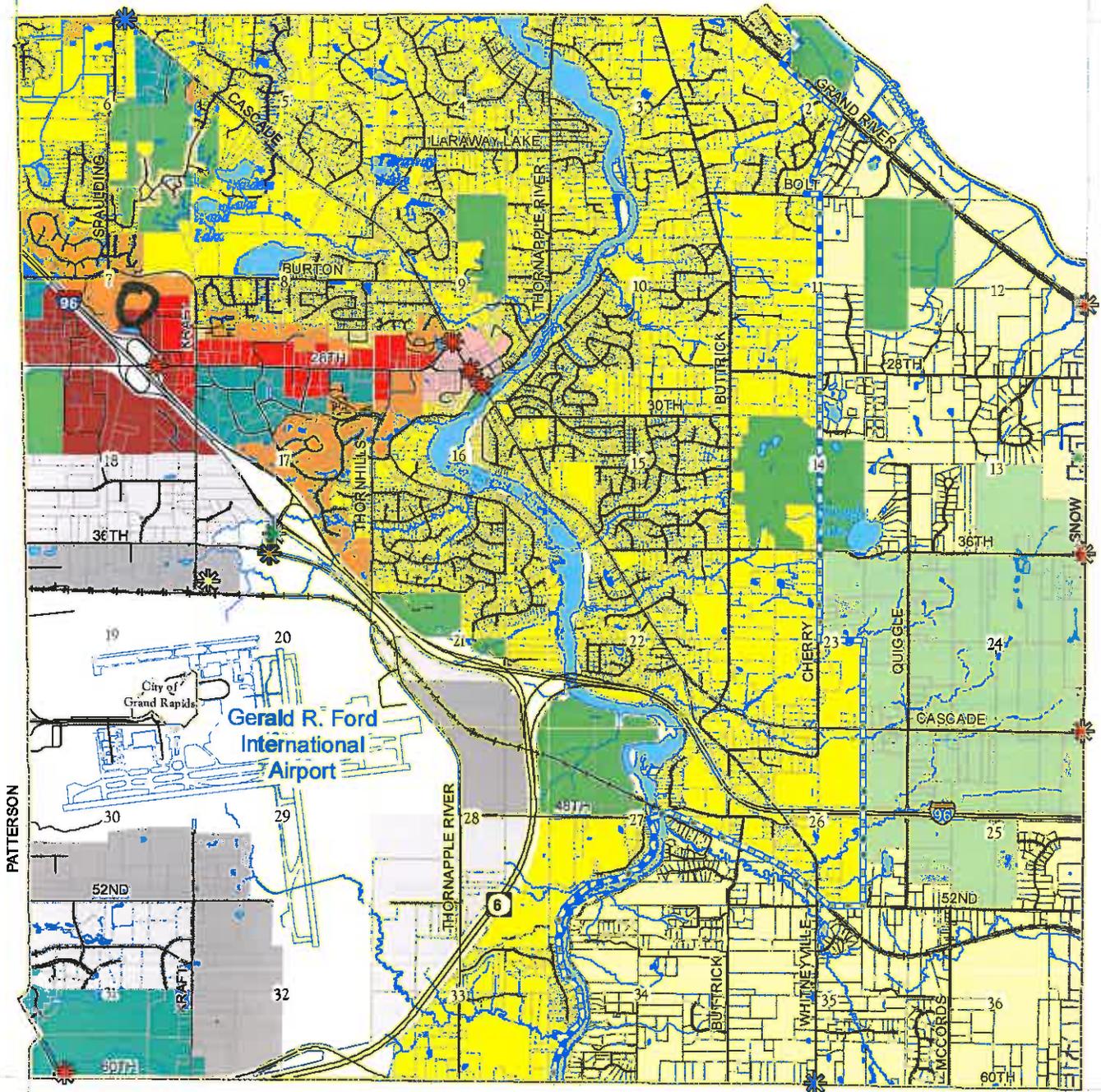
PLEASE ATTACH ALL REQUIRED DOCUMENTS NOTED IN THE PROCESS REVIEW SHEET – THANK YOU

Ada Twp

City of Kentwood

Lowell Twp

Caledonia Twp



# Cascade Charter Township

Kent County, Michigan

## Map 15 Future Land Use

### Legend

- Gateway Feature
- Park 'n' Ride
- Rail Station
- Utility Service Area

- Farmland Preservation
- Rural Residential
- Suburban Residential
- Community Residential
- Village Commercial
- General Commercial
- Highway Commercial
- Mixed Use
- Heavy Industrial
- Light Industrial
- Community Facility / Golf Course



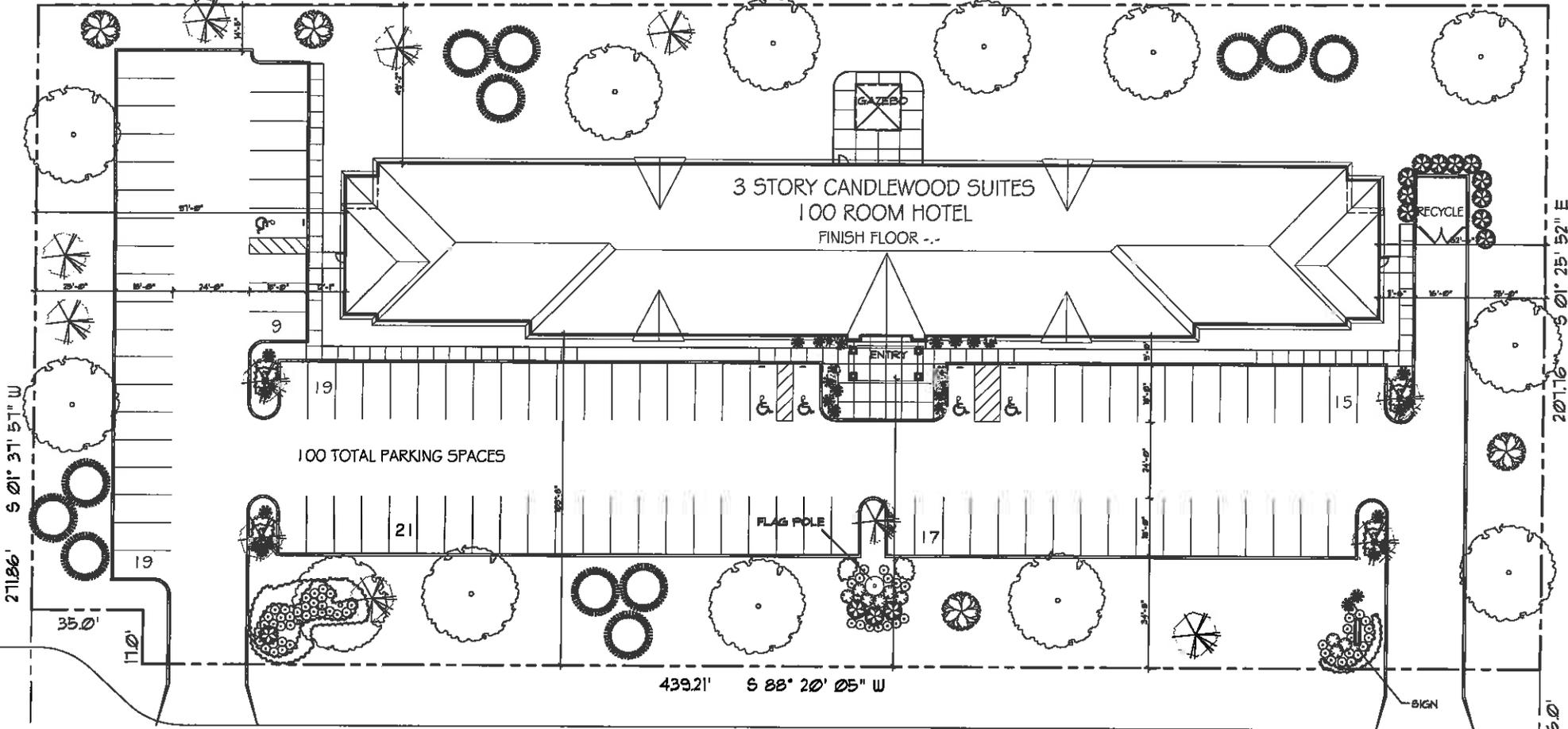
**WILLIAMS & WORKS**  
 CONSULTANTS  
 519 Ottawa Avenue, S.E., Grand Rapids, MI 49503  
 616.224.1300  
 616.224.1881  
 519 Ottawa Avenue, S.E., Grand Rapids, MI 49503

**Williams & Works**  
 CONSULTANTS

616.224.1300  
 616.224.1881  
 519 Ottawa Avenue, S.E., Grand Rapids, MI 49503

April 22, 2009

47422' N 88° 05' 02" E



28th STREET COURT



SITE PLAN

1" = 20'-0"















**b.e.**  
ENGINEERING &  
ARCHITECTURE  
1000 N. 10TH ST., SUITE 200  
MILWAUKEE, WI 53233  
TEL: 414.224.1100  
WWW.BE-ARCHITECT.COM

**HOLIDAY INN EXPRESS & SUITES**  
5375 28th STREET  
CASCADE TOWNSHIP, WI

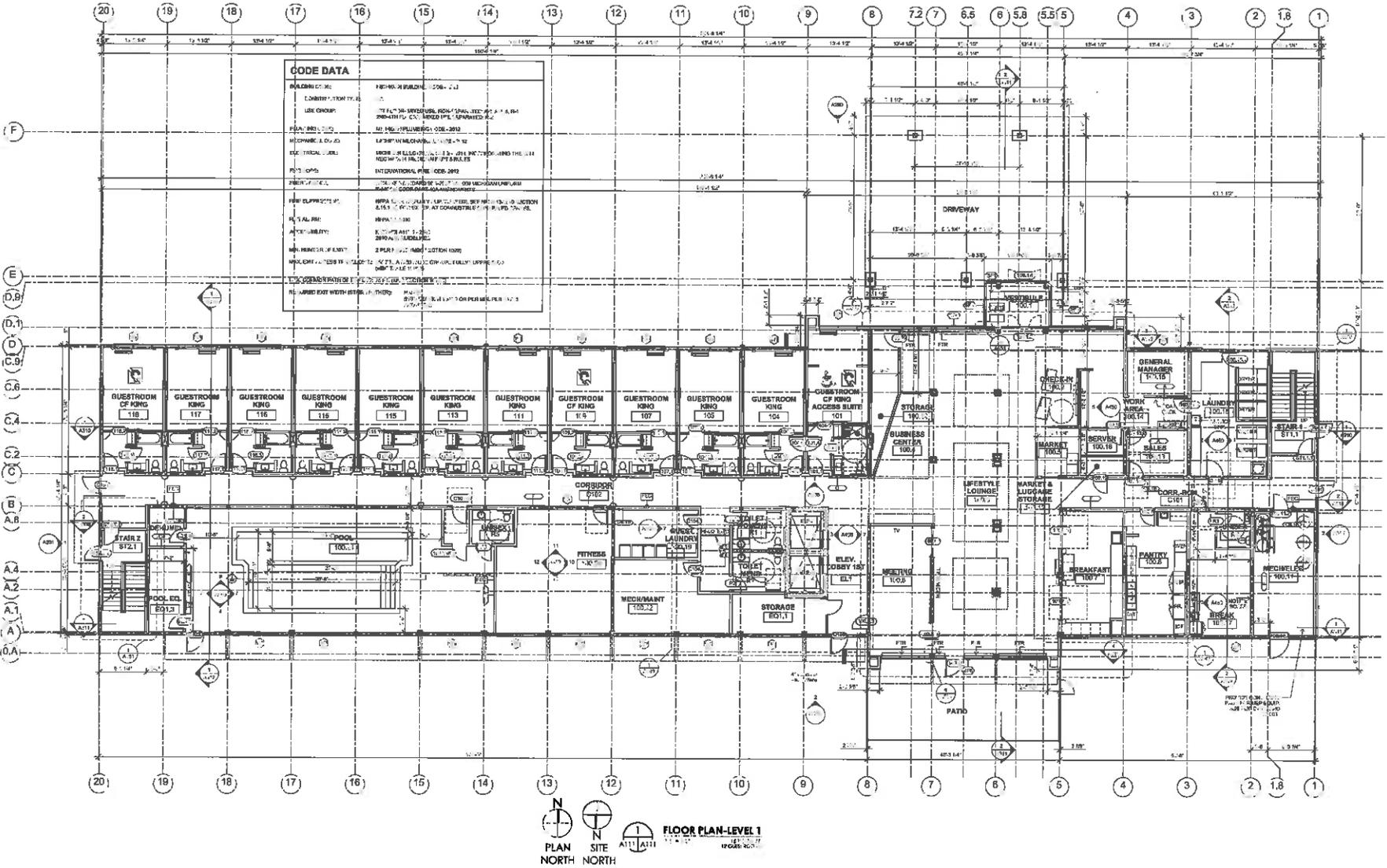
CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2015 INTERNATIONAL BUILDING CODE (IBC) AND ALL APPLICABLE LOCAL ORDINANCES.  
DATE: 08/11/15

THIS DOCUMENT IS THE PROPERTY OF B.E. ENGINEERING & ARCHITECTURE. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY REUSE OR REPRODUCTION OF THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF B.E. ENGINEERING & ARCHITECTURE IS STRICTLY PROHIBITED.

ISSUED FOR	DATE
100	08/11/15
200	
300	
400	
500	
600	
700	
800	
900	
1000	

NAME: J.P.  
DESIGN: J.P.  
DATE: 8/11/15  
JOB NO: 15-00-000  
FILE NAME: A111

**A111**





**COOR DATA**

WALLS: 1/2" GYPSUM BOARD OVER 1/2" POLYSTYRENE INSULATION OVER 1/2" GYPSUM BOARD  
 CEILING: 5/8" GYPSUM BOARD OVER 1/2" POLYSTYRENE INSULATION OVER 1/2" GYPSUM BOARD  
 FLOOR: 1/2" GYPSUM BOARD OVER 1/2" POLYSTYRENE INSULATION OVER 1/2" GYPSUM BOARD

**EXTERIOR MATERIALS LEGEND**

EXTERIOR WALLS: 1/2" GYPSUM BOARD OVER 1/2" POLYSTYRENE INSULATION OVER 1/2" GYPSUM BOARD  
 EXTERIOR ROOF: 2" POLYSTYRENE INSULATION OVER 1/2" GYPSUM BOARD OVER 1/2" POLYSTYRENE INSULATION OVER 1/2" GYPSUM BOARD  
 EXTERIOR FLOORING: 1/2" GYPSUM BOARD OVER 1/2" POLYSTYRENE INSULATION OVER 1/2" GYPSUM BOARD

**EXTERIOR PAINTS AND FINISHES**

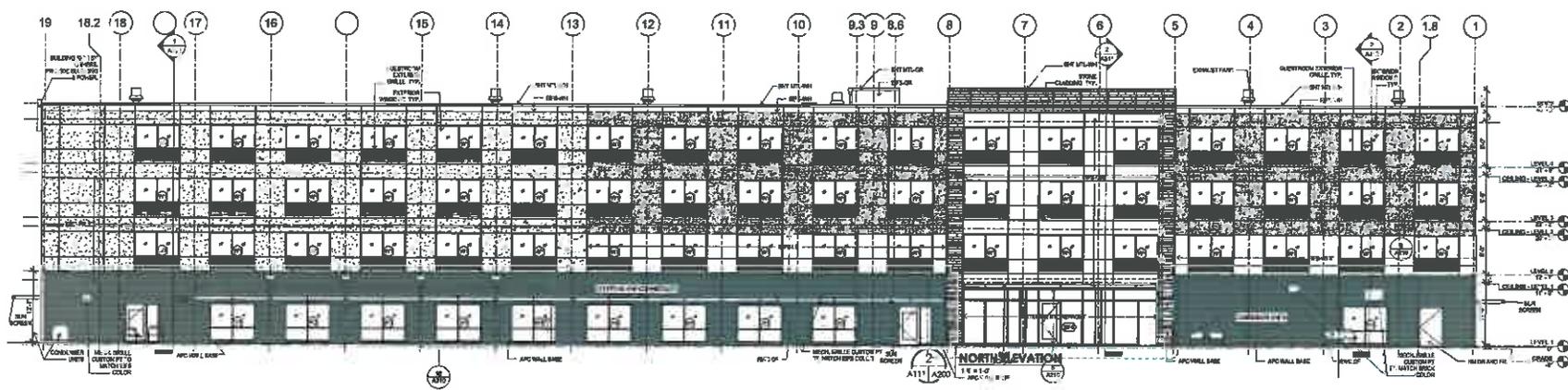
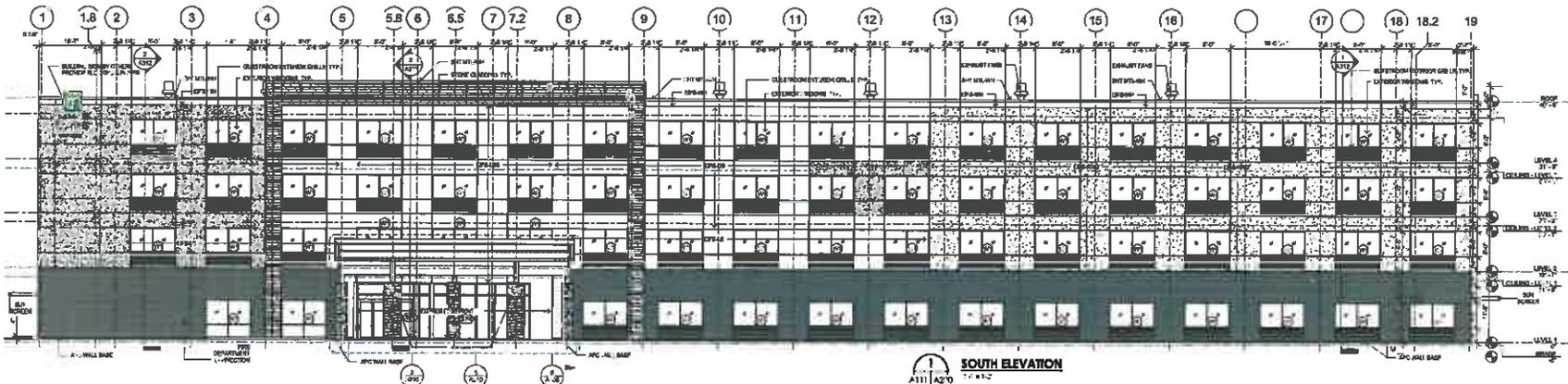
EXTERIOR WALLS: 1/2" GYPSUM BOARD OVER 1/2" POLYSTYRENE INSULATION OVER 1/2" GYPSUM BOARD  
 EXTERIOR ROOF: 2" POLYSTYRENE INSULATION OVER 1/2" GYPSUM BOARD OVER 1/2" POLYSTYRENE INSULATION OVER 1/2" GYPSUM BOARD  
 EXTERIOR FLOORING: 1/2" GYPSUM BOARD OVER 1/2" POLYSTYRENE INSULATION OVER 1/2" GYPSUM BOARD

**COOL EXTERIOR ROOFING**

EXTERIOR WALLS: 1/2" GYPSUM BOARD OVER 1/2" POLYSTYRENE INSULATION OVER 1/2" GYPSUM BOARD  
 EXTERIOR ROOF: 2" POLYSTYRENE INSULATION OVER 1/2" GYPSUM BOARD OVER 1/2" POLYSTYRENE INSULATION OVER 1/2" GYPSUM BOARD  
 EXTERIOR FLOORING: 1/2" GYPSUM BOARD OVER 1/2" POLYSTYRENE INSULATION OVER 1/2" GYPSUM BOARD

**EXTERIOR PAINTS AND FINISHES**

EXTERIOR WALLS: 1/2" GYPSUM BOARD OVER 1/2" POLYSTYRENE INSULATION OVER 1/2" GYPSUM BOARD  
 EXTERIOR ROOF: 2" POLYSTYRENE INSULATION OVER 1/2" GYPSUM BOARD OVER 1/2" POLYSTYRENE INSULATION OVER 1/2" GYPSUM BOARD  
 EXTERIOR FLOORING: 1/2" GYPSUM BOARD OVER 1/2" POLYSTYRENE INSULATION OVER 1/2" GYPSUM BOARD



**HOLIDAY INN EXPRESS & SUITES**  
 2575 26th STREET  
 CASCADE TOWNSHIP, MI

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO ARCHITECT IMMEDIATELY.

NO.	REVISION

DATE:	
SCALE:	
PROJECT:	
CLIENT:	
ARCHITECT:	
ENGINEER:	

**A200**



**STAFF REPORT**

TO: Cascade Charter Township Planning Commission  
FROM: Steve Peterson, Community Development Director  
REPORT DATE: May 23, 2016  
MEETING DATE: June 6, 2016  
CASE: #16-3309/Riebel PUD-Redwood

**GENERAL INFORMATION**

- A. **Applicant:** Redwood USA LLC
- B. **Status of Applicant:** Developer
- C. **General Location:** South side of 28<sup>th</sup> St just west of Thornhills.
- D. **Requested Action:** Amend the Riebel development to allow 60 unit apartment complex.
- E. **Existing Zoning on Subject Parcels:** Riebel development P.U.D.
- F. **Zoning on Adjoining Parcels:**
  - N – B2
  - S – PUD 39
  - E – B2
  - W – PUD 39
- G. **Parcel Size:** Approximately 10.2 acres
- H. **Existing Land Use on Subject Parcel:** Vacant/office
- I. **Adjacent Area Land Uses:**
  - North - Commercial
  - East - Office
  - South - Multi-family residential
  - West - Commercial

**STAFF ANALYSIS**

- A. The applicant is requesting Basic Plan Review in order to construct 60 new apartment buildings and one manager unit.
- B. The original project allowed for the area behind pizza hut, Macatawa bank and Culvers to be developed into a mix of office, restaurant and retail. That portion of the project has never been done. They are now asking to modify the PUD to allow the multifamily development
- C. The original office mix use project allowed for up to approximately 120,000 sq ft.

- D. One of the design elements of the Riebel Development PUD was to increase pedestrian non-motorized connections into and throughout the development. The current design could be improved to provide more pedestrian access out to 28<sup>th</sup> st. I have given the applicant one idea already on how to achieve this goal.
- E. The current Master Plan designation for this property is Mixed Use. This designation is a reflection of the uses that are already there. This project does not change that and would not be inconsistent with the master plan.
- F. We should discuss whether or not to require a traffic study given the change in the project. In general, an apartment project would include an increase of about 6 trips per day per unit. This section of 28<sup>th</sup> St does not experience a capacity issue. I do not believe this project warrants a traffic study given the size and location of the project.
- G. The storm water design for the existing site was never completed to address this portion of the project and some of the changes to the storm water ordinance will require that the system be redesigned to meet the current requirements.
- H. The applicant has submitted this package as required by Section 16.05 (2) of the Zoning Ordinance for Basic Plan Review.
- I. If you find that all of the procedural information has been provided, this application should proceed to a public hearing and consideration of a Preliminary Development Plan. It will be at that stage of the review process that the *merits* of the request will be considered and the detailed site plans will be required and reviewed.

Before proceeding to the Preliminary Development plan review (Public Hearing), I would recommend that the Planning Commission address the following:

1. Have the applicant provide the required site plan information
2. Revise the site plan to include the necessary storm water information.
3. Decide whether to require a traffic study as a result of the project.
4. Provide a sidewalk system in the project to connect all of the units to the internal sidewalk system rather than using the road.

Attachments:      Application  
                          Site plan  
                          Master plan excerpts  
                          Copy of approved site plan



# CASCADE CHARTER TOWNSHIP

2865 Thornhills SE Grand Rapids, Michigan  
49546-7140

## PLANNING & ZONING APPLICATION

**APPLICANT:** Name: Redwood USA LLC  
Address: 23775 Commerce Park, Suite 7  
City & Zip Code: Beachwood, OH 44122  
Telephone: 216-360-9441  
Email Address: kmcivor@byredwood.com

**OWNER: \* (If different from Applicant)**  
Name: Rumsey Ventures, LLC  
Address: 44 Grandville Ave., Suite 200  
City & Zip Code: Grand Rapids, MI 49546  
Telephone: 616-293-3292  
Email Address: rumseybuildingenterprizes.com

**NATURE OF THE REQUEST: (Please check the appropriate box or boxes)**

- |  |   |
|--|---|
| <input type="checkbox"/> Administrative Appeal       | <input type="checkbox"/> Administrative Site Plan Review        |
| <input type="checkbox"/> Deferred Parking            | <input type="checkbox"/> P.U.D. – Rezoning *                    |
| <input type="checkbox"/> P.U.D. – Site Condominium * | <input type="checkbox"/> Rezoning                               |
| <input type="checkbox"/> Site Plan Review *          | <input type="checkbox"/> Sign Variance                          |
| <input type="checkbox"/> Special Use Permit          | <input type="checkbox"/> Subdivision Plat Review *              |
| <input type="checkbox"/> Zoning Variance             | <input checked="" type="checkbox"/> Other: <u>PUD Amendment</u> |

*\* Requires an initial submission of 5 copies of the completed site plan*

**BRIEFLY DESCRIBE YOUR REQUEST:\*\***

Redwood is requesting an amendment to the existing PUD-80 zoned parcel located at 6370 28th Street. The plan is to construct a Redwood Apartment complex that will consist of sixty (60) units and one (1) leasing office.

(\*\*Use Attachments if Necessary)

**-SEE OTHER SIDE-**

# BASIC (PUD) PLANS FOR CASCADE II APARTMENTS

## CASCADE TOWNSHIP KENT COUNTY, MICHIGAN

### PROPERTY DATA

**PROJECT NAME:** CASCADE II DEVELOPMENT LLC  
**PROJECT NO.:** 45-16-17-001-001  
**ADDRESS:** 2570 28TH STREET SE, GRAND RAPIDS, MI, 49508  
**PROPERTY AREA:** 2.66 ACRES  
**LOT AREA:** 4.42 ACRES  
**PLANNED USE:** PLANNED UNIT DEVELOPMENT (PUD)  
**APARTMENT TYPE:** APARTMENTS  
**SETBACKS:** (5' FEET) PERIMETER (30' FEET) (25' FEET) FRONT (10' FEET) DEVIATION  
**PARKING:** EACH APARTMENT UNIT SHALL HAVE AT LEAST A 2 CAR ENCLOSED SPACE  
**PLANNING STATEMENT:** THIS SITE PLAN SHALL BE WITHIN 100 FEET OF A 100 YEAR FLOOD PLAIN AS SHOWN ON THE FLOOD INSURANCE RATE MAP (FIRM) MAP NUMBER 2604400201, EFFECTIVE DATE 07/15/2011, PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY. THIS IS AN AREA OF MINIMAL FLOOD HAZARD, USUALLY DEPICTED ON FIRMS AS ABOVE THE 500-YEAR FLOOD LEVEL.

### BENCH MARKS

**ITEM:**  
 1. CORNER OF SECTION 16, TOWNSHIP 16 NORTH, RANGE 18 WEST, COUNTY OF KENT, MICHIGAN, LOCATED AT THE INTERSECTION OF THE ADJACENT ROAD BETWEEN CULVERS & THE SUBJECT PROPERTY, 332 FEET WEST OF THE WEST DRIVE TO MICHIGAN A BANK, 121 FEET SOUTH EAST OF A LIGHT POLE AT THE CORNER OF THE PARCEL UNIT FOR CULVERS.  
 ELEVATION: 750.52 (MVD 08)

REFER TO THE FINAL UTILITY LOCATION DRAWING SURVEY PREPARED BY CESA, INC. DATED 06/18/16.

### UTILITY COMPANIES

UTILITY COMPANIES THAT DO NOT EXIST WITHIN 100 FEET OF THE PROPERTY SHALL BE IDENTIFIED UTILITIES IN THE VICINITY OF THE SITE.

### STANDARD DRAWINGS

THE STANDARD CONSTRUCTION DRAWINGS OF KENT COUNTY AND MICHIGAN DEPARTMENT OF TRANSPORTATION (MDOT), 2010 EDITION, AND THE LOCAL STANDARD DRAWINGS AND SUPPLEMENTAL SPECIFICATIONS SHALL GOVERN THIS IMPLEMENTATION.

THE STANDARD DRAWINGS LISTED BELOW SHALL BE REVIEWED AND ADDED TO THIS PLAN.

MDOT STANDARD CONSTRUCTION DRAWINGS		
R-1-E	R-2-E	R-2-D
R-12-D	R-26-F	R-26-S
R-12-D		

CIVIL SHEET INDEX	
CIVIL	DESCRIPTION
C1.0	COVER SHEET
C2.0	OVERALL SITE PLAN AND TYPICAL SECTION
C3.1	SITE PLAN
C3.2	GRADING PLAN
C4.0	UTILITY PLAN
C1.01	ALTA FUNDING LAND TITLE SURVEY

**OWNER/DEVELOPER**  
 REDWOOD ADV. UTILTY, LLC  
 2070 S. WARENE PARK, SUITE 102  
 LEANS, MI 49506  
 PHONE: (216) 409-1411

**ZONING**  
 PUD-20 (COMMERCIAL DEVELOPMENT)  
 2570 28TH STREET SE, GRAND RAPIDS, MI 49508  
 PHONE: (216) 409-1411  
 FAX: (216) 409-1411

**WATER**  
 CITY OF GRAND RAPIDS  
 1000 10TH STREET SE  
 GRAND RAPIDS, MI 49508  
 PHONE: (616) 455-1100

**STORM**  
 HIGHWAY TRAIL, LIPSON, 1000  
 610 7TH ST, SE  
 GRAND RAPIDS, MI 49508  
 PHONE: (616) 455-1100

**COMMUNICATIONS**  
 AT&T  
 21700 28TH ST SE  
 GRAND RAPIDS, MI 49508  
 PHONE: (616) 609-0000

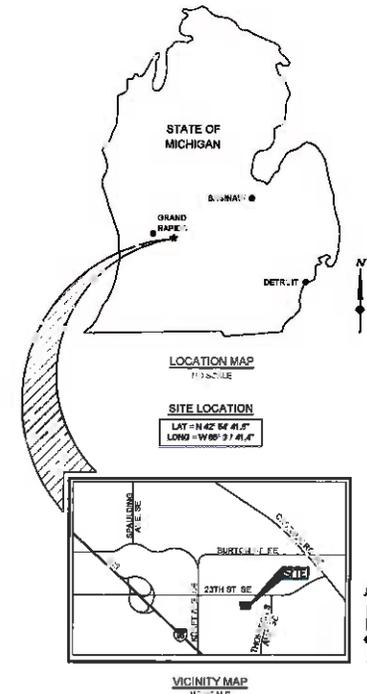
**ENGINEER**  
 CESA, INC.  
 2160 W. WINDYBUSH DRIVE, SUITE 102  
 ANTON, MI 49509  
 PHONE: (216) 378-0000  
 FAX: (216) 378-0000

**FIRE**  
 CASCADE TOWNSHIP FIRE DEPARTMENT  
 2800 28TH STREET SE, SE  
 GRAND RAPIDS, MI 49508  
 PHONE: (616) 455-1100  
 FAX: (616) 455-1100

**SEWER**  
 CITY OF GRAND RAPIDS  
 1000 10TH STREET SE  
 GRAND RAPIDS, MI 49508  
 PHONE: (616) 455-1100

**GAS SERVICE**  
 ONE ENERGY PLAZA  
 21700 28TH ST SE  
 GRAND RAPIDS, MI 49508  
 PHONE: (616) 455-1100

**ELECTRIC**  
 ONE ENERGY PLAZA  
 21700 28TH ST SE  
 GRAND RAPIDS, MI 49508  
 PHONE: (616) 455-1100



NOT TO BE USED FOR THE CONSTRUCTION OF UTILITY STRUCTURES AND UNDERGROUND SERVICES UNLESS THE INFORMATION ON THIS PLAN AND SPECIFICATIONS IS REVIEWED AND ALL UTILITIES LOCATED ON THE PLAN ARE IDENTIFIED FROM FIELD SURVEY. THE INFORMATION AVAILABLE HEREON IS FOR INFORMATION ONLY AND DOES NOT WARRANT THE ACCURACY OF THE INFORMATION. THE USER AND ENGINEER SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION. THE USER AND ENGINEER SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION. THE USER AND ENGINEER SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION.

BEFORE YOU BY /  
**CALL MISS DIG**  
 1-888-751-1

DESCRIPTION	
DATE	
JOB NO.	752167
DESIGNER	RS
DRAWN	RS
CHECKED	DR
SHEET NO.	C1.0

**COVER SHEET**

**CASCADE II APARTMENTS**

KENT COUNTY, MICHIGAN  
 CASCADE TOWNSHIP

**NOT FOR CONSTRUCTION**

**cesa**  
 www.cesainc.com  
 2160 W. WINDYBUSH DRIVE, SUITE 102  
 ANTON, MI 49509  
 PHONE: (216) 378-0000  
 FAX: (216) 378-0000



REFER TO SHEET C2.0 - OVERALL SITE PLAN

**LEGEND**

**PROPOSED**

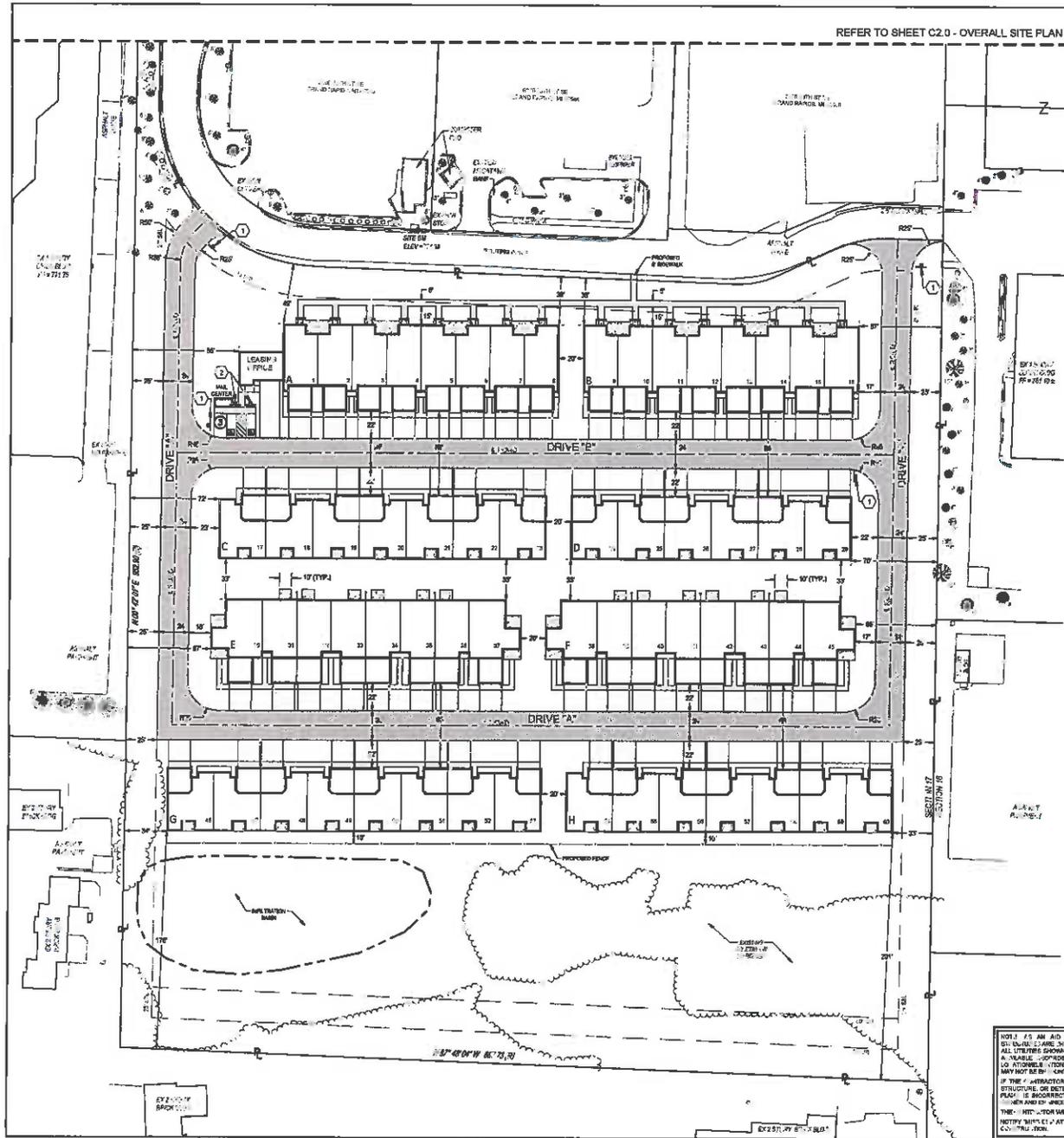
-  WHITE GRADE
-  CONCRETE DRIVEWAYS
-  CONCRETE DRIVEWAYS
-  CONCRETE PATIOS
-  CONCRETE SIDEWALKS
-  PARKING SPACES

**CODED NOTES:**

1. 1" TOP SIGN (R1-1)
2. 1" X 4" PARKING SIGN

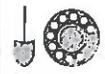
**GENERAL NOTES:**

1. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CASCADE TOWNSHIP, WISCONSIN AND ILLINOIS STANDARDS. THE CONTRACTOR SHALL OBTAIN FINAL APPROVALS, PERMITS AND INSPECTIONS AS NECESSARY FOR THE CONSTRUCTION.
2. ALL DIMENSIONS REFER TO EDGE OF PATIENT AND/or FACE OF CURB, WHERE APPLICABLE.
3. ALL SIDEWALKS ARE 6 FEET WIDE, UNLESS OTHERWISE NOTED.
4. STANDARD PARKING STALL DIMENSIONS ARE 10 FEET IN WIDTH BY 20 FEET IN DEPTH.
5. REFER TO ARCHITECTURAL PLAN FOR BUILDING DIMENSIONS.
6. REFER TO LANDSCAPE PLAN FOR PLANTING.

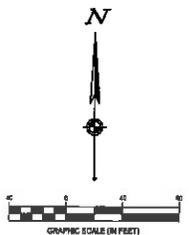


**BENCH MARKS** ◆  
 1" X 4" SIGN  
 CIRCULAR MARK IN THE NORTHEAST CORNER OF A CONCRETE TYPICAL SIGN IS LOCATED ON THE NORTH SIDE OF THE DRIVEWAY ROAD BETWEEN DRIVEWAYS A & THE SUBJECT PROPERTY. 4.58 FEET WEST OF THE WEST DRIVE TO HOGATOWN BANK. 23.1 FEET SOUTH OF A LINE PERKINS AT THE NEAR OF THE PATIENT COLLECTOR CURB. (SEE GRID 21)  
 REFER TO ORIGINAL AUTOCAD TYPICAL SIGN KEY PLAN PROVIDED BY CESA, INC. DATED 07/08/2016.

NOTE: AS AN AID TO THE CONTRACTOR, UTILITIES AND LOCATIONS SHOWN ON THIS PLAN AND PROFILES ARE INFORMATION ONLY. CONTRACTOR SHALL VERIFY ALL UTILITIES SHOWN ON THIS PLAN AND PROFILES BY TRENCHING, PROBING, AND/OR A "TRIPLE CHECK" BEFORE THE COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY UTILITIES NOT SHOWN ON THIS PLAN OR THAT ARE NOT IDENTIFIED UNDERGROUND UTILITIES OR UTILITIES THAT MAY NOT BE IDENTIFIED.  
 IF THE CONTRACTOR DOES NOT WANT A PRIVATE UTILITY LOCATED UTILITY TO BE STOPPED, OR OTHERWISE THAT ONE OF THE UTILITIES SHOWN ON THIS PLAN IS INCONVENIENT TO THE CONTRACTOR, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER OF ANY SUCH CONCERNS AND/OR REQUESTS.  
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY UTILITIES NOTIFICATION AT 1-800-685-7111, THREE BUSINESS DAYS PRIOR TO THE START OF ANY CONSTRUCTION.



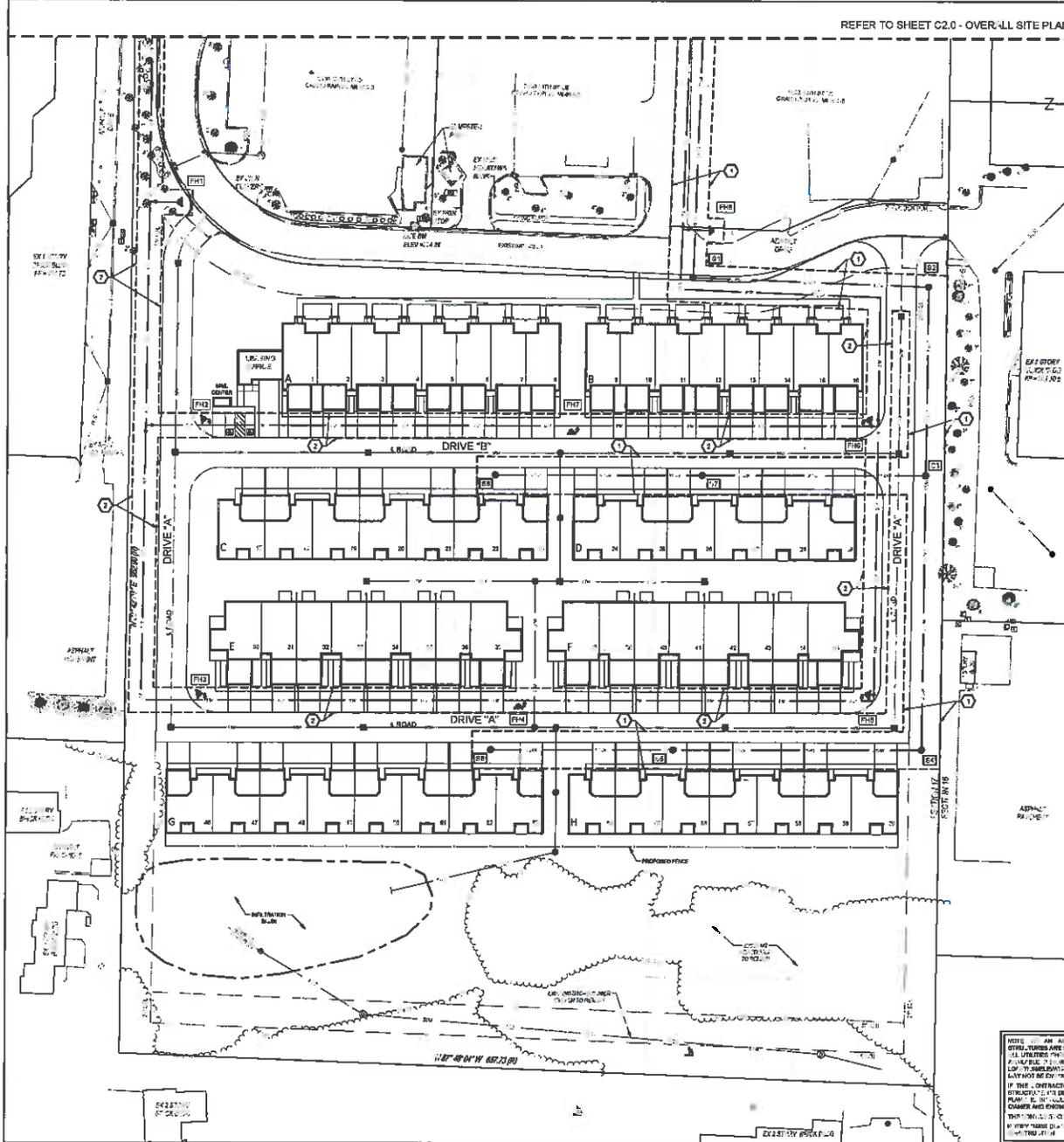
BEFORE YOU DIG  
**CALL MISS DIG**  
 1-800-685-7111



DESCRIPTION	
DATE	
ISSUE NO.	
SHEET NO.	
SHEET TOTAL	
<b>SITE PLAN</b>	
<b>CASCADE APARTMENTS</b>	
KENT COUNTY, WISCONSIN	
CASCADE TOWNSHIP	
	
<b>ISSUE:</b> BASIC PLAN <b>DATE:</b> 06/29/2016 <b>JOB NO.:</b> 782167 <b>DESIGNER:</b> RB <b>DRAWN:</b> RB <b>CHECKED:</b> JSC <b>SHEET NO.:</b> C2.1	



REFER TO SHEET C2.0 - OVERALL SITE PLAN



**LEGEND**  
**PROPOSED**

SS	SANITARY SEWER
W	WATER LINE
FH	FIRE HYDRANT
G	GAS LINE
E	ELECTRIC
UB	UTILITY BARRIEMENT
EM	EMERGENCY MANHOLE

**CODED NOTES**

1. SANITARY SEWER UTILITY BARRIEMENT (BY GRAND RAPIDS (GR))
2. WATER MAIN BARRIEMENT (BY GRAND RAPIDS (GR))

**GENERAL NOTES**

1. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CASE DEPARTMENT, MINNAPOLIS, ILLINOIS, AND STATE STANDARDS. THE CONTRACTOR SHALL OBTAIN PERMITS AND INSPECTIONS AS REQUIRED FROM THE LOCALITY.
2. LINES IN DETAILED DRAWING SHALL BE INSTALLED, INSPECTED, TESTED, AND APPROVED PRIOR TO BACKFILLING. SEE DETAIL IN CONSTRUCTION DETAILS SHEET.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF EXISTING UTILITIES DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.
4. REFER TO ELECTRICAL DRAWINGS FOR LIGHT FIXTURE LOCATION AND COORDINATE FINAL LOCATION WITH THE ELECTRICAL CONTRACTOR.
5. FIELD VERIFY EXISTING UTILITIES AND LOCATION OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION ACTIVITY. IF DISCREPANCIES OR UNUSUAL SITUATIONS ARE FOUND TO BE DIFFERENT FROM THE PLAN, THE CONTRACTOR IS TO NOTIFY THE ENGINEER.
6. SANITARY SEWER SERVICE SHALL BE PROVIDED AT NO LESS THAN 100% PER FOOT.

**BENCH MARKS**

BM 614  
 LOCATION ON A UTILITY COVER OF A CONCRETE TRANSDUCER ROAD LOCATED AT THE NORTH SIDE OF THE LOCAL ROAD BETWEEN CULVER'S AND THE SUBJECT PROPERTY, 25 FEET WEST OF THE WEST DRIVE TO MATCH A BENCHMARK FEET SIXTYEAST TO A LIGHT PILE AT THE HEAD OF THE PAVING LOT FOR CULVER'S (RELATIONSHIP TO THE MAIN) (R)

REFER TO ORIGINAL ALTAZ.COM TO VIEW THE SURVEY PREPARED BY BLS INC. DATED 02/24/2016

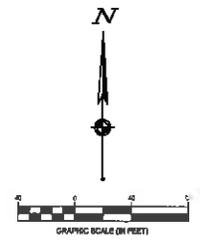
NOTE: IN ADDITION TO THE CONSTRUCTION UTILITIES AND UTILITY LOCATIONS SHOWN ON THE PLAN, THE CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING ALL UTILITIES IN THE FIELD PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND INSPECTIONS AS REQUIRED FROM THE LOCALITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF EXISTING UTILITIES DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.

IF THE CONTRACTOR DOES NOT HAVEN A PREVIOUSLY UNIDENTIFIED UTILITY AS OF THE DATE OF THE DESIGN, IT IS THE CONTRACTOR'S RESPONSIBILITY TO IDENTIFY THE UTILITY AND OBTAIN THE NECESSARY PERMITS AND INSPECTIONS AS REQUIRED FROM THE LOCALITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF EXISTING UTILITIES DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.

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FOR MORE INFORMATION, CONTACT MISS DIG AT 1-800-368-7272. THESE BUREAU'S SERVICES ARE THE PROPERTY OF MISS DIG.

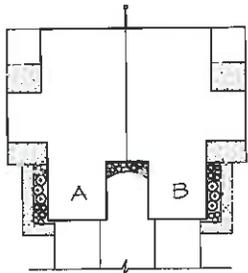
MISS DIG  
 CALL MISS DIG  
 1-800-368-7272



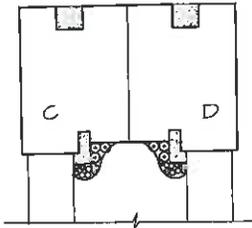
DESCRIPTION	
NO.	
DATE	
<b>UTILITY PLAN</b>	
<b>CASCADE II APARTMENTS</b>	
CASCADE TOWNSHIP WEST COUNTY, MICHIGAN	
<b>ISSUE:</b> BASIC PLAN <b>DATE:</b> 08/23/2016 <b>JOB NO.:</b> 752187 <b>DESIGNER:</b> RB <b>DRAWN:</b> RB <b>CHECKED:</b> DL <b>SHEET NO.:</b> C4.0	



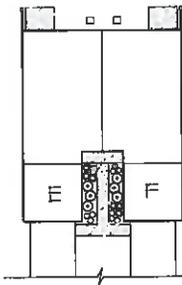




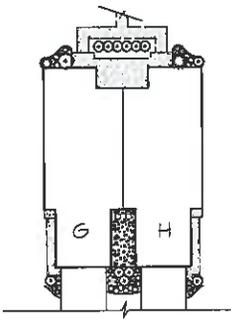
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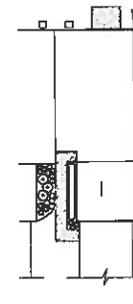
TYP. UNIT C-D LANDSCAPE PLAN  
SCALE: 1"=30"



TYP. UNIT E-F LANDSCAPE PLAN  
SCALE: 1"=30"



TYP. UNIT G-H LANDSCAPE PLAN  
SCALE: 1"=30"



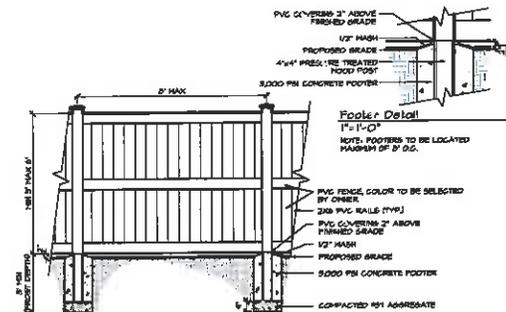
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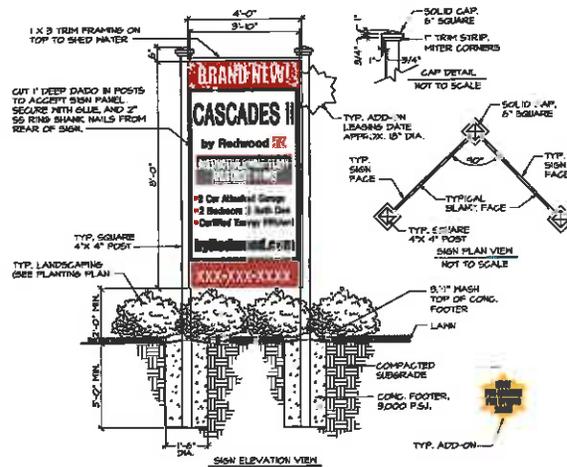
TYP. SALES OFFICE LANDSCAPE PLAN  
SCALE: 1"=30"



1 SITE ENTRANCE SIGN  
L-2 1/2" = 1'-0" (APPROXIMATE)

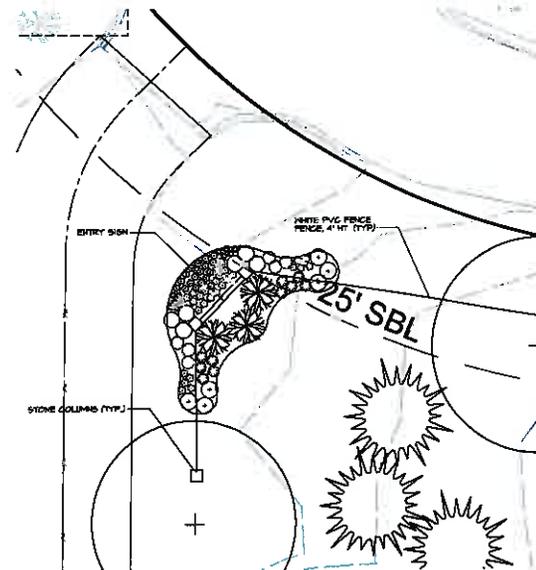


2 PVC PRIVACY FENCE  
L-2 1/2" = 1'-0"



- NOTES:
1. ALL SIGN POST MATERIAL TO BE SOUTHERN YELLOW PINE, AGG-TREATED OR CBA-TREATED.
  2. FASTENERS SHALL BE HOT-DIPPED GALVANIZED METAL.
  3. STAIN FENCE WITH TWO COATS OF OIL-BASED SEMI-TRANSPARENT STAIN TO MATCH FENCE.
  4. SIGN PANELS TO BE MARINE-GRADE PLYWOOD.

3 TEMPORARY SALES SIGN  
L-2 1/2" = 1'-0"



ENTRANCE SIGN LANDSCAPE PLAN  
SCALE: 1"=10'



**CAWRSE & ASSOCIATES, INC.**  
Landscape Architecture • Land Planning  
547 B. Washington Street • Chagrin Falls, OH 44022  
440-247-7003/fax 440-247-7143



LANDSCAPE PLANS & DETAILS  
**CASCADE II**  
CASCADE TOWNSHIP, MICHIGAN  
R.L.E. FOOD ACQUISITION, LLC  
2375 COMMERCE PARK ROAD, SUITE 7, ALCOHOL, OHIO 44122

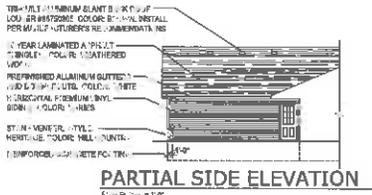
Date: 09-20-16  
Notes: DWM D.J.B.  
09-28-16 150828

Job No: 16025  
File: landscape 010

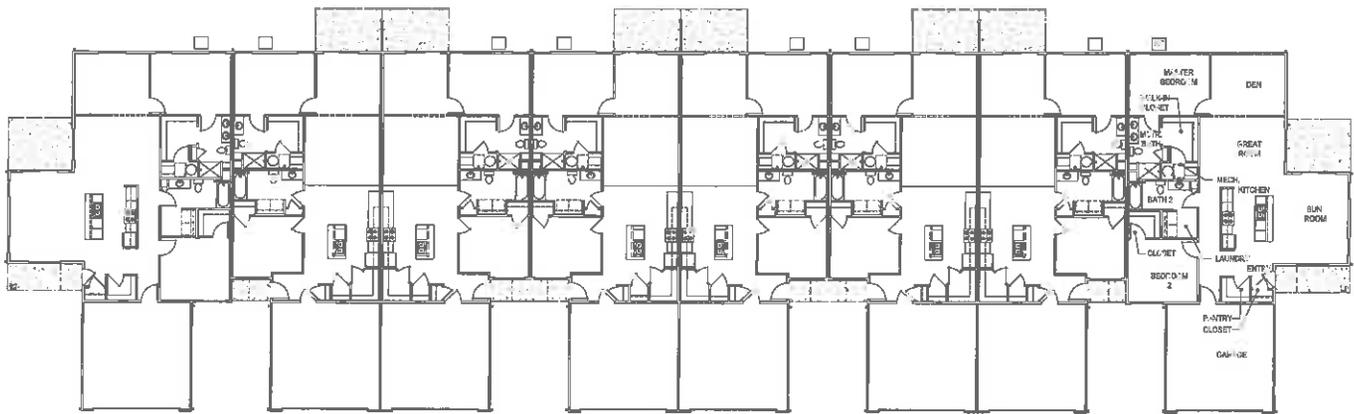
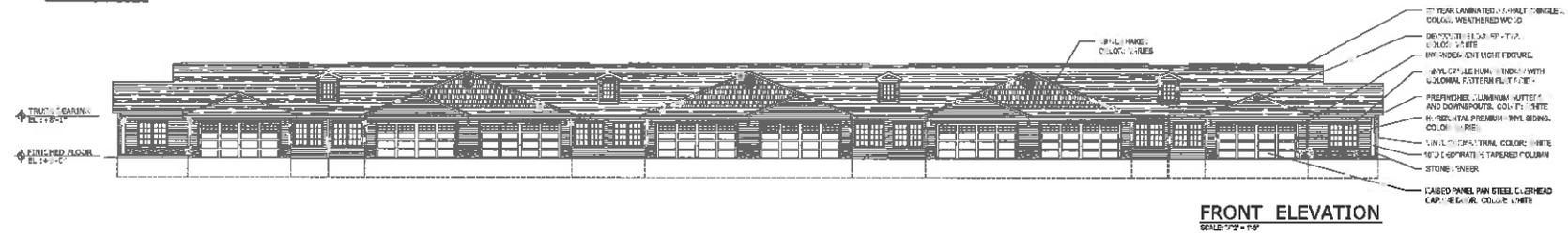
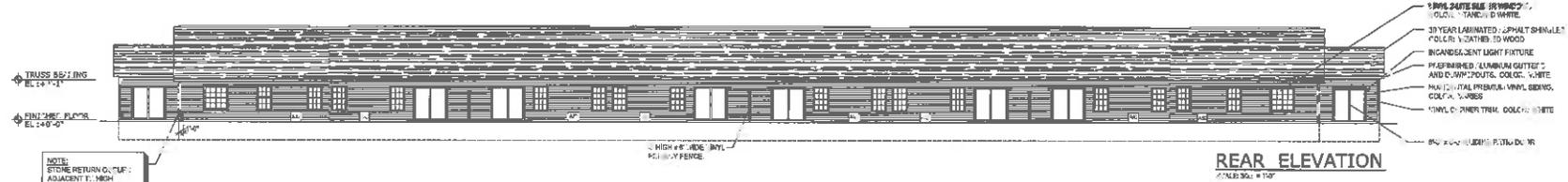
L-2

Sheet 2 of 3





**NOTE:**  
HIGH PROFILE ELEVATION  
OF CURS AT 7'-0" SET 10"  
ONLY



**PRELIMINARY**  
**NOTE!!!**  
**THIS DRAWING IS NOT**  
**FOR CONSTRUCTION**

REVISIONS



**MPG**  
MANN - PARSONS & GRAY  
ARCHITECTS

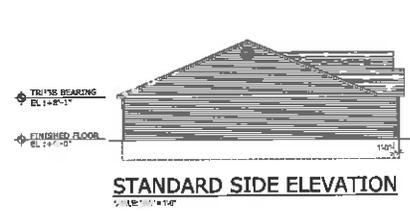
**FLOOR PLAN AND ELEVATIONS - TYPE 2**  
PROJECT #: 10616  
DATE: MAY 20, 2010  
**CASCADE II**  
28TH STREET  
GRAND RAPIDS, MI

**A1.1**  
1 OF 3

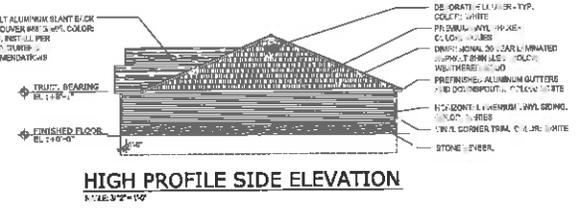
**PRELIMINARY**

**NOTE!!! THIS DRAWING IS NOT FOR CONSTRUCTION**

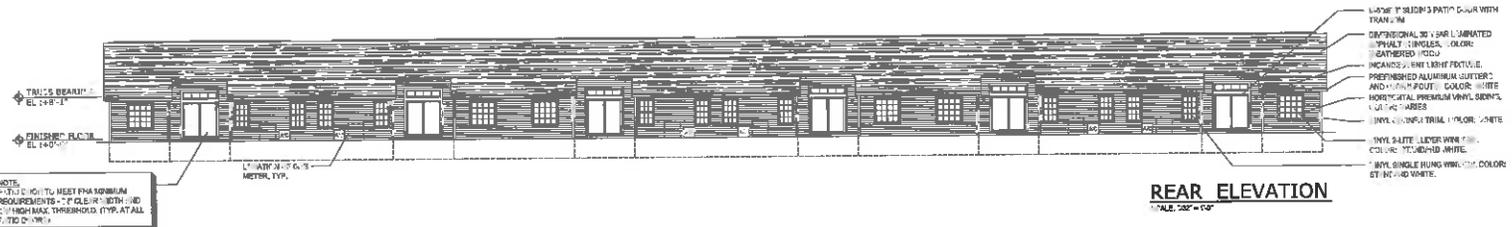
REVISIONS



**STANDARD SIDE ELEVATION**  
SCALE: 1/8" = 1'-0"

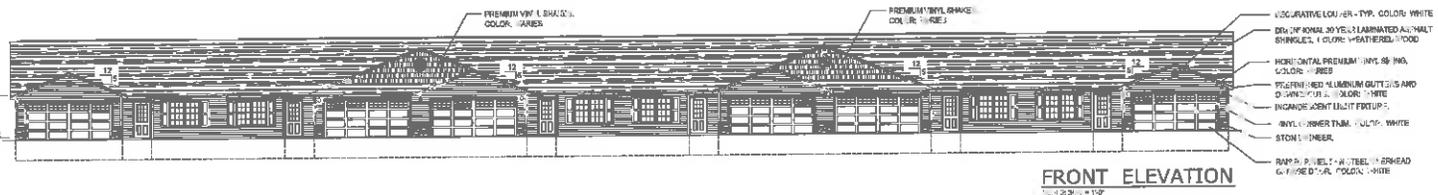


**HIGH PROFILE SIDE ELEVATION**  
SCALE: 1/8" = 1'-0"

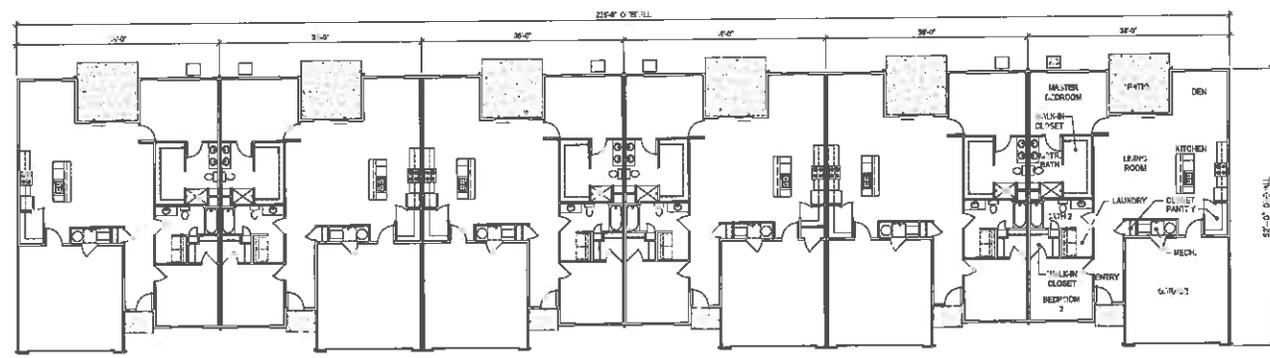


**REAR ELEVATION**  
SCALE: 1/8" = 1'-0"

**NOTE:**  
P-015 DESIGN TO MEET PNA MINIMUM REQUIREMENTS - 7' CLEAR BOTH SIDES  
P-100 FINISH THRESHOLD, TYP. AT ALL F. TO D. DOORS



**FRONT ELEVATION**  
SCALE: 1/8" = 1'-0"



**OVERALL FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



**MPG ARCHITECTS**  
MANN - PAGOONS - GRAY

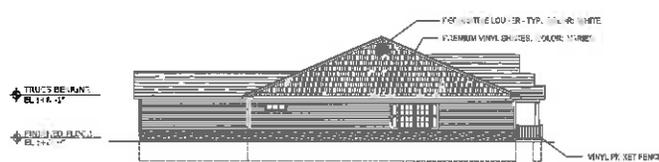
**FLOOR PLAN AND ELEVATIONS - TYPE 7**

DATE: MAY 20, 2018

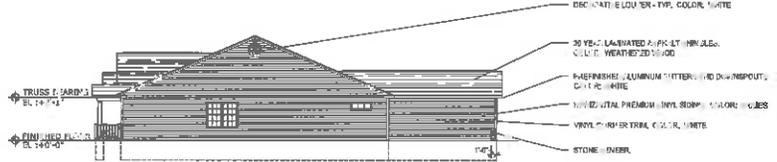
PROJECT #: 10516

**CASCADE II**  
28TH STREET  
GRAND RAPIDS, MI

**A1.2**  
2 OF 3

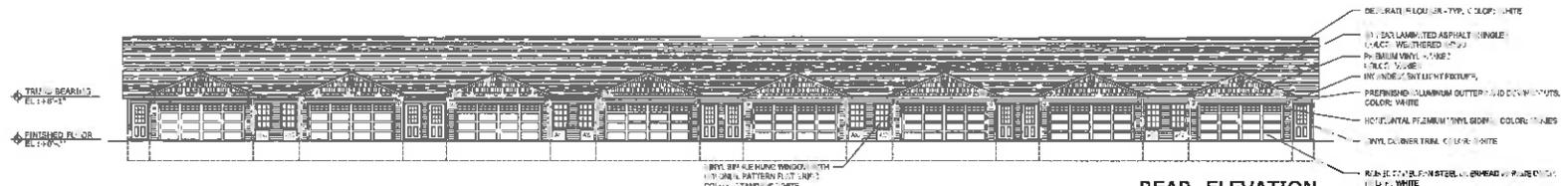


**HIGH PROFILE SIDE ELEVATION**  
SCALE: 3/8" = 1'-0"

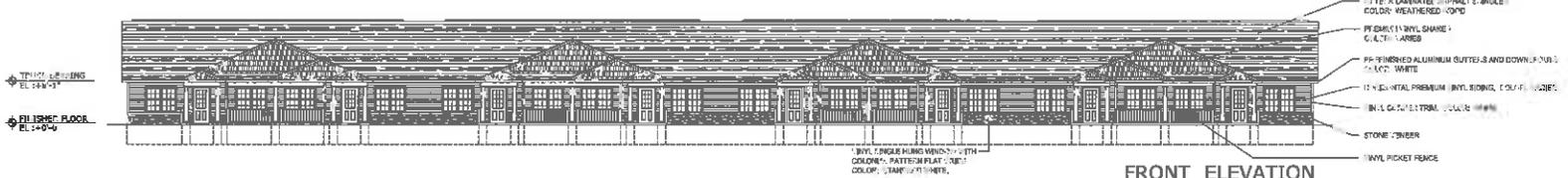


**STANDARD SIDE ELEVATION**  
SCALE: 3/8" = 1'-0"

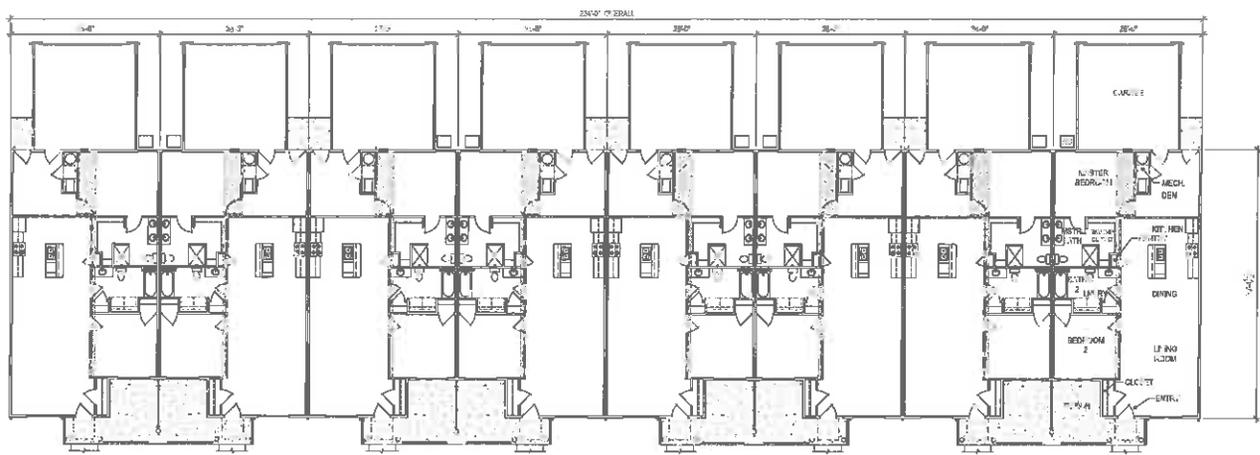
**NOTE:**  
HIGH PROFILE ELEVATION  
SHOULD BE AT LARGEST VIEW  
ONLY



**REAR ELEVATION**  
SCALE: 3/8" = 1'-0"



**FRONT ELEVATION**  
SCALE: 3/8" = 1'-0"



**OVERALL FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

**PRELIMINARY**  
**NOTE!!**  
**THIS DRAWING IS NOT**  
**FOR CONSTRUCTION**

REVISIONS



**MPG**  
MANN - PARSONS - GRAY  
ARCHITECTS

**FLOOR PLAN AND ELEV. - HAYDENWOOD**

PROJECT #: 10516

DATE: MAY 20, 2018

**CASCADE II**

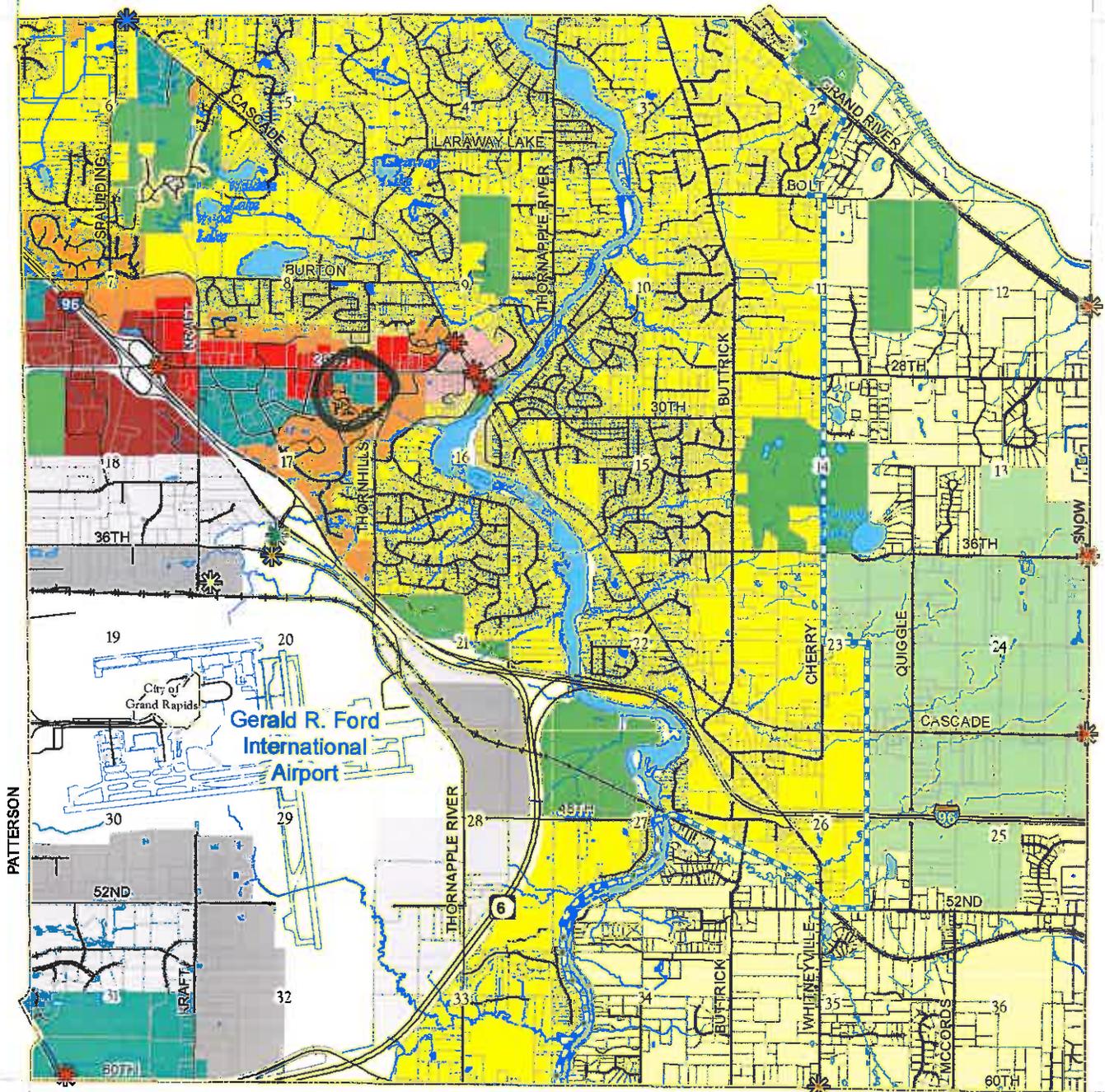
28TH STREET  
GRAND RAPIDS, MI

**A1.3**  
3 OF 3

Ada Twp

City of Kentwood

City of Grand Rapids



Caledonia Twp

# Cascade Charter Township

Kent County, Michigan

## Map 15 Future Land Use

### Legend

- Gateway Feature
- Park 'n' Ride
- Rail Station
- Utility Service Area
- Farmland Preservation
- Rural Residential
- Suburban Residential
- Community Residential
- Village Commercial
- General Commercial
- Highway Commercial
- Mixed Use
- Heavy Industrial
- Light Industrial
- Community Facility / Golf Course



© 2009 Williams & Works  
 This map is a representation of the future land use plan for Cascade Charter Township, Michigan. It is not intended to be used as a legal document. The map is subject to change without notice. All rights reserved.

**Williams & Works**  
 engineers, planners, architects  
 84224380 phone • 416.224.1881 fax  
 517 Centre Avenue NW • Grand Rapids, MI 49503

April 22, 2009

category. The Township hopes that the highway commercial area is served by mass transit in the future.



#### **MIXED USE**

**Description and Desired Uses:** The mixed use land use is intended to provide for offices, light industrial, townhome and other types of attached residential development, and retail/commercial uses. The intent is to allow for uses in a master-planned project, giving a greater potential for walkable neighborhoods. Mixed use residential areas are especially desirable where future mass transportation can serve the area.

**Location:** The mixed use land use category is planned for the northern portion of Centennial Park, the southern portion of Meadowbrooke and along the already developed office park on Cascade Road.

**Densities:** Within the mixed use category, residential densities would be 6-8 dwelling units to the acre. Density bonuses may be available for development that incorporates certain green/eco-friendly building technologies at the time of site plan review and approval. Building heights would be the lesser of 40' or 3 stories where surrounding uses and buildings are of comparable heights; however, along Cascade Road where the mixed use area is already developed, existing building heights would remain unchanged.

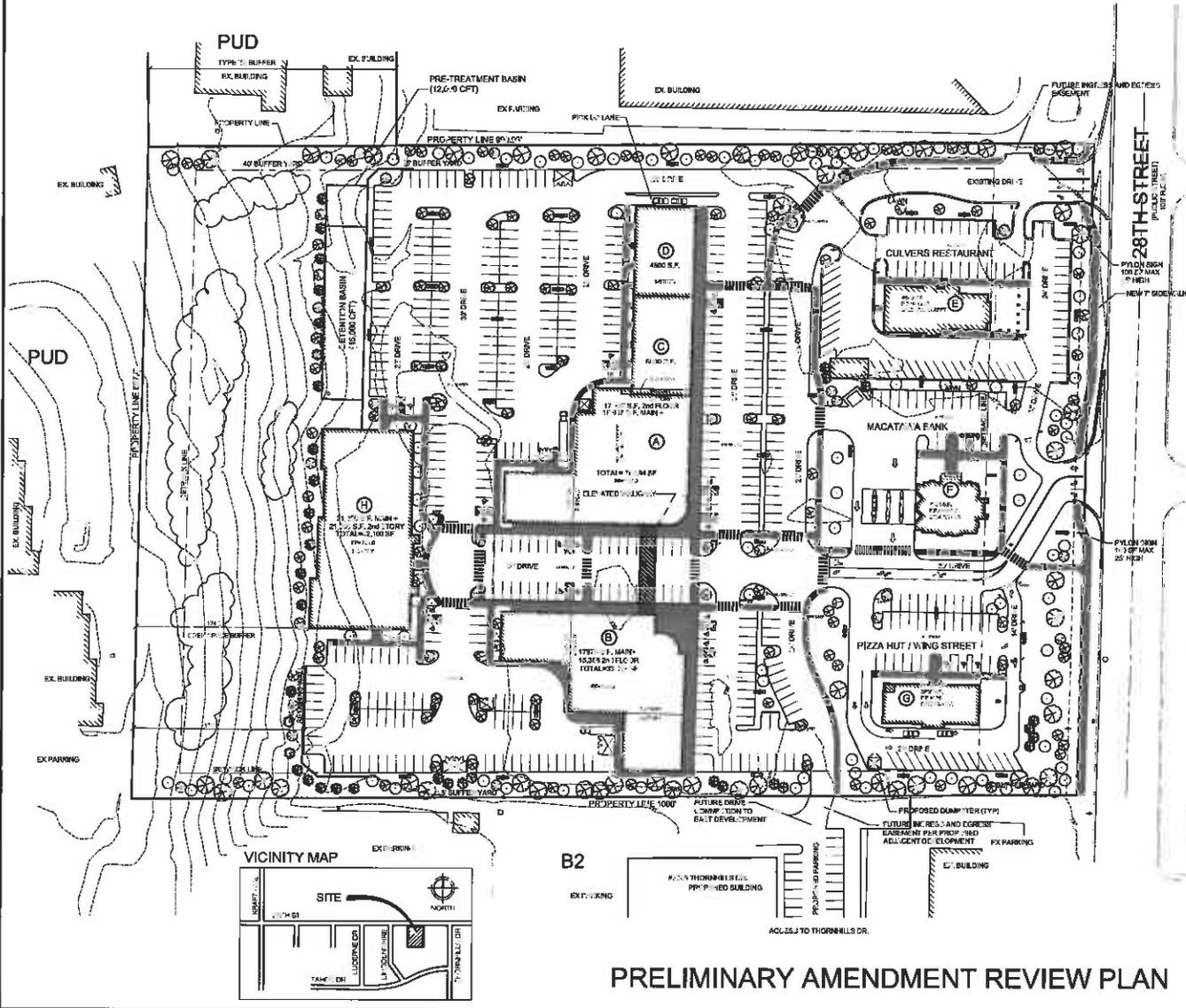
#### **HEAVY INDUSTRIAL**

**Description and Desired Uses:** This land use designation is intended to provide employment for area residents, manufacture goods and provide services to meet the needs of the larger West Michigan Region. Facilities will be developed with appropriate utility and transportation connections and in harmony with the area's natural features. Industrial uses may include warehousing, manufacturing and assembly, mini-storage, contractor's offices and yards, and shipping facilities. In the vicinity of the airport, industrial land uses should be compatible with the airport and aviation requirements. The Township supports industrial uses near the airport having direct access to the airport property to facilitate greater interconnectedness, growth of transportation-related industry, and limit off-site vehicular movement/trips. Truck traffic leaving industrial land uses will be directed efficiently to regional arterials without traversing residential areas. Landscape credits, credits for energy efficient design, or other types of credits may be offered that may reduce the current front yard setback requirements, landscaping requirements, and/or lot area requirements.

# PROPOSED AMENDMENT #2 CASCADE MARKET PLACE

Riebel Development Corporation

FORMERLY NAMED 28th STREET CENTER



## IMPROVEMENTS PROPOSED:

- MORE PEDESTRIAN FRIENDLY**
  - 66% MORE SIDEWALK LENGTH
    - ◊ 3110 LF vs 2050 LF
  - 110% MORE SIDEWALK AREA
    - ◊ 22,350 SF vs 10,600 LF
  - WALKWAY BETWEEN BUILDINGS
- SMALLER FRONT PARKING LOTS**
  - CLOSER TO DOORS
  - SAFER FOR PEDESTRIANS
  - LARGER LOTS IN THE BACK
  - REDUCED FRONT LOT BY 16%
    - ◊ 153 SPACES vs 178 SPACES
    - ◊ INCREASED FRONT LOT INTERNAL LANDSCAPING BY 38% 7550 SF vs 5460 SF
- REDUCED SIGN AREAS**
  - 2 SMALLER PYLONS
    - ◊ 100sq ft each vs 1 at 120 sq ft
  - REDUCE BUILDING SIGNAGE BY 10%
    - ◊ 0.9sf PER 1 Lft. on Total Frontage
- DOWNTOWN FEEL**
  - AVOIDS STRIP MALL LOOK
- INCREASED SIDE BUFFERS**
  - 25 FEET vs APPROVED 20 FEET
- INCREASED PARKING GREENSPACE**
  - CENTRAL ISLANDS ADD INTERNAL SPACE IN FRONT LOTS
- RESTRICTED PROPOSED DRIVE-THRU**
  - LOW USE - DRY CLEANER, BANK
  - COFFEE SHOP - REQUIRES SPECIAL USE PERMIT FROM TOWNSHIP

### GENERAL SITE DATA

CURRENT ZONING	PUD - (B) - General Business
REVISED ZONING	LAND - (M20)
NET SITE AREA	14.2 acres
APPROX. DR. DEVELOPED AREA	10.3 acres
APPROX. UNDEVELOPED AREA	3.9 acres (28.5%)
TOTAL BUILDING FOOTPRINT AREA	80,967 SF
TOTAL COLLECTOR BUILDING AREA	17,850 SF (INCLUDE 2nd Floor, space, L.L.C., etc., enclosed walkway)
TOTAL BUILDING LOT AREA	17,850 SF
GENERAL OFFICE USE	17,850 SF
OFFICE USE	17,850 SF

### E2 CHECK REQUIREMENTS

FRONT YARD	60'
SIDE YARD	25'
REAR YARD	60'

### MIN. REQUIREMENT FOR PARKING

1-BTH	1
LENGTH	11'
TOTAL BAY WIDTH	69 (DOUBLE)
TOTAL SPACE AREA	1753 SF
FOR ALL STANDING POSTAUF. INT.	UP TO 101,000 SF
GENERAL BUILDING USE UP TO 10,000 SF	
GENERAL OFFICE USE UP TO 112,000 SF	

### PROPOSED PARKING DATA

REQUIRED SPACE	600
TOTAL SPACES OFFERED	694



DATE OF PLAN: 8.20.2007

PRELIMINARY AMENDMENT REVIEW PLAN

*Approved Site Plan*

